

## PLANNING APPLICATION NUMBER:P09/1167

Type of approval sought	Full Planning Permission
Ward	WOLLASTON & STOURBRIDGE TOWN
Applicant	The Feofees of Old Swinford Hospital
Location:	<b>1, PROSPECT HILL, STOURBRIDGE, DY8 1PN</b>
Proposal	<b>ERECTION OF 3 NO. DWELLINGS (FOLLOWING DEMOLITION OF EXISTING HOUSE)</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO A 106 AGREEMENT</b>

### SITE AND SURROUNDINGS

1. The site lies at the corner of Prospect Hill and Union Street on the edge of Stourbridge town centre, and is currently occupied by a vacant house and its overgrown garden.
2. On the opposite side of Union Street there are a number of commercial and light industrial units. Prospect Hill in the vicinity of the site is entirely residential, comprising a mix of house types. Immediately adjacent the site to the south is a large parking area. Union Street is relatively level, whilst Prospect Hill rises steeply from north to south up to Oldswinford Hospital School.

### PROPOSAL

3. Permission is sought to demolish the existing building at the site and to erect 3no.terraced 3-bed houses. Each of the houses has a rear garden area, and five parking spaces are to be provided at the rear of the buildings.

### HISTORY

4. None.

## PUBLIC CONSULTATION

5. A letter has been received from the occupier of no.15 Prospect Hill, objecting to the proposal on the grounds that side facing windows within the development would result in overlooking and a loss of privacy.

## OTHER CONSULTATION

6. Group Engineer ( Development ): No objection subject to the submission of an amended plan showing revisions to the site access and visibility splays.
7. Head of Environmental Health and Trading Standards: No objection.

## RELEVANT PLANNING POLICY

8. Adopted UDP

Policy DD1 ( Urban Design )

Policy DD4 ( Development in Residential Areas )

Policy DD6 ( Access and Transport Infrastructure )

Policy DD7 ( Planning Obligations )

Policy H3 ( Housing Assessment Criteria )

Policy H6 ( Housing Density )

### Supplementary Planning Documents

Parking Standards and Travel Plans

Planning Obligations

New Housing

## ASSESSMENT

9. Key Issues

- Principle;

- The impact of the development on the character of the area;
- Residential amenity;
- Parking/highway safety;
- Planning Obligations

#### Principle

10. The proposed redevelopment of the site for new housing at a higher density complies with both Policy H3 of the UDP which encourages the re-use of previously-developed land within the urban area for high density development, and with Policy H6 which advises that higher density should be the prime objective of all new residential development, particularly those sites within the walkable catchment of town and local centres. The density of the proposed development would be 68 dwellings per hectare.

#### Character

11. Policy DD4 of the UDP advises that new development in residential areas will only be allowed where there would be no adverse effect on the character of the area. Policy DD1 states that all development should make a positive contribution to the character and appearance of the area.
12. The footprint of the proposed development is a wide wedge shape covering the full width of the site, providing a strong visual focus to the front of the development. The proposed buildings are of a contemporary design with brick and timber construction – given that the wider area is characterised by housing of a variety of styles and ages it is considered that the development is of an acceptable design, scale and massing which can be readily accommodated in the street scene without detriment to the character of the area.
13. The proposed garden areas are relatively small for three-bedroomed properties, both in terms of their length and overall area. On balance the gardens are acceptable in this case given that their size allows for a higher density of development at the site in

accordance with Policies H3 and H6. Additionally the provision of small gardens is not uncharacteristic of this area – there are 12 terraced houses on Prospect Gardens directly opposite the site to the west which have 3m long rear gardens only and are less than 12 sq. metres in area.

#### Residential Amenity.

14. The development would result in overlooking of nos.14 and 15 Prospect Hill from ground and first floor side facing windows. Views between properties at relatively short distances is a common feature of tight-knit urban areas such as this, and whilst the development would result in a degree of privacy loss at nos. 14 and 15 the overall effect would not be so significant as to warrant refusal of the application. In any case the provision of habitable room windows along the Prospect Hill frontage is desirable from a community safety point of view as it would increase the natural surveillance of the area.

#### Parking/Highway Safety

15. The development provides 5 off-street parking spaces, which is considered an appropriate level of parking given that the site is in a sustainable location on the edge of Stourbridge town centre. An amended plan has been submitted showing the revisions to the layout requested by the Group Engineer. The scheme therefore complies with Policy DD4 which requires that new developments should not have any detrimental effect on highway safety.

#### Planning Obligations

16. Policy DD7 of the UDP requires applicants to enter into planning obligations in order to make appropriate provision for the infrastructure requirements of a development. In this case the following contributions are to be sought in accordance with the provisions of the Planning Obligations SPD:

- open space/play area improvements - £2474.53

- library improvements - £184.92
- public realm - £462.35
- transport infrastructure - £401.31
- nature conservation enhancements - ££225
- management and monitoring costs - £250
- legal costs -£50

A signed unilateral undertaking has been submitted as part of the application which commits the developer to provide the required financial contribution of £4048.11.

## CONCLUSION

17. The proposed development would have a positive impact on the character of the area, makes appropriate provision for associated infrastructure improvements, and would have no adverse effect on residential amenity or highway safety. As such the proposal complies with Policies DD1, DD4, DD6, DD7, H3 and H6 of the UDP.

