

PLANNING APPLICATION NUMBER:P15/0234

Type of approval sought	Reserved Matters
Ward	Sedgley
Applicant	AJM Planning Associates Ltd
Location:	105, COTWALL END ROAD, SEDGLEY, DUDLEY, DY3 3YQ
Proposal	APPROVAL OF RESERVED MATTERS FOR DEMOLITION OF EXISTING DWELLING/OUTBUILDINGS AND ERECTION OF 4 NO. DWELLINGS (FOLLOWING OUTLINE APPROVAL P14/0625)
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The 0.21 ha site comprises of a high quality individually designed detached bungalow that appears to have been little changed over time with a detached garage and surrounding garden land. The vehicular access is located centrally within the site frontage. The plot measures between 42m and 63m in depth and up to 50m in width.
2. The dwelling is a building of traditional bespoke design, set in landscaped gardens and front boundary dwarf wall, which is characteristic feature of the area.
3. The topography of the site is slopping with a rise from the frontage to the rear, east to west. The site is elevated from the road at approximately 1m higher level than the adjacent footpath.
4. There are a number of established significant trees within the site, which contribute greatly to the visual amenity of the area. Eight of these trees have recently been protected with the imposition of a Tree Preservation Order (TPO).

5. Cotwall End Road comprises a mix of relatively modern houses of a variety of styles, many of which are individually designed. This creates quite a visual diversity along the road, but some element of harmony arises because of the similarities between the dwellings with regard to their scale and mass, their positions on their plots and the common themes in their design and appearance.
6. Ground levels along Cotwall End Road increase to the north of the site, while to the south the levels gradually slope downwards.

PROPOSAL

7. Outline planning permission P14/0625 for the erection of 4 No. dwellings with access, layout and scale considered, was granted by Development Control Committee on the 9th June 2014.
8. This application seeks approval of the outstanding Reserved Matters relating to appearance of the dwellings and landscaping of the site.
9. During the course of the application, the following amendments were received;
 - Footprints of the dwellings to accord with the outline planning permission approved layout plan (P14/0625).
 - The external appearance of the dwellings were altered and reduced in scale.
 - The proposed floor levels lowered from the outline approval scheme (P14/0625)
 - Amended roof tile to a Marley Edgemere rather than Marley Modern. Colour of the roof tiles to have combination of smooth grey and smooth brown
 - Plot 4 driveway layout altered
10. A Tree Protection Plan and Landscape Proposals accompany this application.

PLANNING HISTORY

APPLICATION No.	PROPOSAL	DECISION	DATE
P14/0625	Outline application for the demolition of existing dwelling/outbuildings and erection of 4 No. dwellings (access, layout and scale to be considered) (Resubmission of refused application P12/1460)	Approved with conditions.	10/06/14
P12/1460	Outline application for the demolition of existing dwelling/outbuildings and erection of 4 No dwellings (access, layout and scale to be considered)	Refused	01/02/13
		Appeal ref: APP/C4615/A/13/2200317	
		Dismissed	07/01/14
CC/79/2299	Erection of bungalow	Approved with conditions.	26/11/79

11. In concluding the Appeal Decision for P12/1460 (APP/C4615/A/13/2200317), the Planning Inspector came to the view that the effect of the scheme on the character and appearance of the area, trees, wildlife and on the living conditions of future and neighbouring residents would be acceptable. However, there was concern that the visibility northwards from the access to the northernmost property proposed would be significantly obscured by the side wall of 111 Cotwall End Road, which extends out to the carriageway (there being no pavement past that neighbouring property). The Inspector stated that there would be inadequate visibility to allow drivers to leave that

new dwelling safely and this could have severe effects on highway safety. It was on this sole issue that the Appeal was dismissed.

PUBLIC CONSULTATION

12. Direct neighbour consultation was carried out to 34 adjoining and adjacent neighbours, as a result of which, 15 representations have been received, summarised as follows:

- Access visibility harmful
- Increase in vehicle numbers and traffic, would be harmful to pedestrian safety and other highway users.
- Insufficient parking for new dwellings.
- Front drives would cause water run-off onto Cotwall End Road
- Loss of the distinctive property, to be replaced by 4 two storey dwellings, would be detrimental to the area and overdevelopment of the plot.
- Loss of privacy, due to the two storey dwellings being built on a raised level from the road, which will lead to overlooking of the bungalows opposite and garden area of dwellings at the rear. Also causing overshadowing.
- Design of houses not in keeping with general area.
- Houses are not different or individually designed – uniform and standard house types, not appropriate to context.
- No variation in materials
- Reclaimed materials should be used from the bungalow.
- The plots would be better suited to a maximum of 3 dwellings.
- The layout plan does not accord with the outline approval, which showed a staggered building line.
- Site better suited for three single storey dwellings.
- Levels need to be dropped to be closer to the road level.

13. Following re-notification about the amendments, the following additional representation has been received;

- Houses still too high, only lowered marginally

- Parking of caravan, motorhomes, large vans/vehicles should not be allowed to park on driveway, as in covenants with other properties.

OTHER CONSULTATION

14. Head of Environmental Health and Trading Standards: No objections
15. Group Engineer (Highways): No objections raised.

RELEVANT PLANNING POLICY

16. National Planning Policy Framework (NPPF – 2012)
17. Black Country Core Strategy (BCCS) Policies (2011)
 - CSP2 - Development outside the Growth Network
 - CSP4 – Place Making
 - HOU1 – Delivering Sustainable Housing Growth
 - HOU2 – Housing Density, Type and Accessibility
 - TRAN2 – Managing Transport Impacts of New Development
 - TRAN5 – Influencing the Demand for Travel and Travel Choices
 - ENV1 – Nature Conservation
 - ENV2 – Historic Environment and Local Distinctiveness
 - ENV3 – Design Quality
18. Saved UDP Policies (2005)
 - DD1 – Urban Design
 - DD4 – Development in Residential Areas
 - NC6 – Wildlife Species
 - NC10 – The Urban Forest
19. Supplementary Planning Documents/Guidance
 - Parking Standards SPD (2012)
 - New Housing Development SPD (2013)

ASSESSMENT

20. The determining issues in the assessment of this application are:

- Impact on the character and appearance of the area
- Impact on residential amenity
- Highway safety

Character and appearance

21. BCCS policy HOU2 'Housing Density, Type and Accessibility' sets out the objectives for density and types of new housing, promoting the need to achieve high quality design and minimise amenity impacts, taking into account the characteristics and mix of uses in the area where the proposal is located.

22. BCCS policies CSP4 'Place Making', ENV2 'Historic Character and Local Distinctiveness' and ENV3 'Design Quality' requires that all development demonstrates a clear understanding of historic character and local distinctiveness and demonstrates how proposals make a positive contribution to place-making and environmental improvement through high quality design.

23. The Council's New Residential Development SPD (Revised 2013) is a useful tool in establishing a character led approach to new development based on identifiable context and characteristics. Whilst the site is located at the edge of centre, the general area shares characteristics of development in 'outer suburbs', and therefore the development criteria of such has been used to assess whether this dwelling is designed within its context, these include;

- retain space around the building
- detached dwellings – 2 storey, 4-5 bedroom
- respect local character of height and mass
- maintain the existing building line and set back of houses from the road
- retain back gardens

- more efficient use of land should deliver densities above the prevailing density, where appropriate, without having a detrimental impact on the character of the area.

24. A number of objections still refer to the principle of the development (i.e. loss of the bungalow). The approval for 4 dwellings at a two storey scale has been granted by the previous outline approval (P14/0625). The Local Planning Authority has to consider the external appearance of the dwellings.

25. Under the planning appeal for P12/1460, the Planning Inspector commented on the matter of design;

The siting of the proposed houses would sympathise with the building line on this part of the road, and their 2-storey nature would tend to respect that of the dwellings around. There is no reason why the new houses need look the same. Rather, there would be opportunity at a later stage to secure variations in their design, detail and materials that would reflect the diversity that is already found among the existing houses on the road.

26. Initially submitted plans, showed a more standardised external appearance for dwellings and the footprint failed to correspond with the approved layout, thus resulting in larger scale properties, filling out a greater proportion of the site.

27. The application now reflects the dispersed layout of plots approved under the outline application P14/0625. There are two different house types proposed which are handed to provide external variation. In response the Inspectors comments, the elevations plans show incorporation of features found on properties in the locality vicinity, including, use of full brick elevations, part rendered elements, mock Tudor timber boarding, Mansard and cat-slide roof detailing, projecting two storey bay windows, canopies, varying garage doors design.

28. The two storey height (with each dwelling measuring between 7m to 8.5m) is not excessive when viewed in conjunction with surrounding development. The cat slide roof of Plot 1 is at the same height as No. 103, with the main roof some 1.3m higher.

The cat slide roof of Plot 4 is at the same height as No. 111, with the main roof some 1m higher. The topography in this area dictates that dwellings on the western side of Cotwall End Road, are naturally in a higher position than those opposite. Utilising a cat-slide roof on Plots 1 and 4 ensure that there is natural step up and step down with No's 103 and 111 Cotwall End Road.

29. The dwellings are designed to create their own identity and create visual interest by varying roof lines, stepped slab levels to respond to the topography of the area. Given the range of features on each dwelling, combination of brick and render finishes, with different coloured roof materials, it is considered the proposed dwellings do not look the same. There is no specific Planning Policy requirement to have 4 different dwelling types; the amendments made by the developer have taken into account the Inspectors comment to '*secure variations in their design, detail and materials*'. The proposal would introduce modern dwellings that respect the local character and would contribute to the varied streetscene within Cotwall End Road.
30. The Landscape Proposals are suitable for this site. The front driveways would not be dominated by hard surfacing, the soft landscaping incorporating a range of plants and trees which are appropriate in the urban environment. The majority of trees to be retained are set well back in the site for there to be no conflict with the new properties. The tree protection measures shown on the submitted plan are acceptable and a condition would be required for these to be implemented prior to development. An Arboricultural Method Statement (AMS) would be required by condition.
31. The proposal respects the character and distinctiveness of the area making a positive contribution to place making through high quality design. It would therefore comply with BCCS Policies CSP4, ENV3 and HOU2, and Saved UDP Policies DD1 and DD4, and the New Housing Development SPD.

