

PLANNING APPLICATION NUMBER:P14/1345

Type of approval sought	Full Planning Permission
Ward	St Thomas's
Applicant	Mr I.Z. Iqbal
Location:	LAND ADJ. 23 LISTER ROAD, DUDLEY, DY2 8JR
Proposal	ERECTION OF 1 NO. DWELLING
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The application site is a vacant piece of land located adjacent to 23 Lister Road, a modern three storey house. This part of Lister Road is entirely residential. The site rises gently from front to back, with an approximate levels difference of 1m. The houses to the rear on Adshead Road are at a significantly higher level. Lister Road itself slopes upwards from west to east. Within the rear garden of 12 Adshead Road to the rear there are three trees along the boundary with the site. Adjacent the site to the west is a plot of land containing a detached garage. Existing properties in the vicinity along Lister Road are of a variety of designs.

PROPOSAL

2. Permission is sought to erect a 2-bedroom detached house at the site. Two parking spaces are to be provided along the site's western boundary. The development would have an irregularly shaped rear garden, of 4m in length at its shortest point and 6m at its longest point with an overall area of approximately 35 sq.metres.

PLANNING HISTORY

3. None relevant to the assessment of the application.

PUBLIC CONSULTATION

4. Neighbour notification letters have been sent to 8 properties. The occupants of 12 Adshead Road to the rear have expressed concern that the development could potentially lead to a loss of privacy and therefore boundary treatment of suitable height should be erected and obscure glazing used within rear windows to prevent overlooking

OTHER CONSULTATION

5. Group Engineer (Highways): No objection.
Head of Environmental Health and Trading Standards: No objection.

RELEVANT PLANNING POLICY

6. National Planning Policy

National Planning Policy Framework (NPPF) 2012

Black Country Core Strategy 2011

Policy HOU2 (Housing Density, Type and Accessibility)

Saved 2005 UDP Policies

Policy DD1 (Urban Design)

Policy DD4 (Development in Residential Areas)

Supplementary Planning Documents

New Housing Development SPD 2012

Parking Standards SPD 2012

ASSESSMENT

7. Key Issues

- Principle of the development;
- Impact on the character and appearance of the area;
- Residential amenity;
- Parking provision.

Principle

8. The NPPF also advises that housing applications should be considered in the context of a presumption in favour of sustainable development. Given that the site is within an established urban setting there is, in principle, national policy support for the type of development proposed, subject to the development being appropriate to the context of the area.

Character

9. Policy HOU2 of the Core Strategy requires that new housing developments should be of high quality design. Saved Policy DD1 requires that developments should make a positive contribution to the appearance of an area. Policy DD4 of the UDP seeks to ensure that residential development will be allowed where there would be no adverse effect on the character of the area. The design and scale of the building proposed is considered to be acceptable within the context of existing buildings in the vicinity and the building is appropriately sited along the same build line as houses to the east.

Residential Amenity

10. In response to the concerns of the occupants of 12 Adshead Road, the applicant has revised the development as originally proposed by removing the sole first floor habitable room window from the rear elevation of the building and locating it in the side elevation. As such the development will not lead to any overlooking of 12

Adshead Road which is located 16m away to the rear. The occupants of the property have been notified of the amendment made and have not raised any further objection. The window in question has been relocated to the western elevation of the building and will overlook only the adjacent plot of land containing a garage. It is not considered that the development would result in any loss of privacy at existing surrounding properties. Boundary treatment of a suitable height can be sought by condition to restrict views from ground floor windows towards first floor windows at 12 Adshead Road.

11. The total garden area to be provided is 30 square metres below the 65 sq m guideline amount set out in the New Housing Development SPD for 2-bedroom houses. Given that the proposal is acceptable in all other grounds it is considered that it would not be appropriate to refuse the application on these grounds only, particularly as there would be no resultant harm on the character of the area or residential amenity for the reasons set out above.
12. In view of the above it is considered that the development accords with Saved UDP Policy DD4 in that it would not have any adverse impact on residential amenity.

Parking provision

13. Policy DD4 also requires that new developments should not have any harmful effect on highway safety. The Parking Standards SPD requires the provision of 2 parking spaces for a 2-bed dwelling, which in this case can be fully accommodated within the site. As such the development will not result in on-street parking.