## RECOMMENDATION

18. It is recommended that the application be approved, subject to the following conditions:

### Reason For Approval

The proposed development would have a positive impact on the character of the area, makes appropriate provision for associated infrastructure improvements, and would have no adverse effect on residential amenity or highway safety.

The decision to grant planning permission has been taken with regard to the policies and proposals in the Dudley Unitary Development Plan set out below and to all relevant material considerations including supplementary planning guidance:

Policy DD1 ( Urban Design )

Policy DD4 ( Development in Residential Areas )

Policy DD6 ( Access and Transport Infrastructure )

Policy DD7 ( Planning Obligations )

Policy H3 ( Housing Assessment Criteria )

Policy H6 ( Housing Density )

The above is intended as a summary of the reasons for the grant of planning permission. For further detail on the decision please see the application report.

Note For Applicant

For the avoidance of doubt, this permission relates to drawing no.s

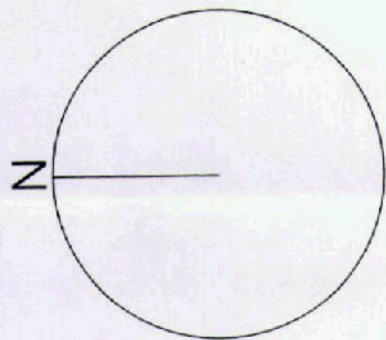
Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking or re-enacting that order with or without modification) no development referred to in Schedule 2 Part 1 Class A of that order shall be carried out.
3. Prior to the occupation of the dwellings hereby approved, the parking area shown on the approved plan shall be provided and thereafter maintained for these purposes for the lifetime of the development.
4. Prior to the commencement of development, details of the existing and proposed levels of the site (including finished floor levels), which should be related to those of adjoining land and highways, shall be submitted to and approved in writing by the local planning authority. The development shall proceed in accordance with the approved levels.
5. Prior to the commencement of development, details of the types, colours and textures of the materials to be used in the hard surfacing of the development hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in complete accordance with the approved details and retained for the lifetime of the development unless otherwise agreed in writing with the local planning authority.
6. Prior to the commencement of development, details of the types, colours and textures of the materials to be used on the external surfaces of the buildings hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in complete accordance with the approved details.
7. No additional openings shall be formed in the east elevation of the dwelling without the prior written approval of the local planning authority.

8. Prior to the commencement of development, details of the boundary treatments to be installed on the whole site shall be submitted to and approved in writing by the Local Planning Authority. The development shall proceed in accordance with the approved details, which shall be installed on site prior to occupation and thereafter maintained for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.



Location Plan  
20/11/07



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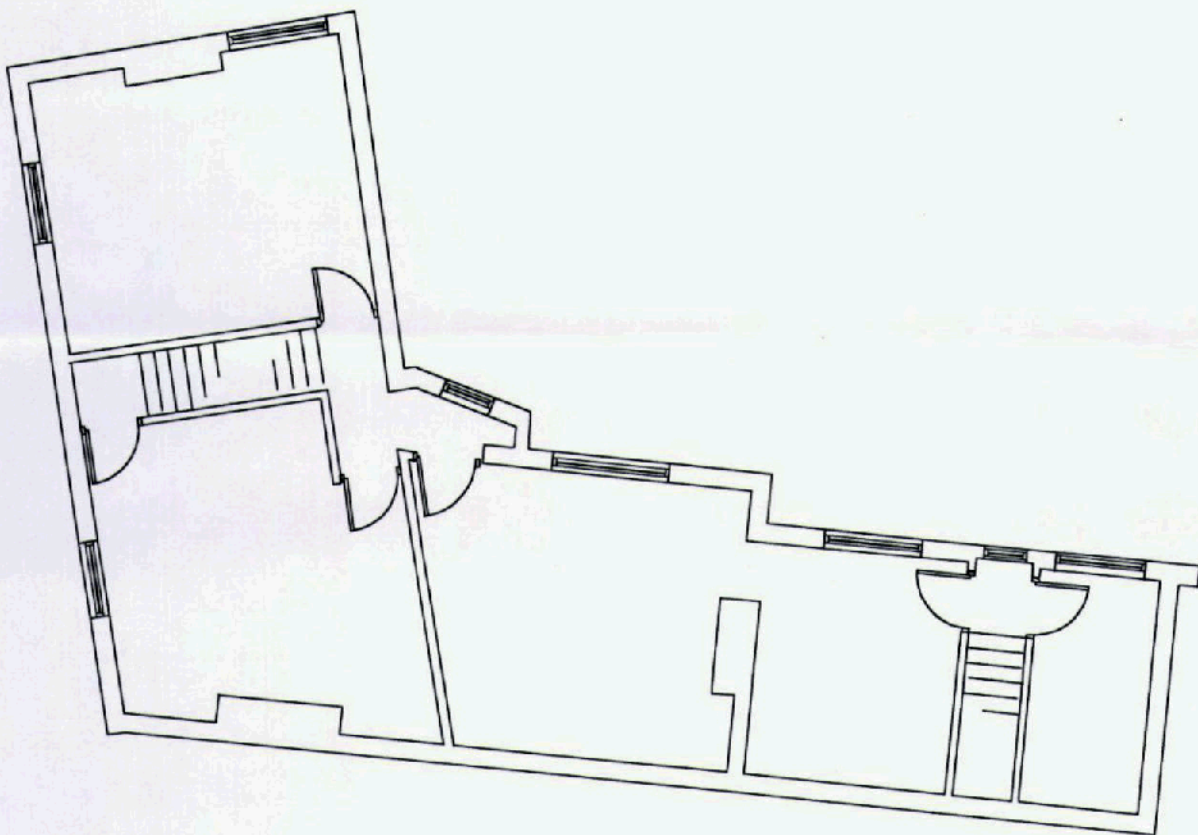
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ARCHITECTS