Residential amenity

32. The plots as shown would be set at least 31.5m away from dwellings on the opposite side of Cotwall End Road, and some 38m from the dwellings to the rear on Barn

Avenue. The New Housing Development SPD is clear that in the case of properties where the main living room is at first floor level, or where a change in levels results in a similar situation, the minimum distance between front and rear facing windows to habitable rooms is 28m. Concerns about overlooking and loss of privacy cannot therefore be substantiated.

33. There are no conflicts with the 45-Degree Code in respect of the neighbours at 103 or 111 Cotwall End Road, and therefore no adverse impact upon their light or outlook would arise.

Access and Parking

34. The means of access was approved at the Outline planning application stage and it is not considered that there have been any material changes in either Planning Policy or the specifics of the site since that date that require this issue to be revisited. The scheme would provide off-street parking areas that accord with the Parking Standards SPD.

CONCLUSION

35. The proposal respects the character and distinctiveness of the area making a positive contribution to place making through high quality design without harming the amenity of existing or future occupiers. There would be no detrimental impact on highway safety or residential amenity. The development would comply with the National Planning Policy Framework, Black Country Core Strategy Policies CSP2 - Development outside the Growth Network, CSP4 – Place Making, HOU1 – Delivering Sustainable Housing Growth, HOU2 – Housing Density, Type and Accessibility, TRAN2 – Managing Transport Impacts of New Development, TRAN5 – Influencing the Demand for Travel and Travel Choices, ENV1 – Nature Conservation, ENV2 – Historic Environment and Local Distinctiveness, ENV3 – Design Quality, Saved UDP Policies DD1 – Urban Design, DD4 – Development in Residential Areas, NC6 – Wildlife Species, NC10 – The Urban Forest and Supplementary Planning Documents Parking Standards, New Housing Development and Nature Conservation.

RECOMMENDATION

36. It is recommended that the application be APPROVED subject to the following conditions:

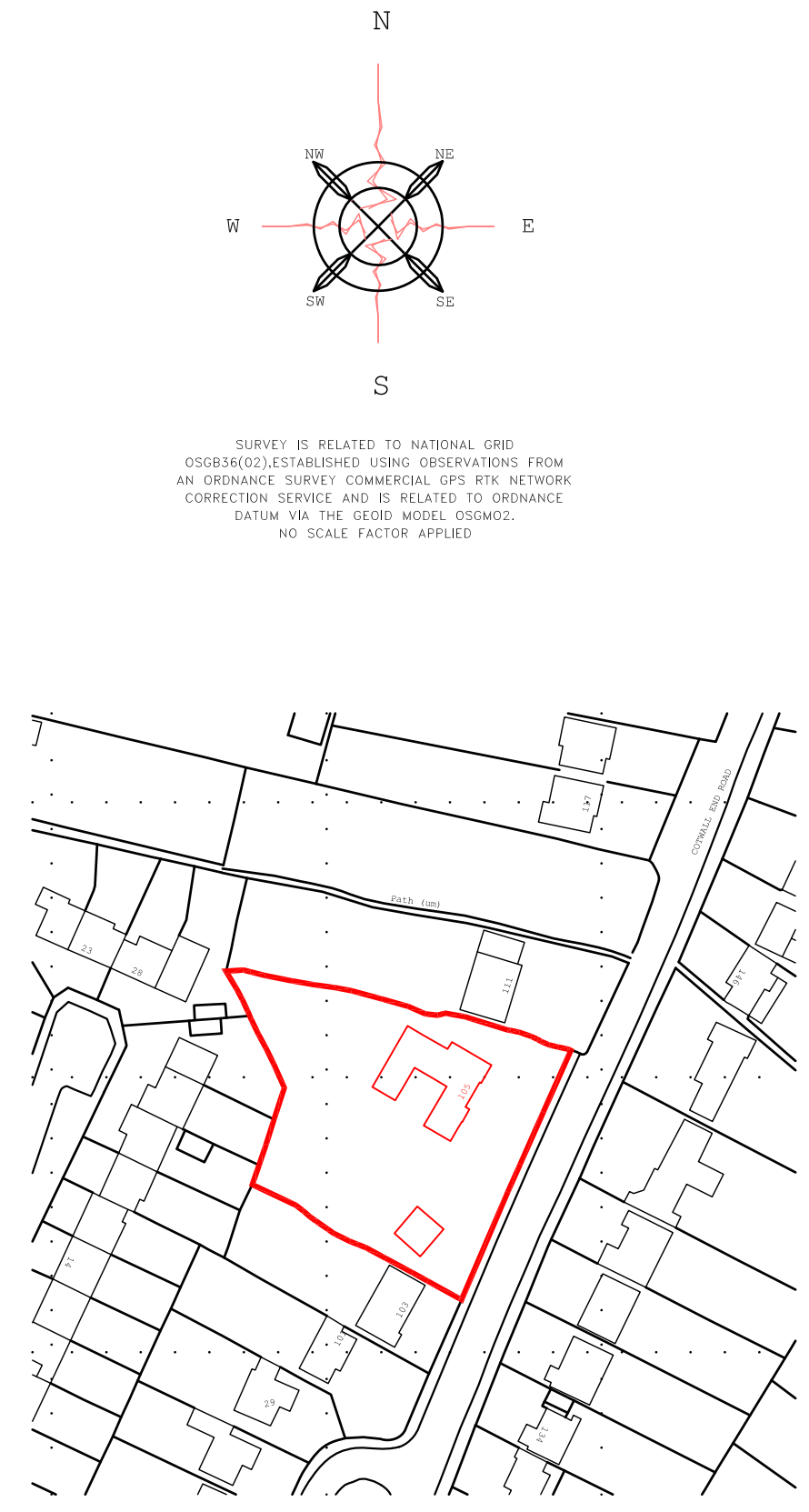
Conditions and/or reasons:

1. The development hereby permitted shall be carried out in accordance with the following approved plans: 13-29-04/REV A, 13-29-03/REV C, 815/A/005/A, 815/A/010/A, 815/A/060/A, 815/A/061/A, 815/A/062/B, 815/A/063/A.
2. The landscaping scheme for the site shown on plan no. 13-29-03/Rev B shall be implemented in accordance with the approved details before the end of the first planting season following initial occupation of the development. Any new trees or other plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written approval to any variation.
3. No development shall take place until the tree protection measures detailed in the submitted BEA Landscape Design Ltd Tree Protection Plan (Dwg No. 13-29-04) have been fully erected on site. Once erected the tree protection measures shall not be removed, taken down or in any way amended, other than shown on the approved plans, without the prior written agreement of the Local Planning Authority.
4. No development or other operations shall commence on site or in connection with the development hereby approved, (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening, or any operations involving the use of motorised vehicles or construction machinery) until a detailed Arboricultural Method Statement has been submitted to and approved in writing by the Local Planning authority. No development or other operations shall take place except in complete accordance with the approved Method Statement. Such method statement shall include full detail of the following:
 - Implementation, supervision and monitoring of the approved Tree Protection Plan.
 - Implementation, supervision and monitoring of all approved construction works within any area designated as being fenced off or otherwise protected in the approved Tree Protection Plan.
 - Timing and phasing of arboricultural works in relation to the approved development.
5. All excavations to be undertaken within the Root Protection Area (as defined by Clause 4.6 of British Standard BS:5837 - 2012 'Trees in Relation to Design, Demolition and Construction- Recommendations') of any existing trees on site shall be undertaken in accordance with NJUG Guidelines for the Planning, Installation and Maintenance of Utility Apparatus in Proximity to Trees (NJUG Volume 4).

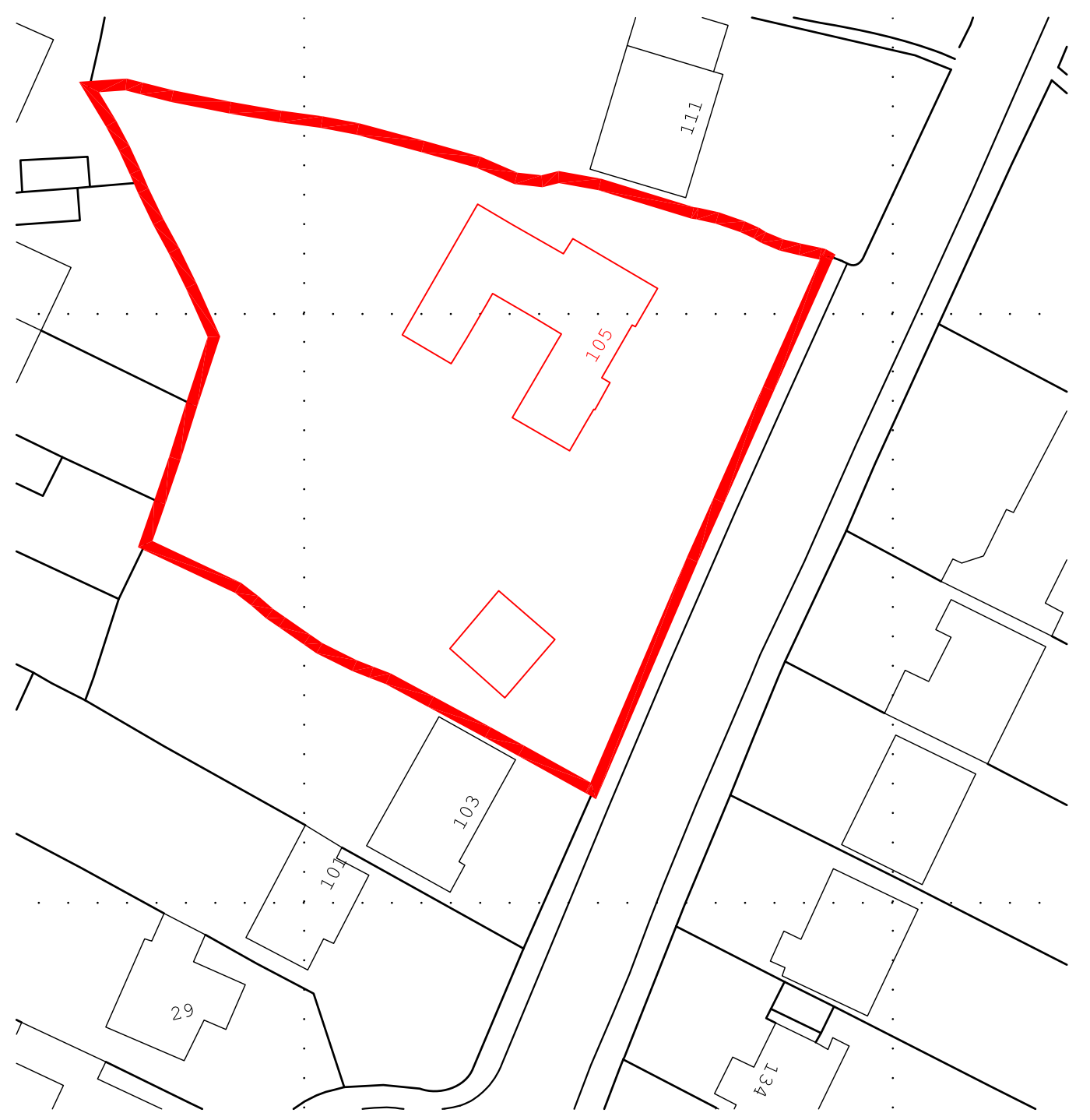
6. No development or other operations shall commence on site in connection with the development hereby approved, (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening, or any operations involving the use of motorised vehicles or construction machinery) until a detailed service (gas, electricity and telecoms) and foul and surface water drainage layout has been submitted to and approved in writing by the Local Planning Authority. Such layout shall provide for the long term retention of the trees. No development or other operations shall take place except in complete accordance with the approved service/drainage layout