CONCLUSION

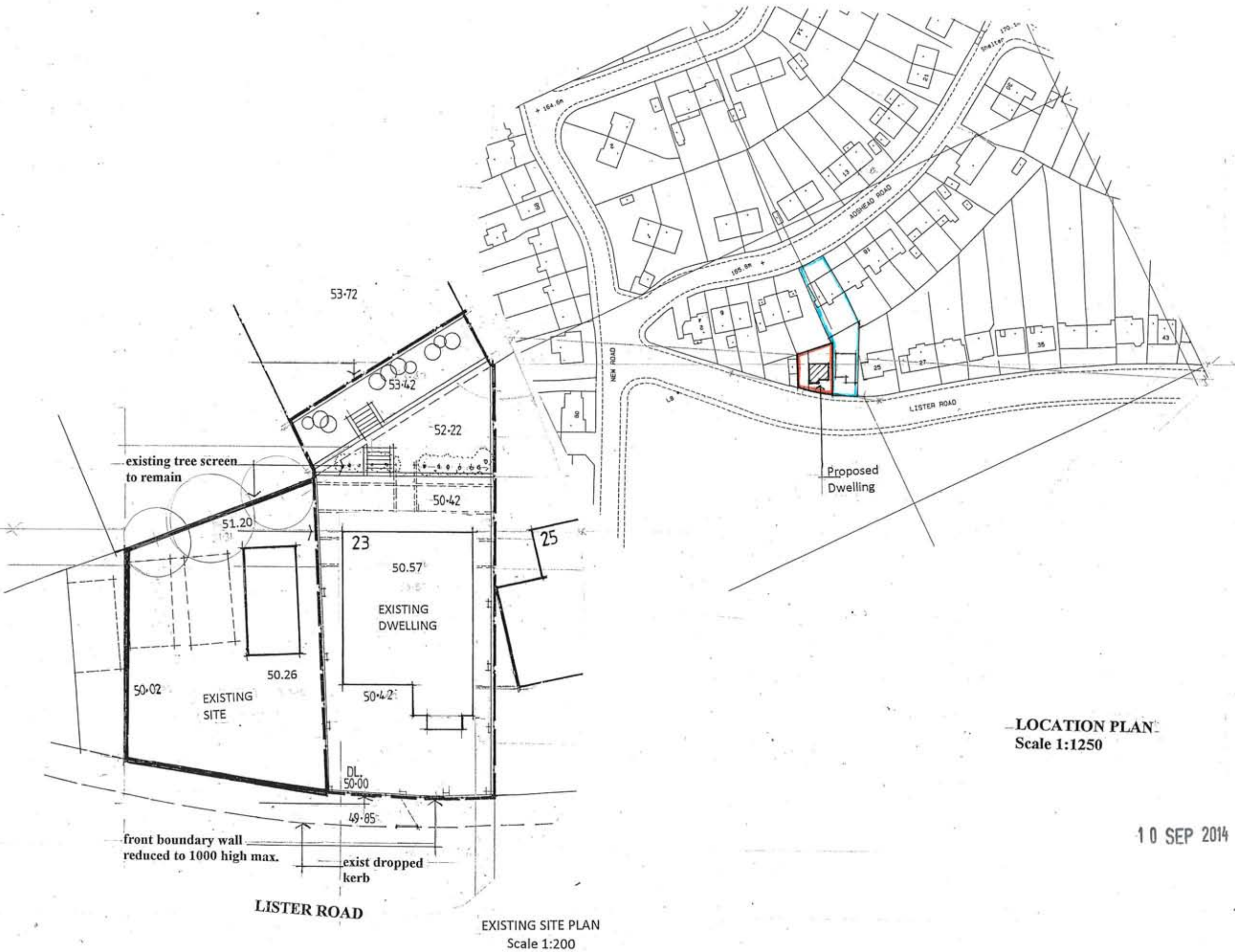
14. The proposed development would not have any adverse effect on the amenities of the occupants of existing nearby properties, the character of the area or highway safety. As such the proposal does not contravene UDP Policy DD4.