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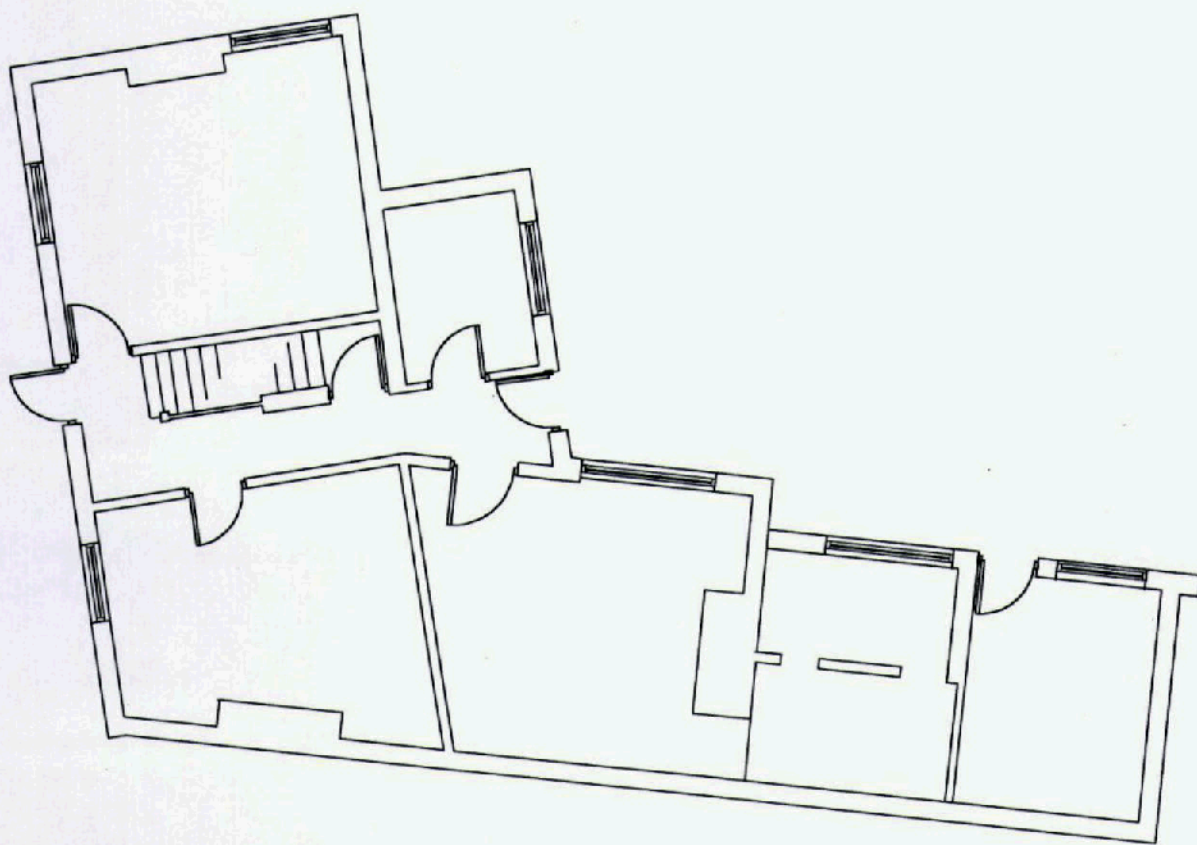
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									checked by	MJC	date created April 2009