Site Plan 1:200



Site Location 1:1250



Block Plan 1:500



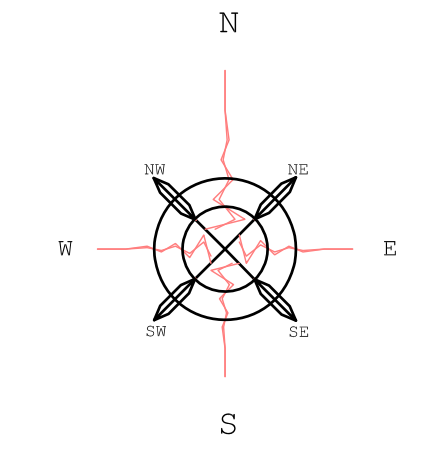
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project title
Cotwall End Road
Sedgley
drawing title
Existing site plans

drawing no.
815/A/050
rev

scale
see plan A1
date
November 2012

drawn by
I.L.E.V.I.S.
checked by
S.C.P.R.I.G.R.
authorised by
I.L.E.V.I.S.



SURVEY IS RELATED TO NATIONAL GRID
OSGB36(2) ESTABLISHED USING OBSERVATIONS FROM
AN ORDNANCE SURVEY COMMERCIAL GPS NETWORK
CORRECTION SERVICE AND IS RELATED TO ORDNANCE
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TREE PROTECTION NOTES:
'Trees in relation to design demolition and construction' BS5837:2012

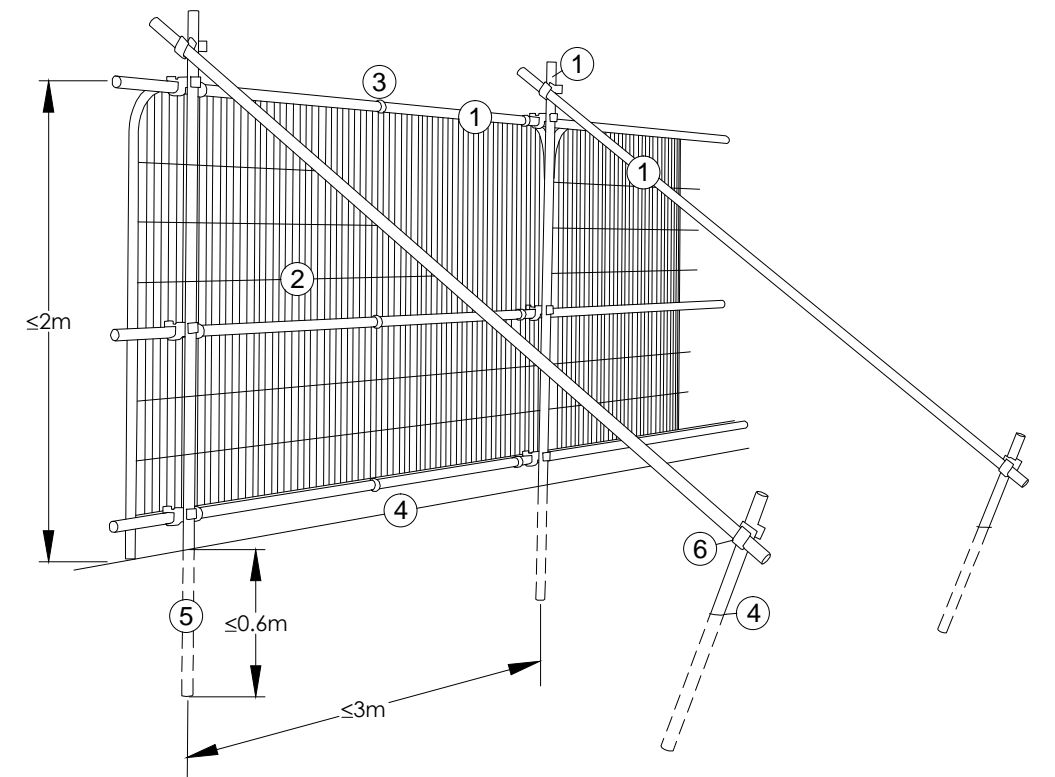
1.0 PRIOR TO COMMENCEMENT OF WORKS:

1.1 PRIOR TO COMMENCEMENT: all trees that are being retained onsite shall be protected by barriers and / or ground protection before any materials or machinery are brought onto the site, and before any demolition, development or stripping of soil commences. The 'Root Protection Area' (RPA) associated with existing trees designated for retention shall be protected from damage by erection of scaffold framework barriers in accordance BS 5837:2012 Figure 2 including where specified appropriate ground protection.

1.2 EXTENT OF ROOT PROTECTION AREA (RPA): as shown on the Tree Protection Plan (TPP) the RPA is generally to be in accordance with Annex D, Table D.1 'Root Protection Area.' - as an area equivalent to a circle radius 12 times the stem diameter (single stem trees) or based on the combined stem diameter for multistem trees (trees with more than one stem arising below 1.5m above ground level) refer to Clause 4.6.

1.3 TREE PROTECTION BARRIER: a vertical and horizontal scaffold framework, well braced to resist impacts as illustrated below (refer to Figure 2 of BS5837:2012). The vertical tubes should be spaced at a maximum interval of 3 metres and driven securely into the ground. Care should be taken to avoid underground services and contact with structural roots. In the presence of underground services, retained hard surfacing or where special circumstances dictate an alternative specification as illustrated in Figure 3 of BS5837:2012 may be acceptable subject to agreement with the project arboriculturalist and the local planning authority.

All weather site notices should be attached to the barrier with words such as "CONSTRUCTION EXCLUSION ZONE - NO ACCESS". Once installed barriers and ground protection shall be not be removed or altered without prior approval of the project arboriculturalist and where necessary approval form the local planning authority.



1. Standard scaffold poles
2. Heavy gauge 2m tall galvanised tube and weld mesh infill panels
3. Panels secured to uprights and cross members with wire ties
4. Ground Level
5. Uprights driven into ground until secure (minimum depth 0.6m)
6. Standard scaffold clamps

2.0 ADDITIONAL PRECAUTIONS:

2.1 Planning of site operations should take sufficient account of wide or tall loads, or plant with booms, jibs or counterweights (including drilling & piling rigs) tin order that they can operate without coming into contact with retained tree. The transit or traverse of plant in proximity to trees shall be conducted under supervision of a banksman to ensure adequate clearance from trees is maintained at all times. Access facilitation pruning as agreed with the project arboriculturalist and/or local authority should be undertaken where necessary to maintain clearance. NB Works to trees protected by a Tree Preservation Order or within a Conservation Area will need approval by the local authority.

2.2 Any materials whose accidental spillage would cause damage to a tree should be stored and handled well away from the outer edge of its RPA e.g. concrete mixings, diesel oil and vehicle washings. Allowances shall be made for sloping ground to avoid damaging materials running towards retained trees.

2.3 Fires on sites should be avoided. Where they are unavoidable, they should not be lit in a position where heat could affect foliage or branches. The potential size of a fire and wind direction should be taken into account when determining its location, and should be attended at all times until safe to leave.

2.4 Trees are not to be used as anchorages for equipment, or for other purposes. Notice boards, telephone cables, or other services should not be attached to any part of the tree.

2.5 The dumping of spoil or rubbish, placing of temporary accommodation and storage of materials within the root protection area is prohibited.

2.6 The change of ground level, excavating, stripping or disturbing topsoil within the RPA is prohibited.

3.0 GROUND PROTECTION DURING DEMOLITION & CONSTRUCTION

3.1 Where construction working space or temporary construction access is specified within the RPA, this should be facilitated by a set-back in the alignment of the tree protection barrier. In such areas, suitable existing hard surfacing that is not proposed for re-use as part of the finished design should be retained to act as temporary ground protection during construction, rather than being removed during demolition. The suitability of such surfacing for this purpose should be evaluated by the project arboriculturalist and an engineer as appropriate.

3.2 Where the set-back of the tree protection barrier exposes unmade ground to construction damage, new temporary ground protection should be installed as part of the implementation of physical tree protection measures prior to work starting on site.