RECOMMENDATION

15. It is recommended that the application be APPROVED, subject to the following conditions:

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. Prior to the commencement of development, details of the types, colours and textures of the materials to be used on the external surfaces of the buildings hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in complete accordance with the approved details.
3. Prior to the commencement of development, details of the type and size and locations of the proposed fence/wall along the site's rear boundary shall be submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be carried out in complete accordance with the approved details prior to the occupation of the dwellings hereby approved and thereafter retained for the lifetime of the development unless otherwise agreed in writing with the local planning authority.
4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking or re-enacting that order with or without modification) no development referred to in Schedule 2 Part A Class 1 of that order shall be carried out.
5. The development hereby permitted shall be carried out in accordance with the following approved plans: 3327/14 rev A, 3328/14 rev A, 3329/14 rev A and 3333 rev x.
6. Prior to the occupation of the dwelling hereby approved, the parking area shown on the approved plans shall be provided and thereafter maintained for these purposes for the lifetime of the development.
7. No development shall commence until details for the provision of an external electric vehicle charging point have been submitted to and approved in writing by the Local Planning Authority. The charging point shall thereafter be provided in accordance with the approved details prior to first occupation of the development and be maintained for the life of the development.
8. The first floor rear window shall be obscure glazed only and shall remain as such unless otherwise approved in writing by the Local Planning Authority.
9. Prior to first occupation the parking area will be provided in accordance with the approved details and graded, levelled, surfaced, drained and marked out and maintained for the lifetime of the development and the redundant dropped kerbs shall be replaced with full height kerbs.



NOTES:

All dimensions must be checked on site and not scaled from this drawing.

Date	Revisions

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Planning & Design Services

251 THE BROADWAY, DUDLEY,
WEST MIDLANDS DY1 3DP

Architectural Design, Planners & Surveyors

Tel & Fax: 01384-257184

Member of: British Institute of Architectural Technologists,
Architects and Surveyors Institute, Faculty of Building.

Client

X

MR I.Z. IQBAL

Job Title

X

LAND ADJ. 23, LISTER ROAD,
DUDLEY,
DY2 8JR.

Drawing Title

X

PROPOSED DETACHED
DWELLING

Scale 1:200 1:1250

Date X AUG. 2014.

Drawn by X

Drg. No.

X

I.Z.I. 3332/14

Rev.