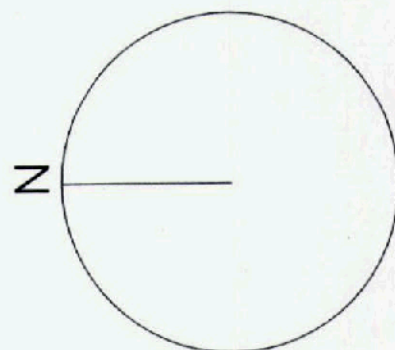
floor plans  
P09/11167



First Floor Plan



Ground Floor Plan

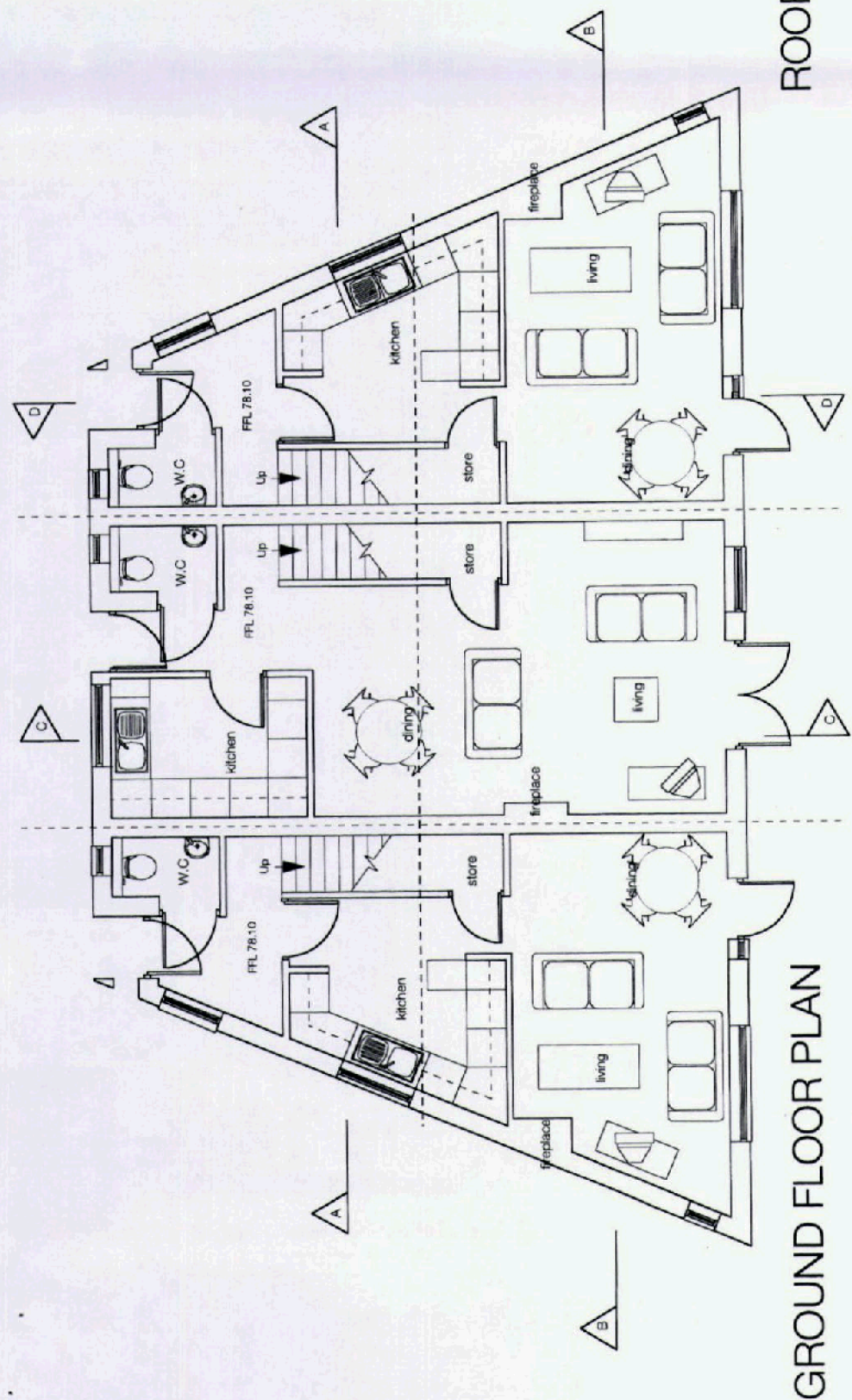


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		status	Planning	drawing title	Existing Ground & First Floor Plan	scale	1:100	checked by	MJC	date created	April 2009