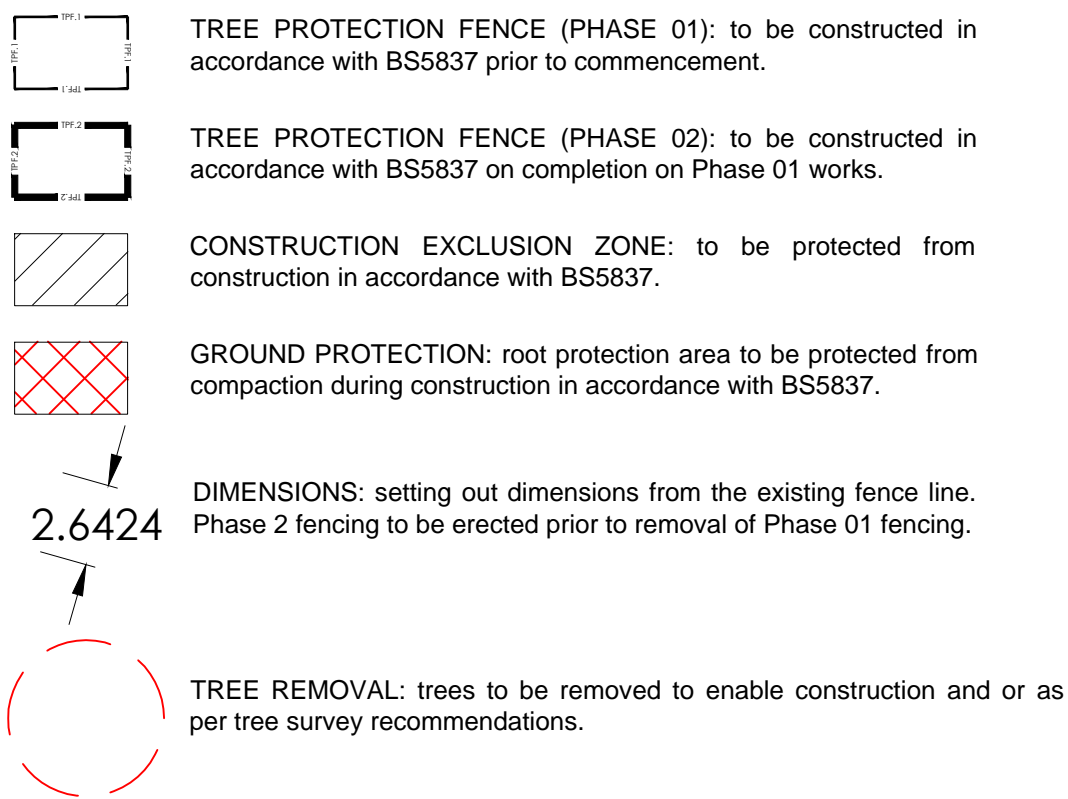
3.3 New temporary ground protection should be capable of supporting any traffic entering or using the site without being distorted or causing compaction of underlying soil, for example;

a) for pedestrian movements only, a single thickness of scaffold boards placed either on top of a driven scaffold frame, so as to form a suspended walkway, or on top of a compression-resistant layer (e.g. 100 mm depth of woodchip), laid onto a geotextile membrane;

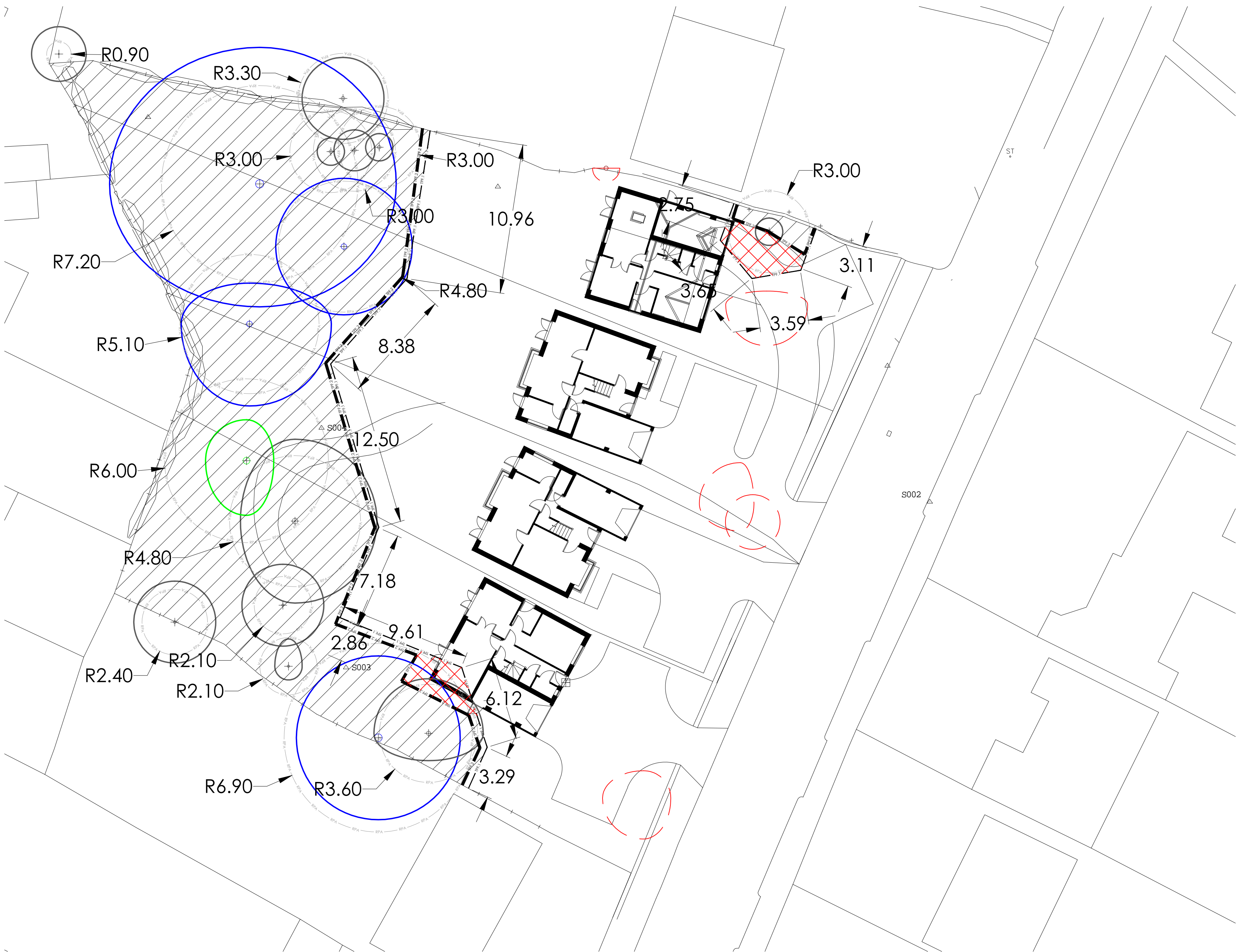
b) for pedestrian-operated plant up to a gross weight of 2 t, proprietary, inter-linked ground protection boards placed on top of a compression-resistant layer (e.g. 150 mm depth of woodchip), laid onto a geotextile membrane;

c) for wheeled or tracked construction traffic exceeding 2 t gross weight, an alternative system (e.g. proprietary systems or pre-cast reinforced concrete slabs) to an engineering specification designed in conjunction with arboricultural advice, to accommodate the likely loading to which it will be subjected. If necessary sand should be laid on the ground as a compressible layer.

LEGEND: TREE PROTECTION TO BS 5837:2012



ARBORICULTURAL METHOD STATEMENT: refer to the Arboricultural Method Statement 1329 / TGW / AMS001 for more detailed information.



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rev	date:	amendments:	alt:
A	02.04.2015	to co-ord with revised layout	DP

cdm 2007; designers residual risk information
In addition to the risks & hazards normally associated with the type of work detailed on this drawing the following residual risks should be noted:

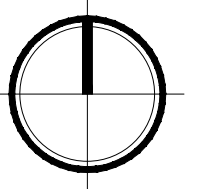
Construction:

1. Changes in level across the site including ramped access / steps.
2. A retaining wall adjacent to the street scene
3. The proximity of adjacent pavements, estate roads & car parks.
4. The proximity of adjacent buildings and buried associated services.

Maintenance:

1. Changes in level across the site including ramped access / steps.
2. A retaining wall adjacent to the street scene
3. The proximity of adjacent pavements, estate roads & car parks.
4. The proximity of adjacent buildings and buried associated services.

It is assumed that works will be carried out by competent contractor working, where appropriate to an approved method statement.



client:

Lewis Architecture Ltd

project:

105 Cotwall End Road
Sedgeley

title:

Tree Protection Plan

status:

PLANNING

date: Feb 2015	drawn: DP	number: 13-29-04
scale@A1: 1:200	checked: TGW	revision: A

Landscape Institute
Registered practice

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W: www.bealandscape.co.uk

PLANNING NOTES:

1.0 SOILS: Subgrade / subsoil to be prepared in accordance with BS 8601 and BS 4428 and scarified or ripped to 300mm depth prior to spreading topsoil to alleviate compaction and promote drainage. Imported and as saved topsoil to be in accordance with BS3882: 2007 'Multipurpose Grade' with minimum soil organic matter contents 1% greater than the minima value (or as approved). Imported topsoil (and 'as saved' if requested) is to be laboratory tested to BS3882: 2007 and ameliorated as required to meet the required characteristics as detailed within Table 1 of BS3882: 2007 specification. Grass areas to be a minimum depth of 150mm, Shrub beds 450mm depth and forestry / transplants 300mm depth. Any weed / grass growth to be sprayed out with appropriate herbicide at least 10 days prior to cultivation. Incorporate proprietary non peat compost to BSI PAS 100 to 50mm depth evenly worked into soil.

N.B Proposed services (electric, water, gas etc) in landscape areas should be installed as a minimum below the required topsoil depths and clearly identified in accordance with service / utility requirements.

2.0 BUILDING FOUNDATION DESIGN: All landscape proposals are to be referred to by the structural engineer during foundation design.

3.0 PROPOSED PLANTING: Should planting be required outside of the planting season (October - March) any bare root or rootballed stock specified is to be replaced with containerised stock to an appropriate or similar specification to the approval of the landscape architect prior to ordering.

