

PLANNING APPLICATION NUMBER:P10/0127

Type of approval sought	Full Planning Permission
Ward	WORDSLEY
Applicant	Mr Robert Boulter, Dudley Metropolitan Borough Council
Location:	GREEN CARE DEPOT, WORDSLEY PARK, LAWNSWOOD ROAD, WORDSLEY, STOURBRIDGE, WEST MIDLANDS
Proposal	ERECTION OF SINGLE STOREY WELFARE/OFFICE BLOCK
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The site measures 0.2 hectares and comprises the Council Greencare Depot which contains an existing garage for the storage of plant and machinery, separate toilets, 6 steel containers for the storage of machinery and materials and two modular buildings used as offices and a mess room.
2. The depot lies immediately to the south of Lawnswood Road with vehicular access provided to the west via the existing public car park that serves the park. The depot is enclosed by a brick wall running along its northern boundary and a series of fences and hedges on the other boundaries.
3. The depot has been in use since the 1950's and houses the grounds maintenance team for Dudley MBC (DUE) and consists of 16 gardeners, 1 no. area manager and 2 no. working supervisors who are responsible for the day to day maintenance of the park and all the Council's parks and green spaces.
4. There are also two Victorian buildings sited within the northern part of the park (Ashfield House and Ashfield Lodge). Ashfield House comprises a flat; changing facilities to serve the users of the football pitches within the park and 2 rooms used by

the friends of Wordsley Park for the storage of equipment. Ashfield Lodge is used for residential purposes.

5. The site is located within a predominantly residential area. Lawnswood Road lies to the north of the site and is characterised by modern detached houses and some recently built bungalows. The eastern and southern boundaries of the site adjoin Bells Lane and Bell Vue and are characterised by a mix of age, style and type of residential dwellings. Abutting the western boundary of the site is the Belle Vue Primary School.
6. The development would be sited within the existing DMBC leisure services depot within the northern part of the site and immediately adjoining Lawnswood Road. The northern part of the site is enclosed by a red brick wall, which is 2 metres high. A Hornbeam hedge has recently been planted behind the wall in order to help screen the depot from surrounding residential properties.

PROPOSAL

7. The proposed welfare and office unit would comprise a single storey modular building with 3no. offices, disabled toilet, mess room with kitchen, store, changing room with toilets and a shower. The building would be sited immediately to the north of the existing garage and toilet block lying immediately to the south of Lawnswood Road. The building would measure 7.3 metres wide and 13.7 metres deep. The building would have a shallow pitched roof measuring 2.4 metres to its eaves and 3.3 metres to its ridge. The building would be set 0.8 metres lower than the footpath that runs along Lawnswood Road resulting in only 0.3 metres of the ridge of the roof being visible from the road. The level will be achieved by lowering the existing site 450mm through the removal of an area of hardcore that has previously been stored on this part of the site. The modular building would be constructed with steel plate walls finished in Hollybush Green.

8. The siting of the proposed building will allow for the removal of two existing modular officer/mess room buildings and one of the existing steel containers. The retained steel containers would then be re-sited along the southern boundary of the site. The rationalised number of steel containers would then have an overall cubic storage capacity of less than 200 cubic metres. This storage capacity would thereby constitute permitted development under Part 12 (Development by Local Authorities) of The Town and Country Planning (General Permitted Development) Order 1995.
9. The application is accompanied by a design & access statement.

HISTORY

APPLICATION No.	PROPOSAL	DECISION	DATE
P02/2286	Temporary siting of mobile unit in compound for officer and mess room.	Withdrawn	07/02/03
P03/0569	Raise roof to tractor shed and demolish outbuildings.	Approved with conditions.	12/05/03
P05/0902	Installation of temporary mobile unit for use as office.	Temporary planning permission granted for 3 years.	28/07/05
P09/0361	Temporary planning permission for the retention of mobile unit to be used as an office (retrospective)	Temporary planning permission granted for 1 year.	03/06/09

PUBLIC CONSULTATION

10. The application was advertised by way of neighbour notification letters being sent to the occupiers of twenty-seven properties located within close proximity to the site and through the display of a site notice. The latest date for comments was the 16th March 2010. No letters have been received commenting on the proposed development.

OTHER CONSULTATION

11. **Group Engineer (Development):** No objections.
12. **Head of Environmental Health and Trading Standards:** No adverse comments.