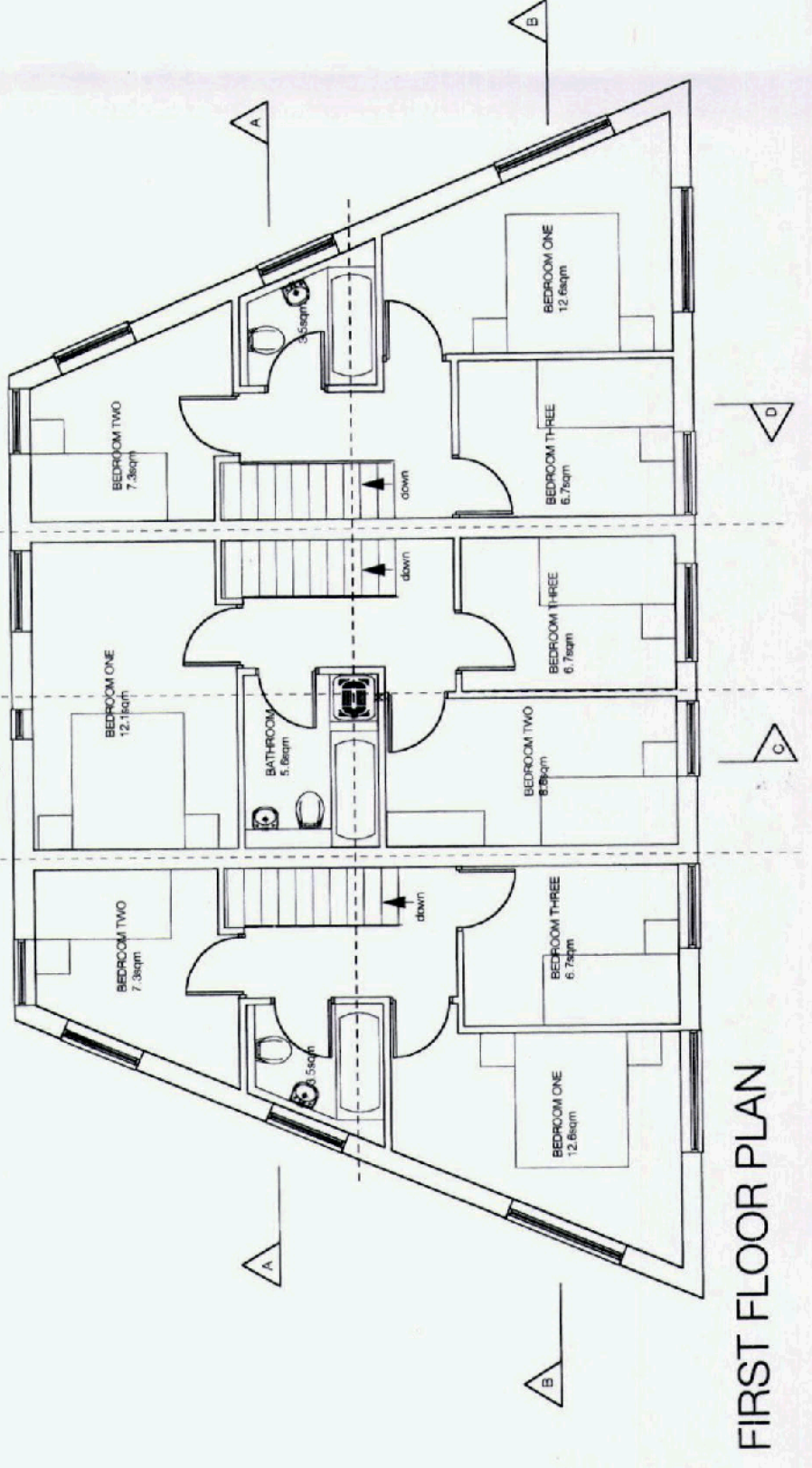
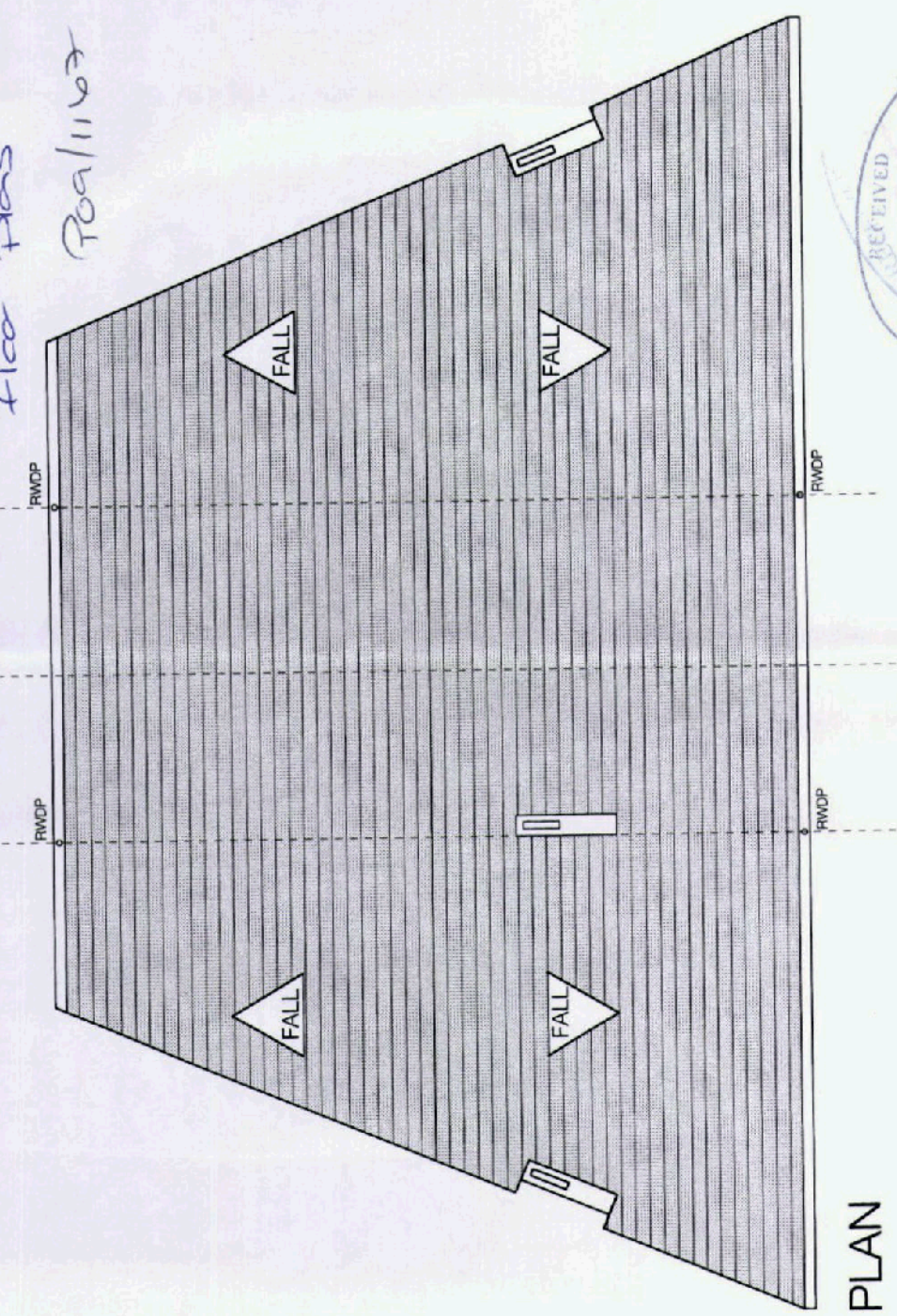