4.0 EXISTING TREES: Where trees are to be retained they should be subject to a full arboricultural inspection to assess condition and safety. Retained trees shall be protected from damage by erection of 2.3m weldmesh fencing on a scaffold framework in accordance BS 5837:2012 Figure 2. These barriers shall be maintained in position and in good condition until works are complete. Fencing to be located in accordance with Table D.1 at a radius of 12 times the stem diameter (single stem trees) or based on the combined stem diameter for multistem trees (trees with more than one stem arising below 1.5m above ground level) refer to Clause 4.6. Further precautions are to be taken as detailed within BS 5837:2012 6.2.4.

5.0 TREE SURGERY / REMOVAL: Tree surgery and tree removal to be carried out by an Arboricultural Association approved Tree surgeon in accordance with BS 3998:1989. Arisings to be removed to a licensed tip.

6.0 TREE PLANTING: All trees to be in accordance with BS 3936 / 4043. Trees to be planted in accordance with BS 4428 and double staked (10-12cm - 14-16cm girth trees) or triple staked (16-18cm - 18-20cm girth trees) and tied in pits 1000 x 1000 x 750mm backfilled with topsoil mixed with 40L of tree planting compost, ensuring tree pits are a minimum of 75mm deeper and 150mm wider than the tree roots. Base of pits to be broken up to a depth of 150mm. Root balls to be encircled by Root Rain Metro or similar irrigation pipe. Well water after planting. The base of trees to planted in grass areas are to be covered with 75mm amenity grade bark mulch such as Melcourt 'Ornamental' Bark Mulch (or similar approved by the landscape architect) to 1.0 metre diameter and kept weed free.

Suitable foundations are to be provided to accommodate proposed tree planting and retained trees in accordance with the NHBC Standards. The NHBC radii are illustrated as a guide only; based on an assumed medium soil type and minimum foundation depths and should not be relied upon for construction purposes. In locations close to footpaths and roadways linear root barriers Greenleaf, ReRoot or similar are to be installed in accordance with manufacturers instructions. Where proposed tree locations conflict with services, trees are to be relocated in accordance with the appropriate utilities guidance notes subject to client / local authority approval. Proprietary root barrier Greenleaf, ReRoot or similar to be installed in accordance with manufacturers instructions where relocation is not considered appropriate.

7.0 SHRUB & HERBACEOUS PLANTING: plants to be in accordance with BS 3936 and handled in accordance with CPSE guidelines and planted in accordance with BS 4428. Nursery stock supplier to be approved by the Landscape Architect. All shrubs to have a minimum of three breaks, except Hedera with a minimum of two. Well water plants immediately after planting and prior to spreading of mulch. Planting areas to be covered with 75mm depth amenity grade bark mulch such as Melcourt 'Ornamental' Bark Mulch (or similar approved by the landscape architect) and kept weed free.

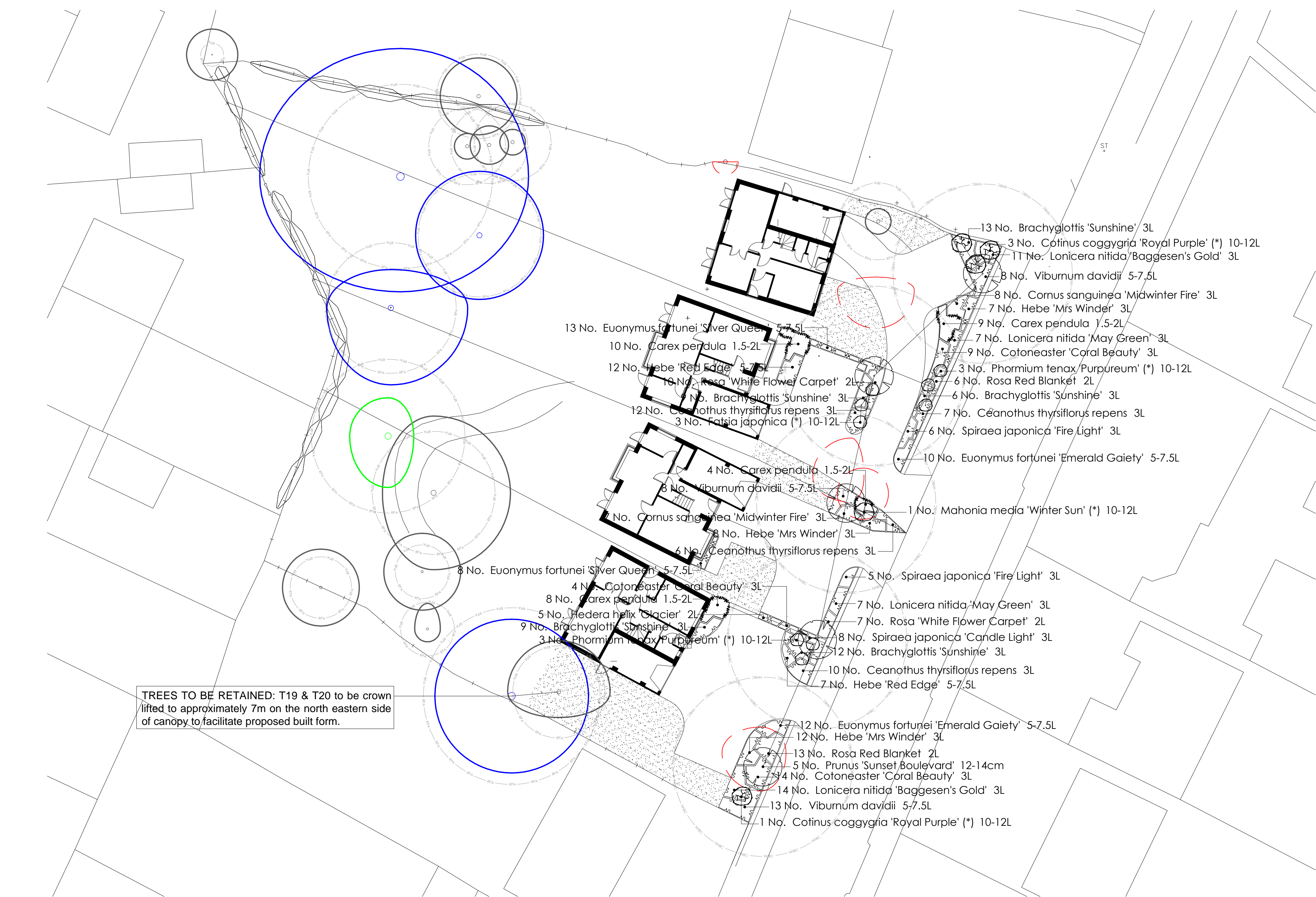
8.0 TURFING: Grass turf areas to be Tillers 'Arena' or similar approved cultivated turf, laid in accordance with BS4428. Topsoil to be rototvated and levelled as required and any debris or stones greater than 50mm diameter removed. Pre-turfing fertiliser to be applied in accordance with manufacturers instructions. Turf to be laid from planks with broken joints well butted up, pegged to slopes where required. Well water after laying to avoid shrinkage.

9.0 SEEDING: grass areas to be seeded in accordance with BS 4428 during March, April or September. Topsoil to be rototvated and levelled as required and any debris or stones greater than 20mm diameter removed. Pre-seed fertiliser to be applied in accordance with manufacturers instructions. Lightly rake areas after sowing. Seed to be Germinal Seeds mix A19 'All Purpose Landscaping' sown at 35g/m2, including:

- 30% CORAIL (Slender Creeping Red Fescue)
- 25% RAISA (Chewings Fescue)
- 20% ABERELF (Perennial Ryegrass)
- 20% CADIX (Perennial Ryegrass)
- 5% HIGHLAND (Browntop Bent)

10.0 GRAVEL: Gravel areas to be ornamental gravel, from local source 10-20mm, laid on geotextile membrane to a depth of 50-75mm.

11.0 MAINTENANCE: To be carried out at approximately monthly intervals to include the following:
a) Eradicate weeds by hand or chemical means.
b) Cut out dead or / and damaged stock or branches, prune as required.
c) Ensure all shrubs and trees are firmed in, securely staked and tied.
d) Collect litter, sweep and tidy site.
e) Apply suitable pesticides, fungicides, fertilisers and water as required.
f) Carry out grass mowing to turf when attained 100mm, cut to 35mm (50mm for shaded areas).
g) All hedges to plot frontages be maintained at a max height of 1.0m. Hedges and shrub planting within visibility splays to be maintained in accordance with current highways design guidelines.



TREES TO BE RETAINED: T19 & T20 to be crown lifted to approximately 7m on the north eastern side of canopy to facilitate proposed built form.

Plant Schedule

Trees						
No.	Species Name	Specification	Girth	Height	Density	
5 No.	Prunus 'Sunset Boulevard'	Heavy Standard :BR :Clear Stem 175-200	12-14cm	350-425cm	Counted	

Shrubs						
No.	Species Name	Specification	Diameter	Height	Pot Size	Density
49 No.	Brachyglottis 'Sunshine'	Branched :4 brks :C	30-40cm	30-40cm	3L	4/m²
35 No.	Ceanothus thyrsiflorus repens	Bushy :5 brks :C			3L	4/m²
15 No.	Cornus sanguinea 'Midwinter Fire'	Branched :3 brks		40-60cm	3L	4/m²
4 No.	Cotinus coggygia 'Royal Purple' (*)	Branched :5 brks :C		40-60cm	10-12L	Counted
27 No.	Cotoneaster 'Coral Beauty'	Branched :3 brks :C		30-40cm	3L	4/m²
22 No.	Euonymus fortunei 'Emerald Gaiety'	Bushy :9 brks :C	30-40cm		5-7.5L	5/m²
21 No.	Euonymus fortunei 'Silver Queen'	Bushy :9 brks :C	30-40cm		5-7.5L	5/m²
3 No.	Fatsia japonica (*)	Leader :C		60-80cm	10-12L	Counted
27 No.	Hebe 'Mrs Winder'	Bushy :5 brks		30-40cm	3L	4/m²
19 No.	Hebe 'Red Edge'	Bushy :7 brks :C	30-40cm	25-30cm	5-7.5L	4/m²
25 No.	Lonicera nitida 'Baggesen's Gold'	Bushy :3 brks :C		30-40cm	3L	4/m²
14 No.	Lonicera nitida 'May Green'	Bushy :6 brks :C	30-40cm		3L	4/m²
1 No.	Mahonia media 'Winter Sun' (*)	Bushy :3 brks :C		60-80cm	10-12L	Counted
6 No.	Phormium tenax 'Purpureum' (*)	Triple Crown :8 brks :C			10-12L	Counted
17 No.	Rosa 'White Flower Carpet'	Cutting :Bushy :C			2L	4/m²
19 No.	Rosa Red Blanket	Cutting :Bushy :C			2L	4/m²
8 No.	Spiraea japonica 'Candle Light'	Bushy :6 brks :C		40-60cm	3L	4/m²
11 No.	Spiraea japonica 'Fire Light'	Bushy :6 brks :C		40-60cm	3L	4/m²
29 No.	Viburnum davidii	Bushy :4 brks :C		30-40cm	5-7.5L	3/m²

Climbers						
No.	Species Name	Specification	Spread	Height	Pot Size	Density
5 No.	Hedera helix 'Glacier'	Several Shoots :3/4 brks		40-60cm	2L	5/m²

Herbaceous						
No.	Species Name	Specification	Diameter	Height	Pot Size	Density
31 No.	Carex pendula	C: full pot		1.5-2L		3/m²

LEGEND: SOFT LANDSCAPING

GROUND COVER: deciduous shrub ground cover planting with specimen shrubs.