X

10 SEP 2014

Planning & Design Services

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WEST MIDLANDS DY1 1DP

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Client
X I. IQBAL

Job Title
X LAND ADJ. 23 LISTER ROAD,
DUDLEY,
DY2 8JR

Drawing Title
X
PROPOSED
DETACHED DWELLING

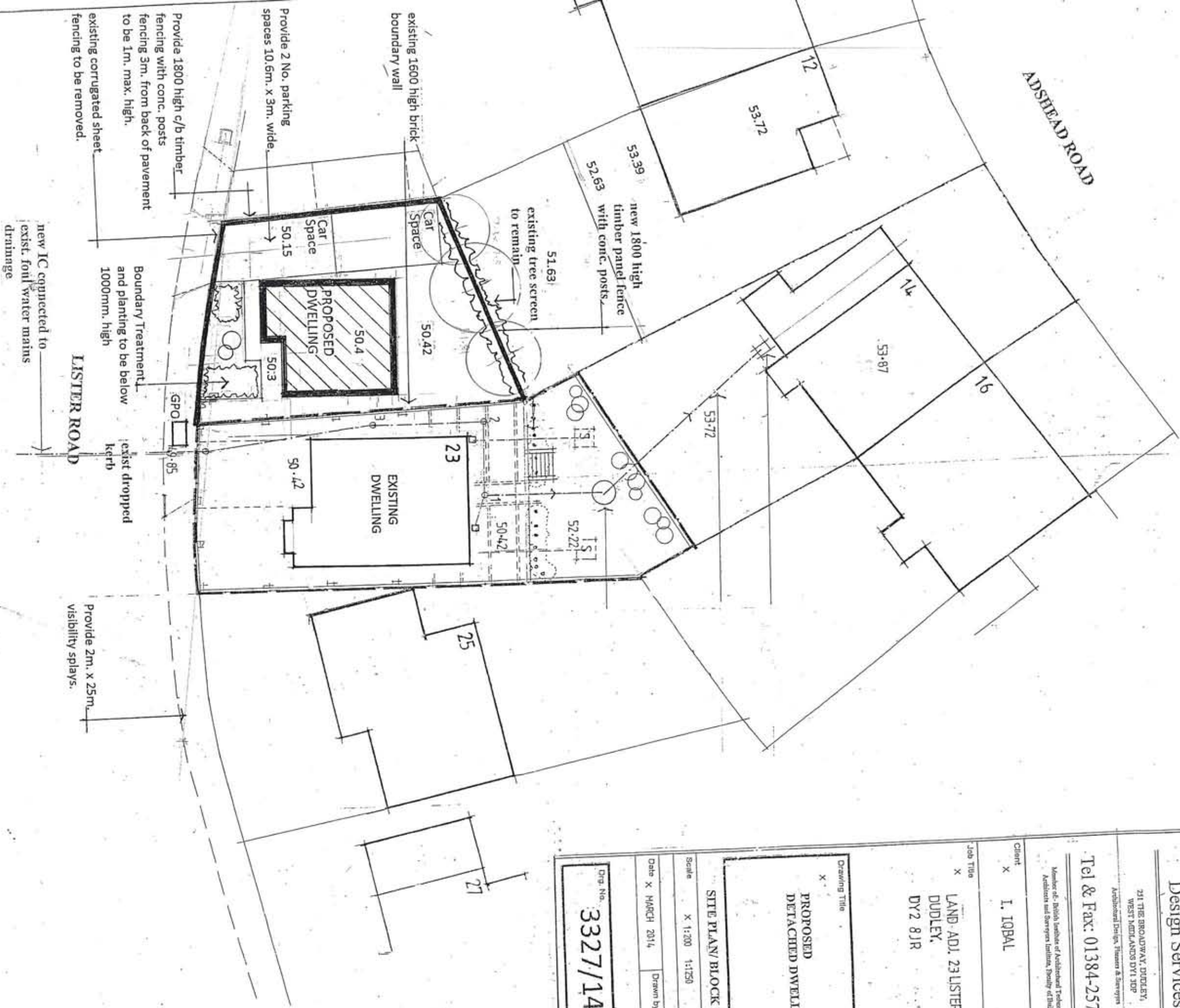
SITE PLAN/BLOCK PLAN

Scale X 1:200 1:1250

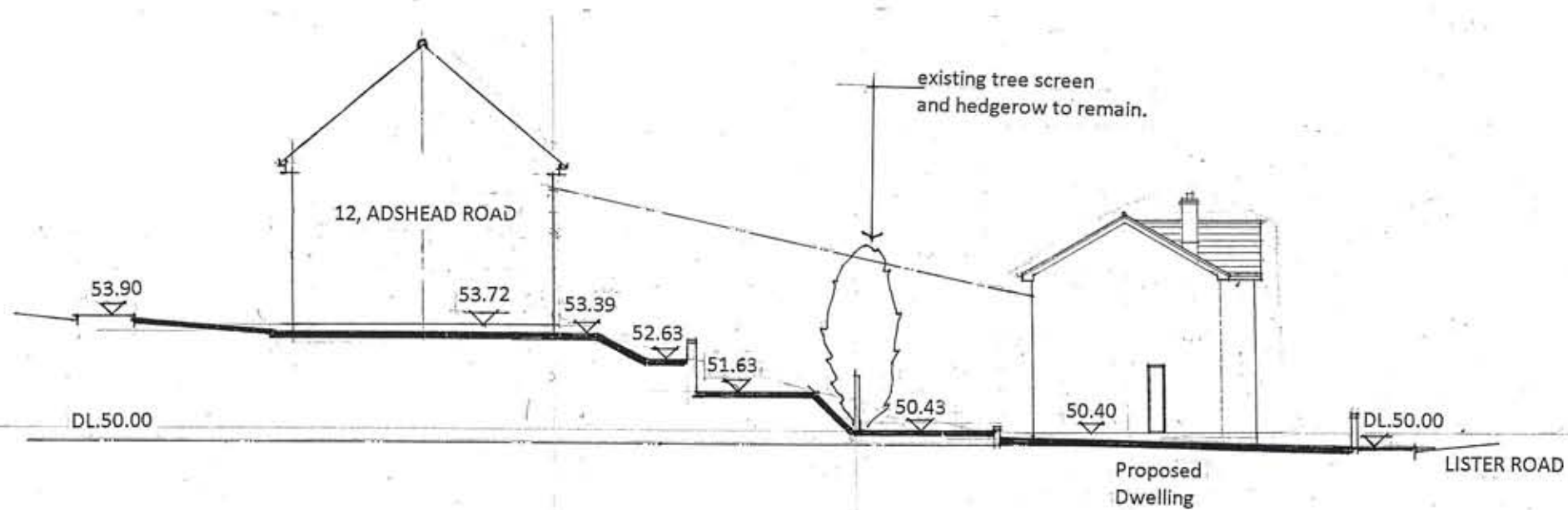
Date X MARCH 2014 Drawn by X

Draw. No.
3327/14

Rev.
A



PROPOSED SITE PLAN
Scale 1:200



SITE SECTION