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GROUND FLOOR PLAN

ROOF PLAN



FIRST FLOOR PLAN

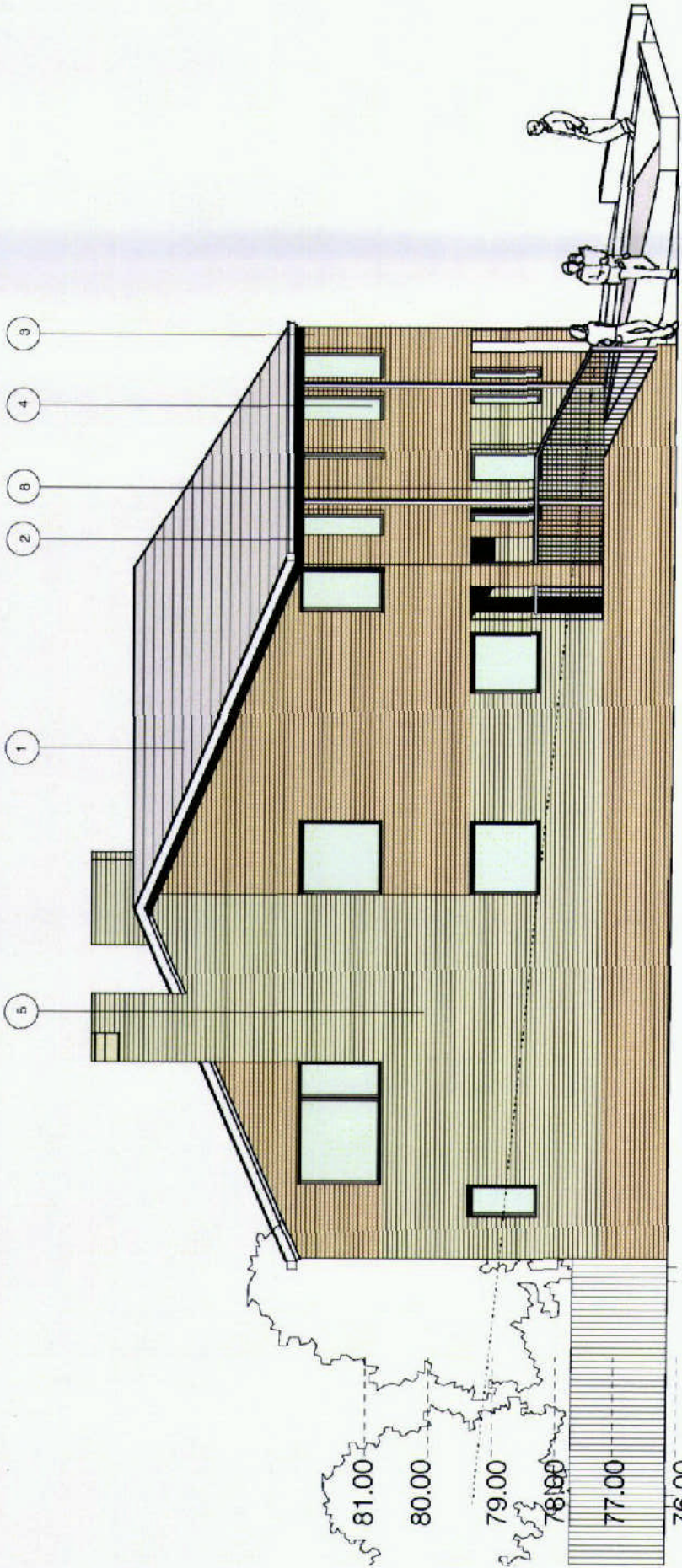


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contact	client	project	dra
11 Tenby Street, Breckham, B1 3AJ T. 0121 200 1072 F. 0121 200 1073 mail@sjolanderdacruz.co.uk www.sjolanderdacruz.co.uk	Old Swinford Hospital	One Prospect Hill	0806-P201
	status	drawing title	scale
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		Proposed Plans	
		checked by	created by
		MJC	DK
			rev
			date created
			April 2008