GROUND COVER: evergreen shrub ground cover planting with specimen shrubs.

GROUND COVER: ornamental grass ground cover planting as detailed.

SPECIMEN SHRUBS: specimen shrub planting as detailed.

GRASS: cultivated turf to road frontages, existing areas to be made good with seed.

ORNAMENTAL GRAVEL: pea gravel from local source; 50-75mm minimum depth; refer to notes.

EXISTING HEDGE: dead plants and bramble to be removed & hedge gapped up with native species.

TREE PLANTING: standard tree planting with NHBC radii. Tree Canopy spread illustrated at 25 years growth.

EXISTING TREES: to be retained in accordance with BS 5837 'Trees in relation to Construction' 2012.

TREES TO BE REMOVED

NHBC Guidelines 2011 Chapter 4.2 'Building near trees':

NHBC tree radii illustrated based on Medium soils assuming foundation depth of 0.9m. Buildings within the NHBC tree radius should be designed so that their foundations are to a suitable depth in accordance with the NHBC guidelines.

Asterisk (*) on planting tags identify shrubs with a mature height above 1.8m where adjacent foundation should be designed by Engineers in accordance with NHBC guidelines 2011 Tables 3 or 5 of sections D & E.

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rev	date:	amendments:	alt:
A	12.02.2015	As instructed	DP
B	13.02.2015	To co-ord with revised layout	DP
C	02.04.2015	To co-ord with revised layout	DP

cdm 2007; designers residual risk information

In addition to the risks & hazards normally associated with the type of work detailed on this drawing the following residual risks should be noted:

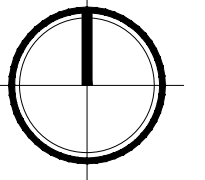
Construction:

- Changes in level across the site including ramped access / steps.
- A retaining wall adjacent to the street scene
- The proximity of adjacent pavements, estate roads & car parks.
- The proximity of adjacent buildings and associated buried services.

Maintenance:

- Changes in level across the site including ramped access / steps.
- A retaining wall adjacent to the street scene
- The proximity of adjacent pavements, estate roads & car parks.
- The proximity of adjacent buildings and associated buried services.

It is assumed that works will be carried out by competent contractor working, where appropriate to an approved method statement.



client:

Lewis Architecture Ltd

project:

105 Cotwall End Road
Sedgeley

title:

Landscape Proposals

status:

PLANNING

date:	drawn:	number:
Feb 2015	DP	13-29-03
scale@A1:	checked:	revision:
1:200	TGW	C



103 Cotwall End Road

105 Cotwall End Road - Proposed Site for 4No. New Dwellings

111 Cotwall End Road

Contextual Site Elevation



150 Cotwall End Rd.
Part Rendered - Plots 2-4



103 Cotwall End Road
Mansard roof detail - All Plots



130 Cotwall End Road
Mock tudor timber boarding - Plots 3-4



136 Cotwall End Road
Brick gable with tile crease eave and rendered bay - Plot 1



128 Cotwall End Road
Hipped Roof & tile hung bay - Plot 2



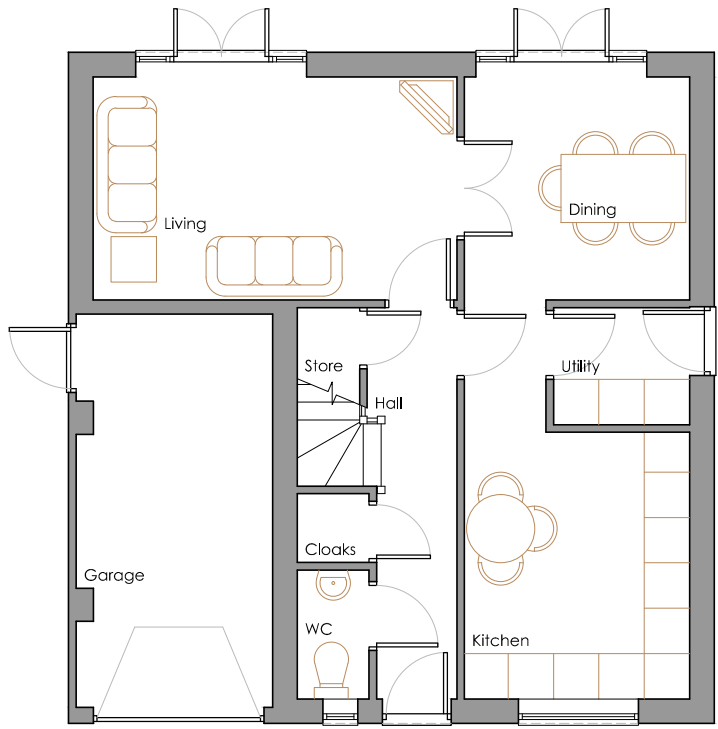
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rev	date	drawn	ch'kd	project title			
A	28/03/15	SGP	IL	Development of 4 No. New Dwellings			
B	31/03/15	SGP	IL	Client / LA amendments			
					Client / LA amendments		
					drawing title		
					Proposed Site Elevation & Floor Plans		
					drawing no.		
					815/A/010		
					scale		
					1:100 @ A1		
					date		
					March 2015		
					drawn by		
					JG Prior		
					checked by		
					I Lewis		
					authorised by		
					I Lewis		



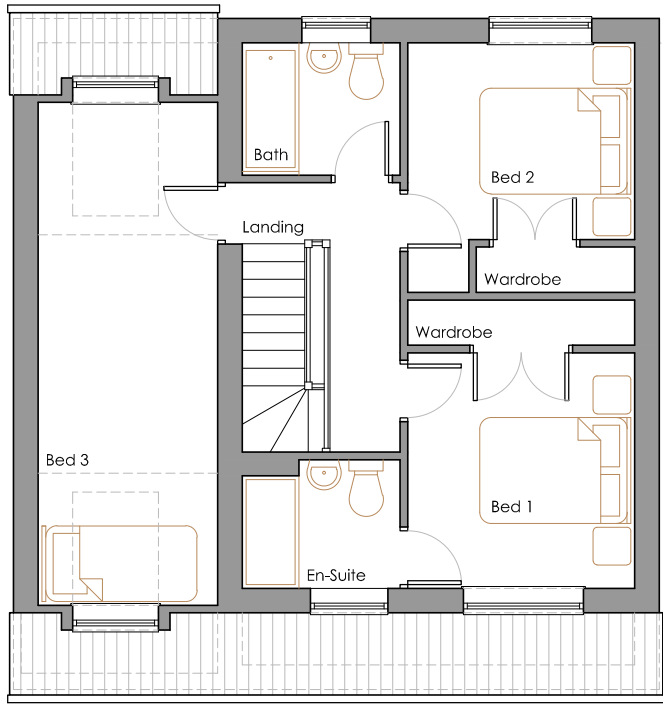
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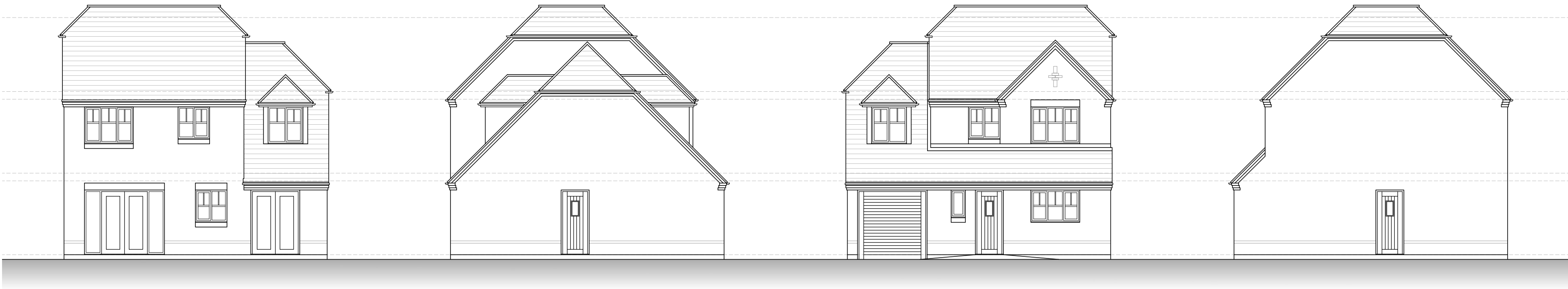
Site Plan 1:500



Ground Floor Plan



First Floor Plan



Rear (NW) Elevation

Left Side (SW) Elevation

Front (SE) Elevation

Right Side (NE) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Grey.
Details	Reconstituted stone sills. Colour - Portland.
Windows & Doors	White PVC-U frames with double glazing.