RELEVANT PLANNING POLICY

- Unitary Development Plan

S06 Parks

DD1 Urban Design

DD4 Development in residential areas

13. The site is located within the King George V Town Park

- Regional Spatial Strategy

QE3 Creating a high quality built environment for all

ASSESSMENT

Key Issues

- Principle
- Design and Appearance
- Impact upon residential amenity
- Noise

Principle

14. Policy S06 of the Adopted Dudley Unitary Development Plan seeks to protect parks from inappropriate development that would amongst other things jeopardise the setting of the park. The depot is enclosed on its northern boundary by a 2 metre high brick wall and its southern boundary by a mature hedge. The eastern boundary is enclosed by a metal gate and close boarded fencing, which extends approximately 1.5 metre high. The western boundary of the site is enclosed by a set of power coated black metal gates.
15. The proposed building would be screened from the park through its siting to the north of the existing garage building. The proposed building would visually protrude only slightly above the existing boundary wall running along the northern boundary of the site. The limited projection of the building above the wall would be set against the existing garage building which stands significantly higher. The limited projection of the proposed building above the wall and its screening by existing boundary treatment when viewed from the park would ensure that the proposed development would not have an adverse impact upon the character of the area or upon the setting of the park. In this regard, the proposed development would be in accordance with Policies S06 and DD4 of the Adopted Dudley Unitary Development Plan (2005).

Design and Appearance

16. The proposed building would be of a functional design with a shallow pitched roof and steel plate walls treated in green. The siting of the building would ensure that it is significantly screened from public views from the park and the adjoining Lawnswood Road. In view of the screening of the building from the surrounding area and its discreet location adjoining the existing garage within the depot would ensure that it would not have an adverse impact upon the setting of the park or the visual appearance of the street scene when viewed from Lawnswood Road thereby being in accordance with Policies S06 and DD4 of the Adopted Dudley Unitary Development Plan (2005).

Impact upon residential amenity

17. The proposed building would be sited opposite no. 9 and 10 Muirville Close, which are residential properties. These dwellings are orientated side on to Lawnswood Road with the blank side gables facing the road and are separated from the application site by approximately 24 metres. The separation distance of the proposed building from the residential properties and the significant screening of the proposed building by the existing boundary wall would ensure that there would be no adverse visual impact upon the occupiers of these nearby properties thereby ensuring compliance with Policy DD4 of the Adopted Dudley Unitary Development Plan (2005).

Noise

18. The proposed building would not result in an increase in intensity of use at the existing depot but would serve to rationalise the number of temporary buildings within the site and enable the provision of improved office and mess room facilities for staff. Given that the scheme would not result in an intensity of use the proposed use of the building would not raise concerns in terms of potential noise and disturbance to the occupiers of nearby residential properties and would be in accordance with Policy EP7 and DD4 of the Adopted Dudley Unitary Development Plan (2005).

CONCLUSION

19. The proposed building due to its siting and limited height would not have an adverse impact upon either the setting of the park or upon residential amenity due to the screening of the building by existing boundary treatment and the significant separation distance between the building and the nearest residential property on Lawnswood Road. The scheme would enable the removal of two existing temporary buildings within the depot and the rationalisation and re-siting of a number of existing steel containers within the site thereby improving the appearance of the site from Lawnswood Road. The proposed building would not result in an increase in intensification of use at the site thereby ensuring that there would not be an increase in noise and disturbance to the occupiers of nearby residential properties.

RECOMMENDATION

20 It is recommended that the application be approved subject to conditions:

Reason for approval

The proposed building due to its siting and limited height would not have an adverse impact upon either the setting of the park or upon residential amenity due to the screening of the building by existing boundary treatment and the significant separation distance between the building and the nearest residential property on Lawnswood Road. The scheme would enable the removal of two existing temporary buildings within the depot and the rationalisation and re-siting of a number of existing steel containers within the site thereby improving the appearance of the site from Lawnswood Road. The proposed building would not result in an increase in intensification of use at the site thereby ensuring that there would not be an increase in noise and disturbance to the occupiers of nearby residential properties.

The decision to grant planning permission has been taken with regard to the policies and proposals in the adopted Dudley UDP (2005) and to all other relevant material considerations.

The above is intended as a summary of the reasons for the grant of planning permission. For further detail on the decision please see the application report.