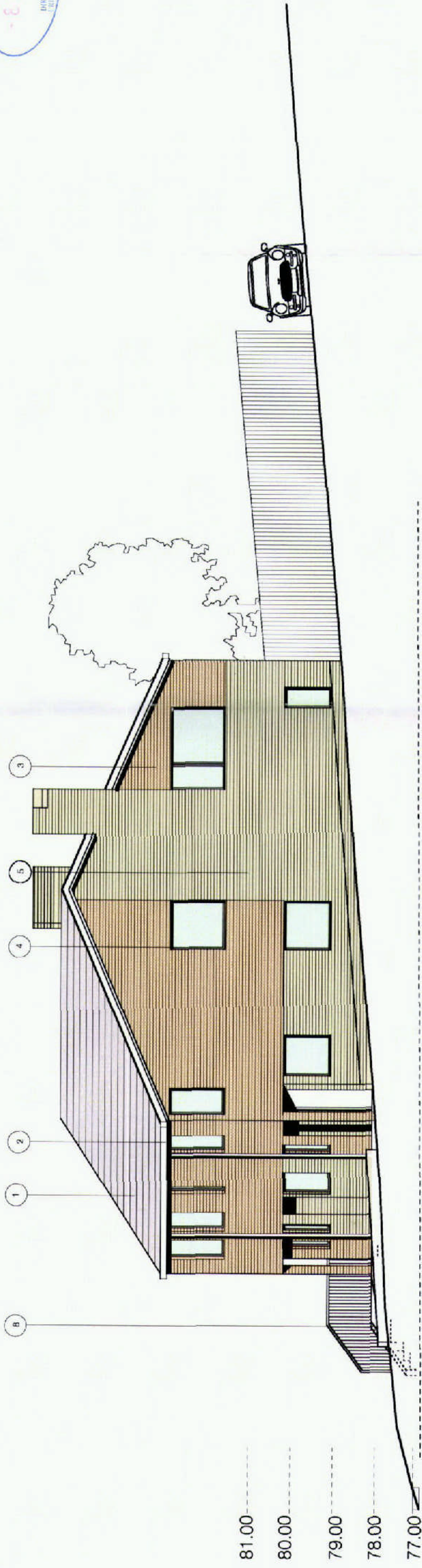


Elevations  
909/1167

- KEY TO MATERIALS
1. eternit slate roof
  2. upvc gutter
  3. dark facing brick
  4. upvc window
  5. light facing brick
  6. upvc rainwater downpipe
  7. upvc front door
  8. handrail



EAST ELEVATION

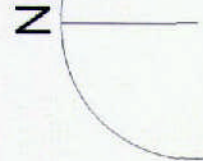


WEST ELEVATION

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				status	Planning	scale	1:100	date created
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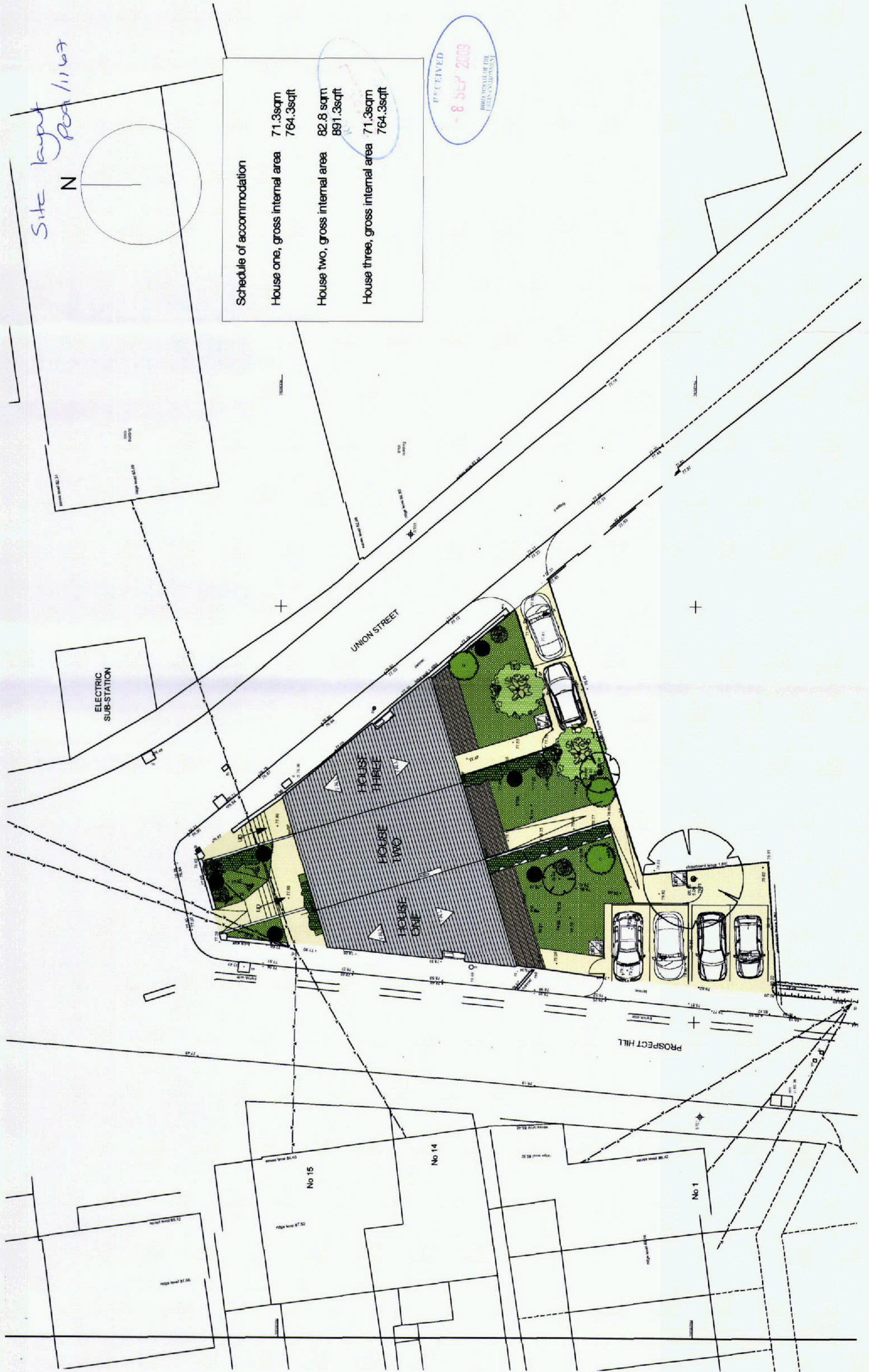