(Scale 1:200)

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DY2 9JR.

10 SEP 2014

Drawing Title
X PROPOSED DETACHED
DWELLING

Scale 1:200

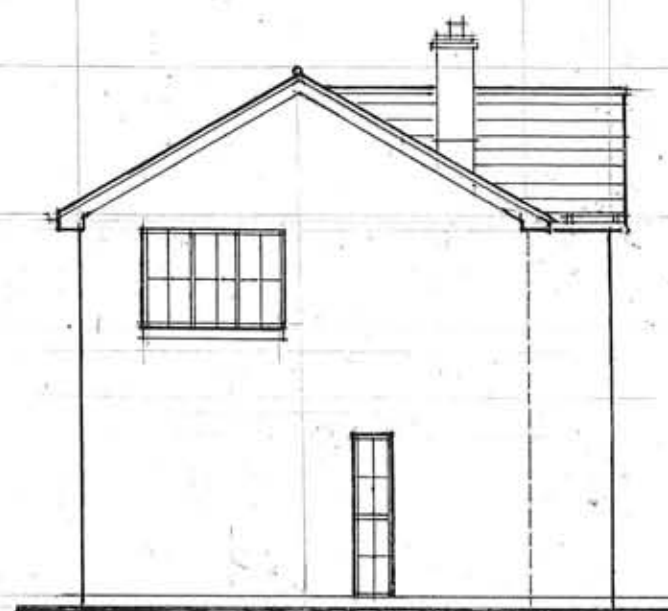
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Drg. No.
X I.Z.I. 3333/14

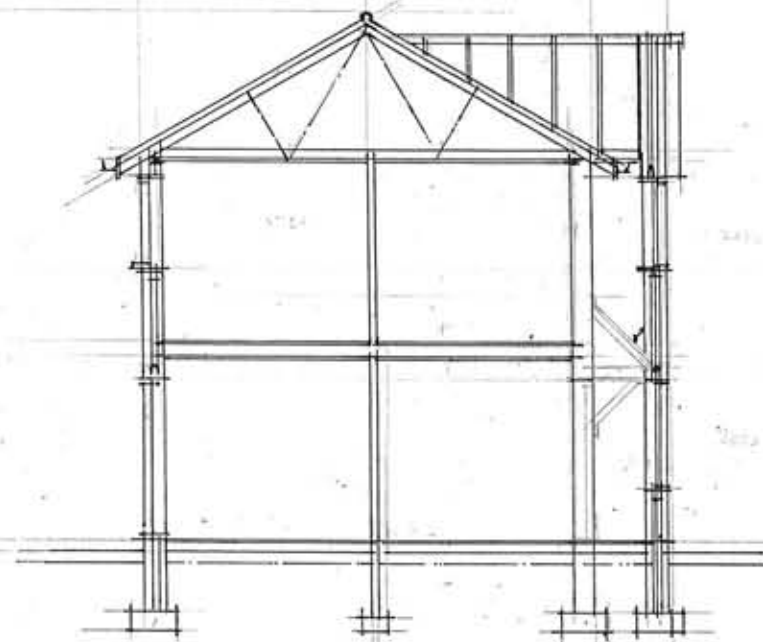
Rev.
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FRONT ELEVATION
(facing Lister Road)
Scale 1:100



SIDE ELEVATION



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**PROPOSED DETACHED
DWELLING**