Note to Applicant

The development hereby permitted shall be built in accordance with the approved plans numbered **001 Rev B, 002 Rev A and 003** unless otherwise agreed in writing by the Local Planning Authority.

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The walls of the building hereby permitted shall be colour coated in Hollybush Green in accordance with the details submitted as part of the planning application submission and retained for the lifetime of the development.
3. Prior to the occupation of the building hereby approved the existing temporary office, mess room and steel container shall be removed from the site and the depot shall be laid out in accordance with Drawing No. 002 Rev A and retained in this manner for the lifetime of the development.
4. Prior to the occupation of the building hereby approved details shall be submitted to and approved in writing showing the provision of secure, undercover cycle parking within the development. The scheme shall be implemented in accordance with the approved details and retained for the lifetime of the development.

Dudley
Metropolitan
Borough Council

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ALL FIGURED DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO BE CHECKED BY THE CONTRACTOR.

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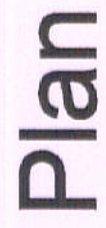
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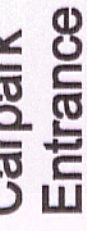
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Public Carpark



Depot
Entrance

**Proposed Welfare / Office Unit**

Site Plan 1:1250



Scale 1:100	Date Nov.09	Drawn RJB
Job Number AMPD 980	Drawing Number 001	Revision B
		Plot Sheet size A1

Dudley Property Consultancy

3, St. James's Road, Dudley, West Midlands DY1 1HZ

Directorate of Law and Property
Dudley Metropolitan Borough

Director of Law and Property
J. Polychronakis, L.L.B Solicitor

Head of Dudley Property Consultancy:
B. Gordon, B.Comm., Dip.M., M.B.A.

PROJ





Greencare Depot, Wordsley Park.

Proposed Welfare / Office Block.

B	Feb. 10	Steel storage container no. 4 repositioned as shown.	XXX
A	Jan. 10	Steel storage containers 1,2,3,4,6 added to Greencare Depot site plan.	
	REV DATE	DESCRIPTION	BY

WENDED PLAN

If in doubt-ASK!

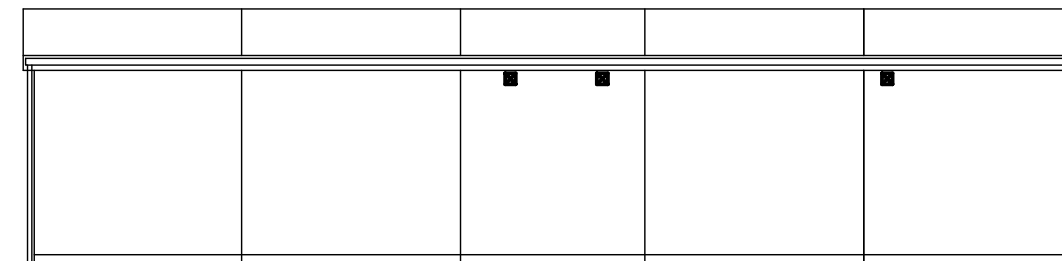
				

SIDE ELEVATION

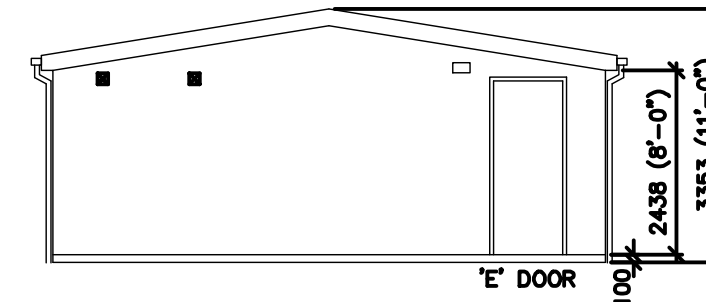
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DOWN SP

FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

DO NOT SCALE		CUSTOMER DUDLEY M.B.C. WORDSLEY PARK SITE	CLEVELAND SITESAFE LIMITED RIVERSIDE WORKS DOCKSIDE RD TS3 BAT 01642 244683	DRAWN BJT	TITLE PROPOSED ACCOMMODATION/OFFICE SITESAFE 'APEX' 45/24 5 MOD
				SCALE A3 1:100	
REMOVE ALL BURRS AND SHARP EDGES	THIRD ANGLE PROJECTION			DATE 3.11.09	DRG No Q8119-3

if in doubt-ask!