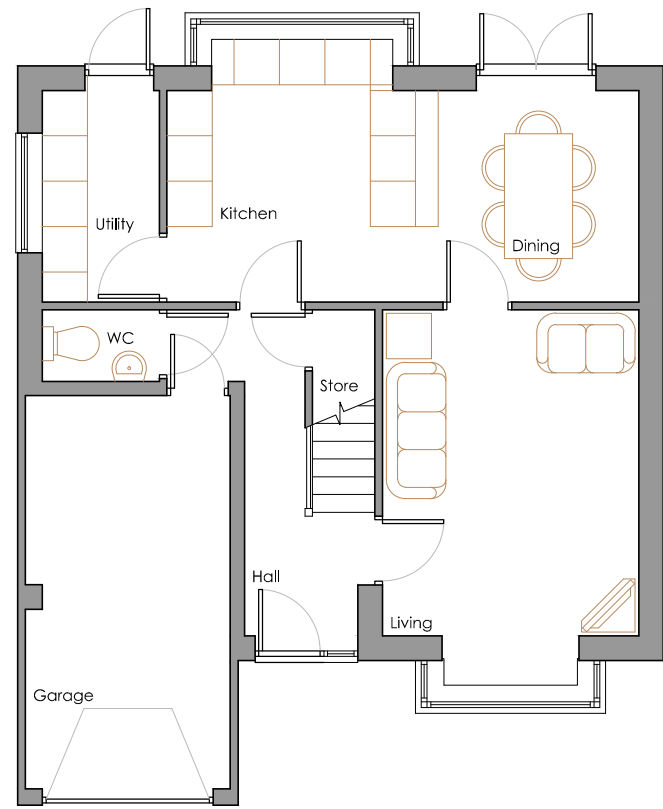
See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.



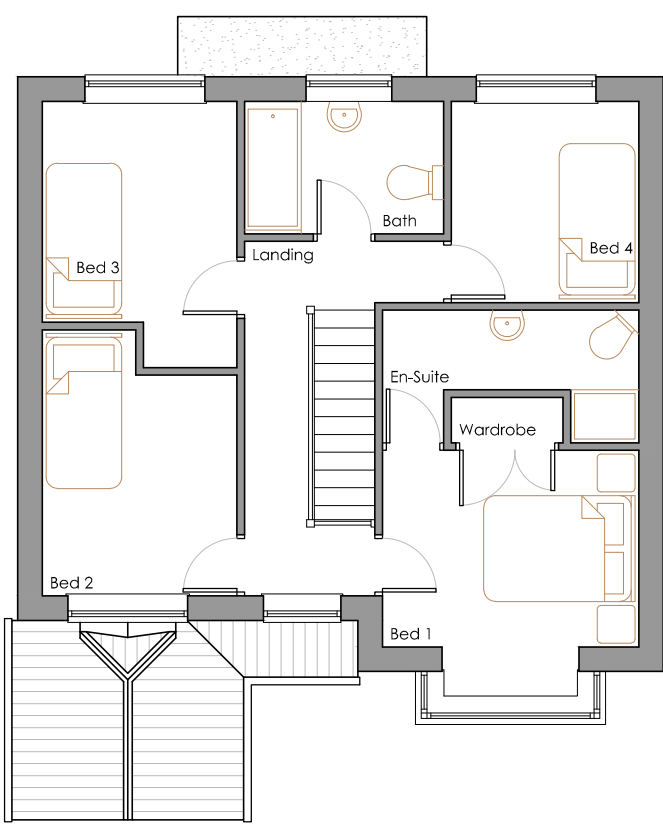
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rev	date	drawn	ch'kd	project title			
A	31/03/15	SGP	TL	Development of 4 No. New Dwellings @ 105 Cotwall End Road, Sedgley			
				drawing title			
				Proposed House Types - Plot 1			
				drawing no.	815/A/060	rev	A
				scale	1:100 @ A1	date	February 2014
drawn by		checked by	authorised by				
S G Prior		I Lewis	I Lewis				



Site Plan 1:500



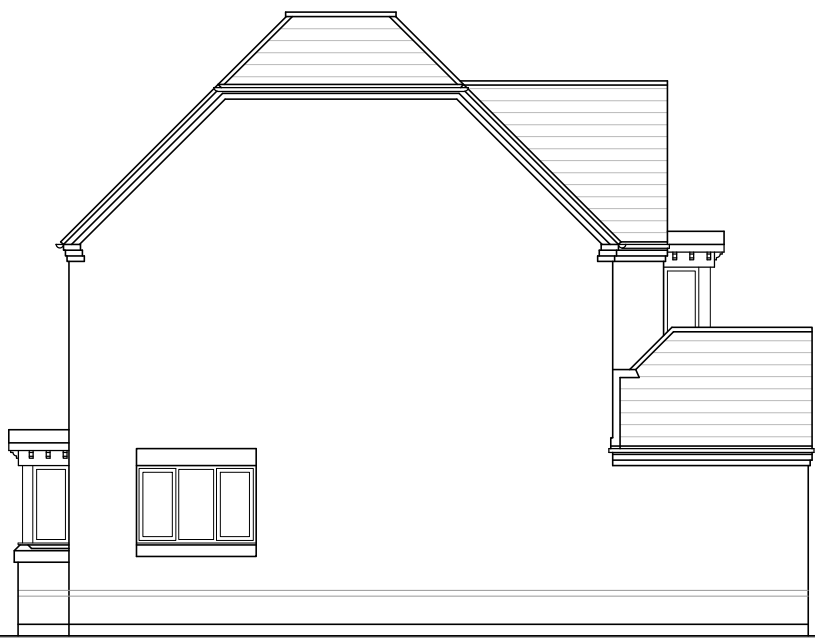
Ground Floor Plan



First Floor Plan



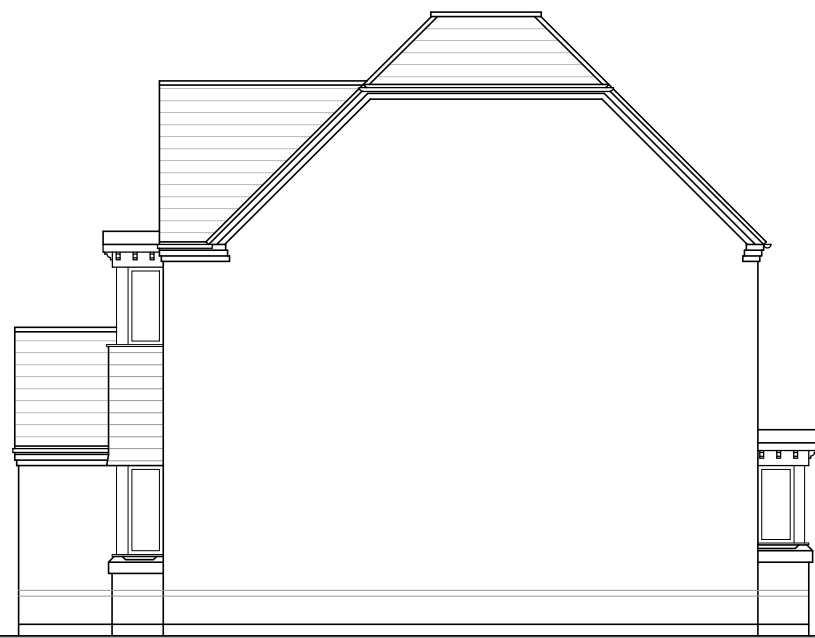
Rear (NW) Elevation



Left Side (SW) Elevation



Front (SE) Elevation



Right Side (NE) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Render	Through colour. Colour - Champagne
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Brown.
Details	Stained timber boarding with infill rendered panels (bay window).
Windows & Doors	White PVC-U frames with double glazing.

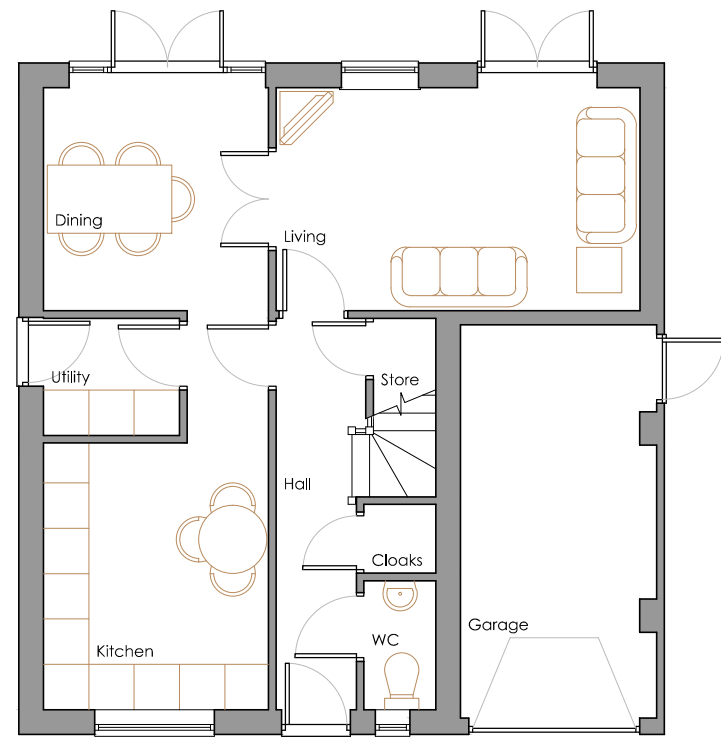
See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.