Scale 1:100

Date AUG. 2014

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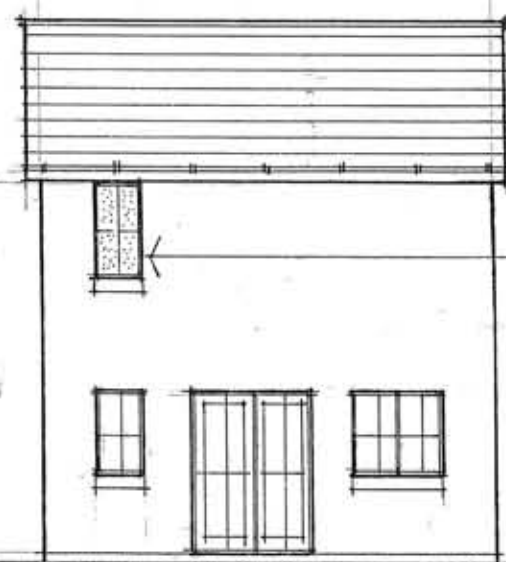
DRG. NO. I.Z.I. 3328/14

Rev.

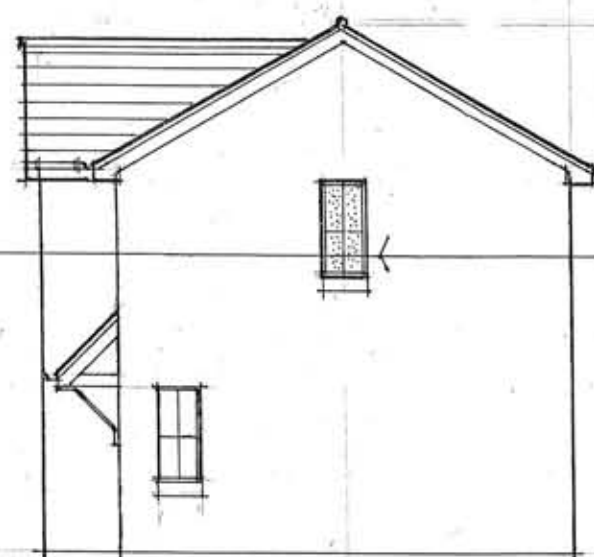
A

AMENDED PLAN

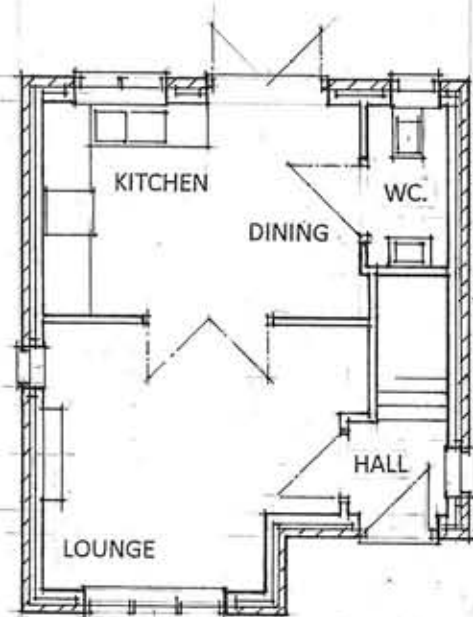
Provide obscure glazing to
both landing windows.



REAR ELEVATION



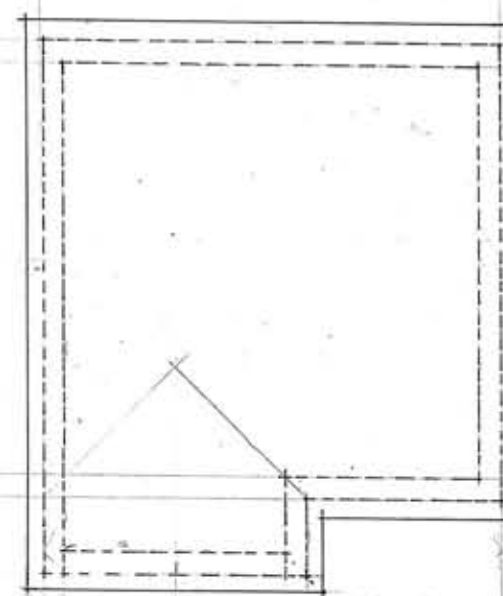
SIDE ELEVATION
(facing 23, Lister Road)



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN



ROOF PLAN

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Rev.

A