REV	DATE	DESCRIPTION	BY

Corporate Property

**Directorate of Law, Property & Human Resources.
Dudley Metropolitan Borough Council**

Interim Director
Philip Tart, LL.B.

Assistant Director
B. Gordon, B.Comm., M.B.A., M.Sc.

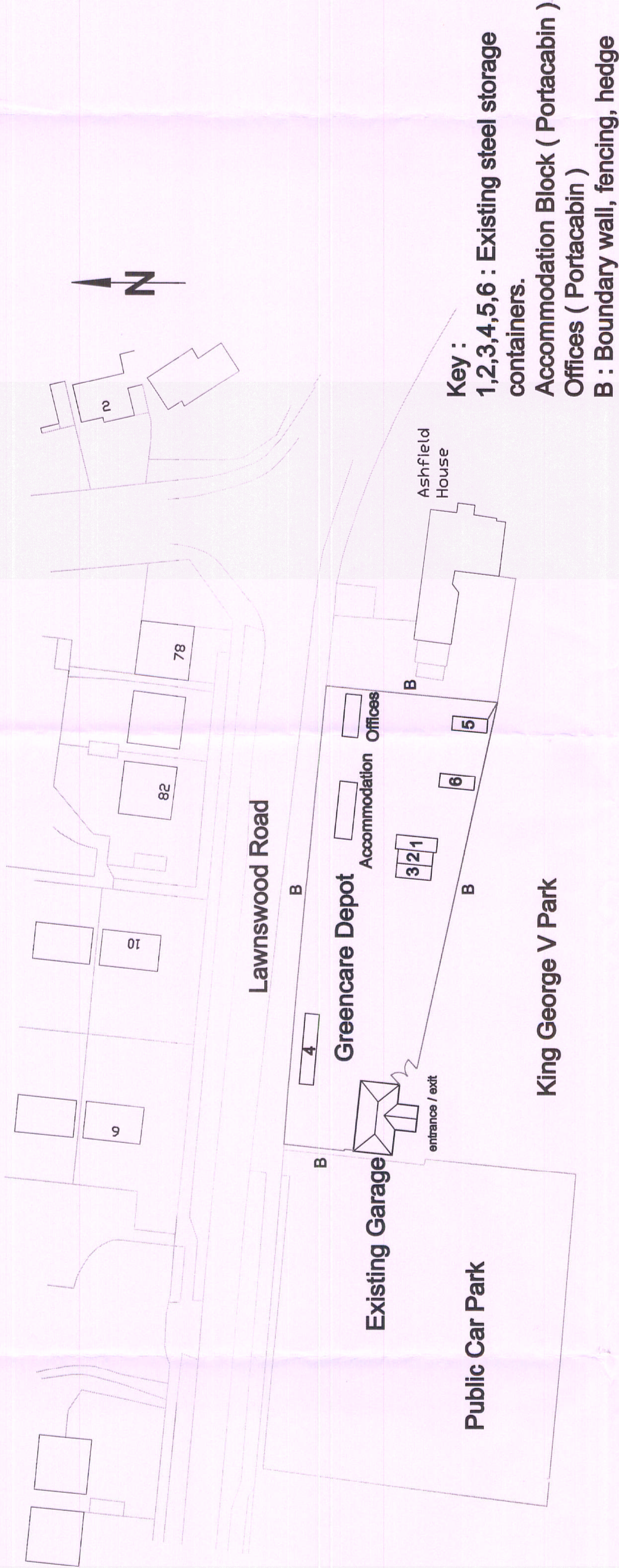


DRAWING
Proposed Accommodation Block.

Scale 1:100	Date Nov.09.	Drawn RJB	
Job Number AMPD 980	Drawing Number 003	Revision 0	Plot Sheet size A2