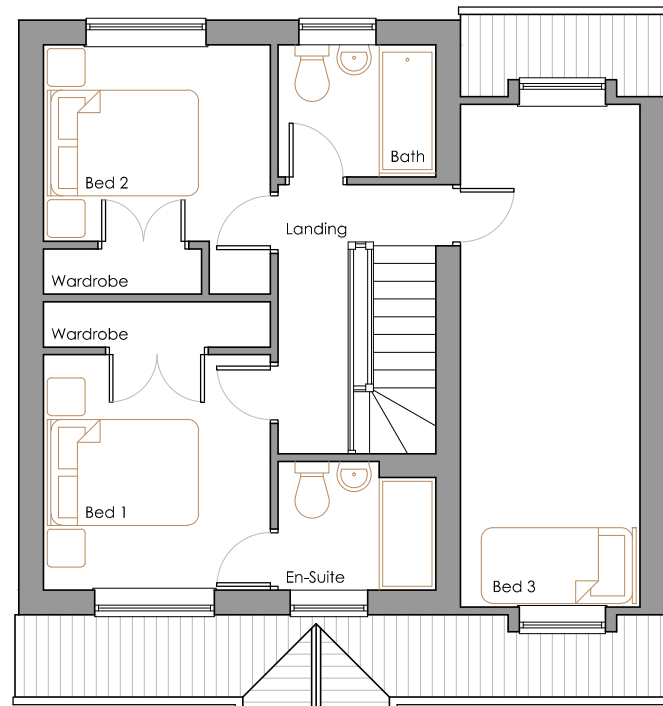
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B		31/03/15		SGP		IL		Development of 4 No. New Dwellings @ 105 Cotwall End Road, Sedgley							
drawing title															
Proposed House Types - Plot 3															
drawing no.														rev	
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scale										1:100 @ A1		date			
												February 2014			
drawn by						checked by		authorised by							
S G Prior						I Lewis		I Lewis							



Site Plan 1:500



Ground Floor Plan



First Floor Plan



Left Side (SW) Elevation

Front (SE) Elevation

Right Side (NE) Elevation

Rear (NW) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Render	Through colour. Colour - Champagne
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Grey.
Details	Stained timber boarding with infill rendered panels (bay window).
Windows & Doors	White PVC-U frames with double glazing.

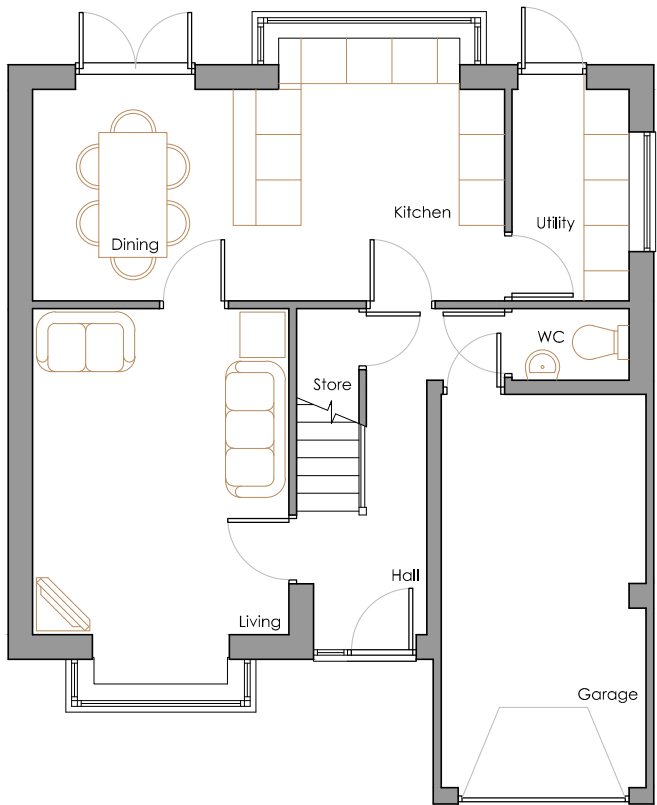
See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.



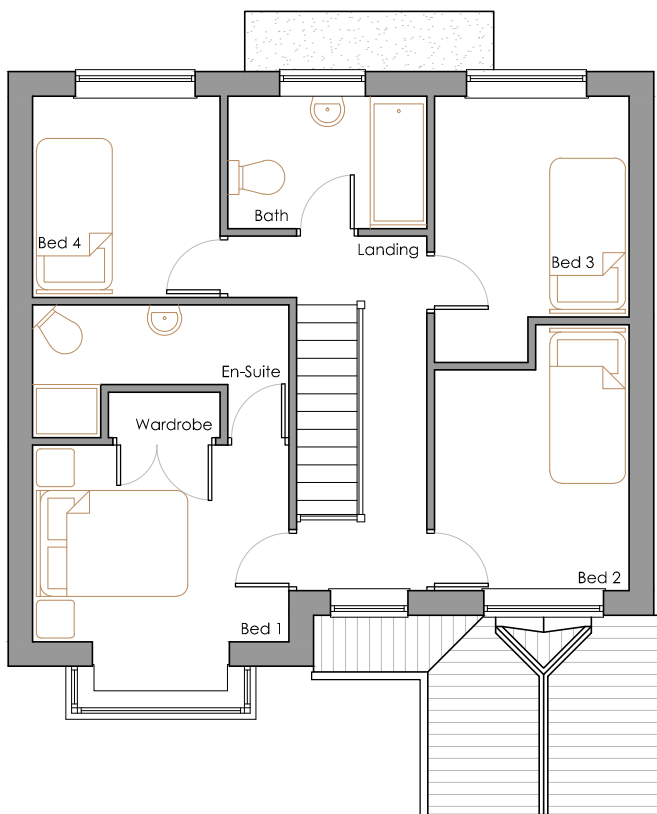
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A	Planning amendments	31/03/15	SGP	IL	Development of 4 No. New Dwellings @ 105 Cotwall End Road, Sedgley										
drawing title															
Proposed House Types - Plot 4															
drawing no.					rev										
815/A/063					A										
scale										date					
1:100 @ A1										February 2014					
drawn by					checked by			authorised by							
S G Prior					I Lewis			I Lewis							



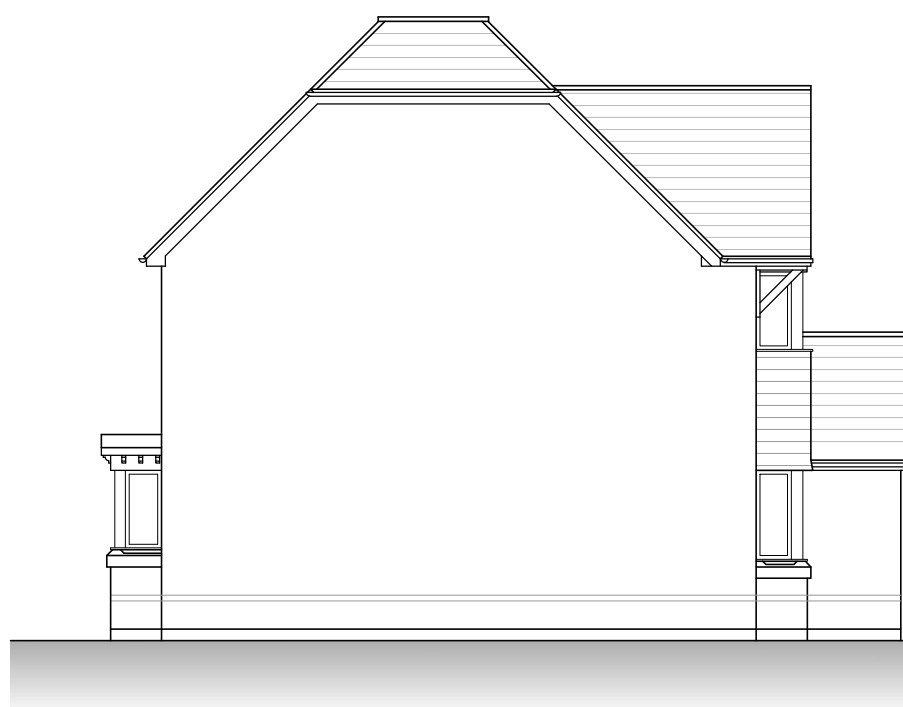
Site Plan 1:500



First Floor Plan



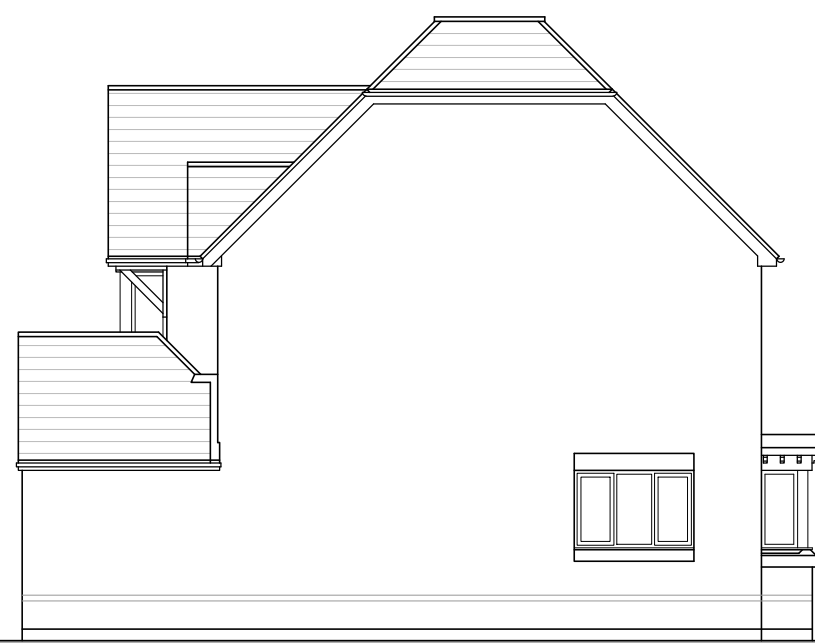
Ground Floor Plan



Left Side (SW) Elevation



Front (SE) Elevation



Right Side (NE) Elevation



Rear (NW) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Render	Through colour. Colour - Champagne
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Brown.
Details	"Plain Tile" tile hanging (bay window). Colour - Natural Red.
Windows & Doors	White PVC-U frames with double glazing.

See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.



east wing		• wrottesley hall		• holyhead road		• cadsall		• wolverhampton		• wv8 2ht		• t:[01902] 840044		• f:[01902] 847427	
rev		date		drawn		ch/ka		project title							
Development of 4 No. New Dwellings															
@ 105 Cotwall End Road, Sedgley															
drawing title															
Proposed House Types - Plot 2															
drawing no.															
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February 2014															
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