Site layout  
22/09/11/07



Schedule of accommodation

House one, gross internal area	71.3sqm 764.3sqft
House two, gross internal area	82.8 sqm 891.3sqft
House three, gross internal area	71.3sqm 764.3sqft



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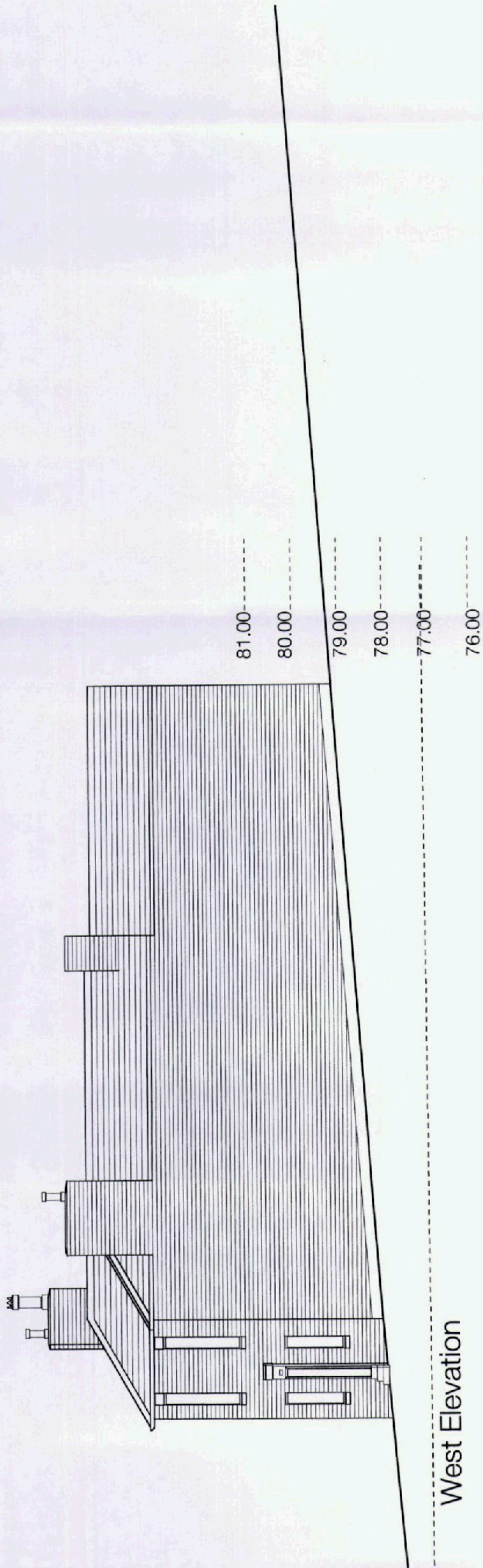
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contact	11 Terby Street Birmingham, B1 3AJ T 0121 200 1072 F 0121 200 1073 mail@sjolanderdacruz.co.uk www.sjolanderdacruz.co.uk	drawing title	Proposed Site Plan	scale	1:200	April 2009		

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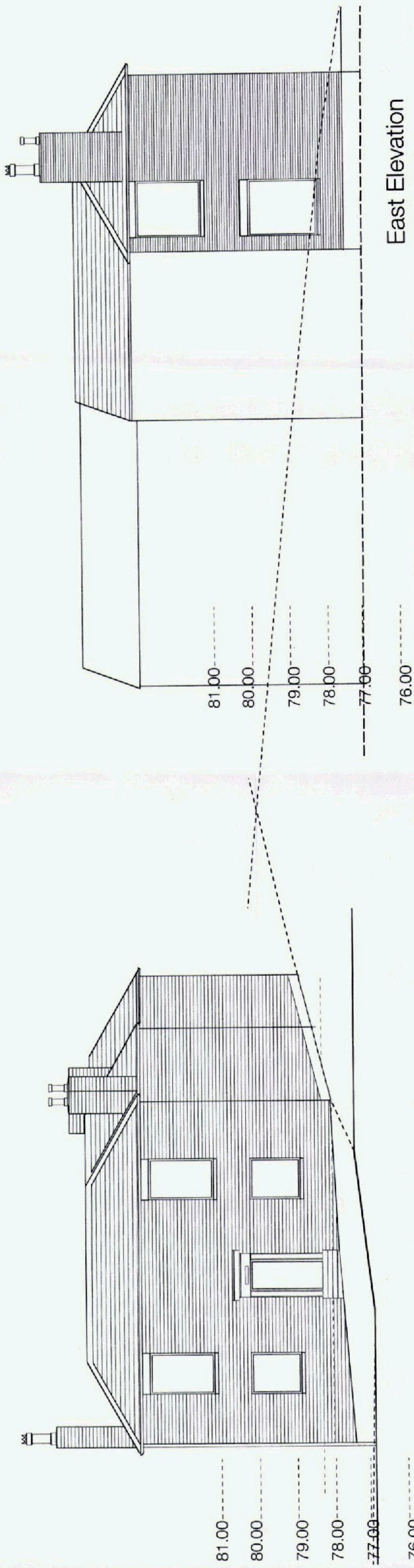


Elevations

209/1167



West Elevation



East Elevation

North Elevation

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