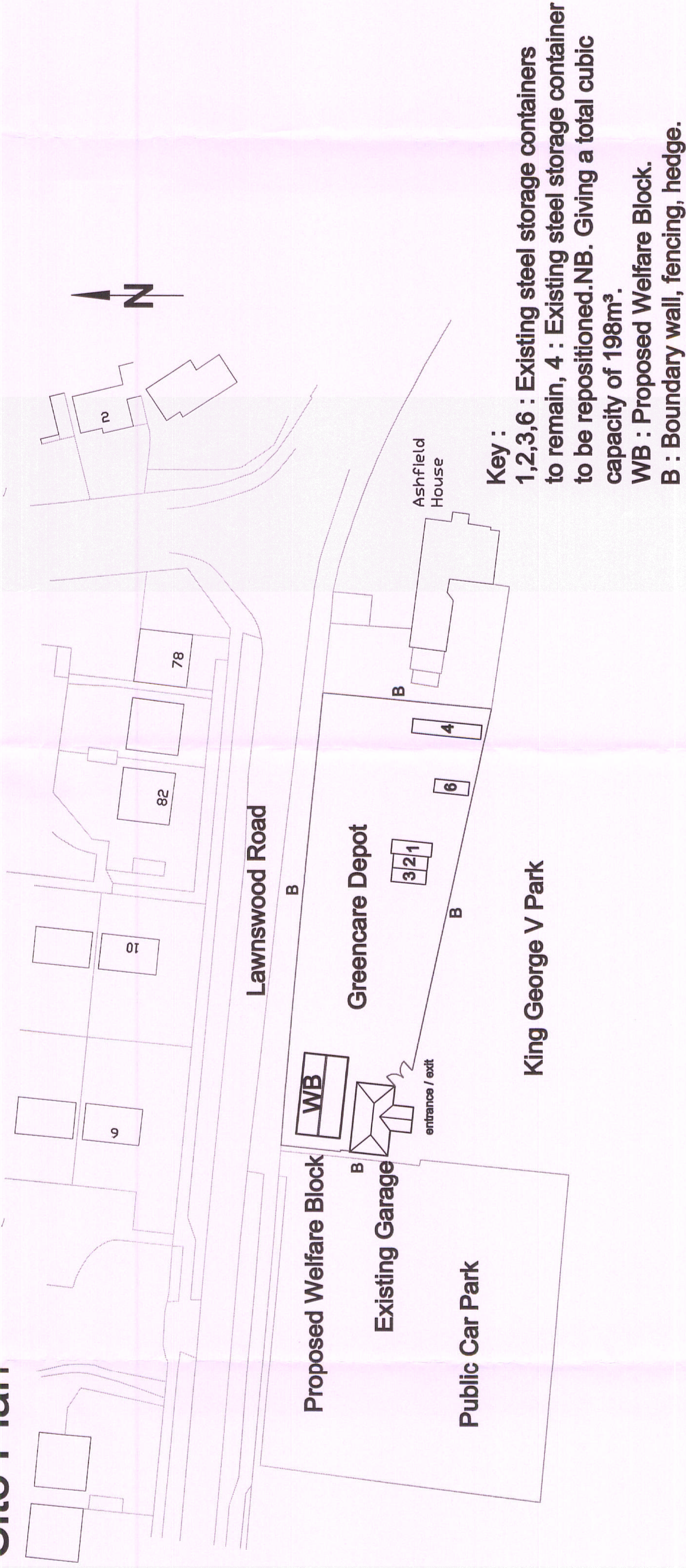
Greencare Depot, Wordsley Park : Proposed Welfare / Office Block.

Existing Site Plan



Key :
1,2,3,4,5,6 : Existing steel storage containers.
Accommodation Block (Portacabin)
Offices (Portacabin)
B : Boundary wall, fencing, hedge

Proposed Site Plan



Key :
1,2,3,6 : Existing steel storage containers to remain, 4 : Existing steel storage container to be repositioned.NB. Giving a total cubic capacity of 198m³.
WB : Proposed Welfare Block.
B : Boundary wall, fencing, hedge.

Dúdley

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NOTES

1010127
AMENDED PLAN

if in doubt-ASK!

A. Feb.10. Steel Storage container
no.4 repositioned as shown.

REV	DATE	DESCRIPTION	BY

Dudley Property Consultancy

3, St. James's Road, Dudley, West Midlands DY1 1HZ

Directorate of Law and Property

Dudley Metropolitan Borough

Director of Law and Property

J. Polychronakis, LL.B Solicitor

Head of Dudley Property Consultancy

B. Gordon, B.Comm., Dip.M., M.B.A.

PROJECT

Greencare Depot, Wordsley Park

DRAWING

Existing & Proposed Site Plans.

Scale	Date	Drawn	Rev
1:500	27.01.10	RJB	A1
Job Number	Drawing Number	Revision	Sheet size
AMPD 980	002	A	A1