



Meeting of the Development Control Committee

Monday 27th April, 2015 at 6.00pm

In Committee Room 2, at the Council House, Priory Road, Dudley

Please note the following:

- In the event of the alarms sounding, please leave the building by the nearest exit. There are Officers who will assist you in the event of this happening, please follow their instructions.
- There is no smoking on the premises in line with national legislation. It is an offence to smoke in or on these premises.
- The use of mobile devices or electronic facilities is permitted for the purposes of recording/reporting during the public session of the meeting. The use of any devices must not disrupt the meeting – Please turn off any ringtones or set your devices to silent.
- If you (or anyone you know) is attending the meeting and requires assistance to access the venue and/or its facilities, please notify the officer below in advance and we will do our best to help you.
- Information about the Council and our meetings can be viewed on the website www.dudley.gov.uk
- Elected Members can submit apologies by contacting the officer named below. The appointment of any Substitute Member(s) should be notified to Democratic Services at least one hour before the meeting starts.
- The Democratic Services contact officer for this meeting is Manjit Johal, Telephone 01384 815267 or E-mail manjit.johal@dudley.gov.uk

Agenda - Public Session

(Meeting open to the public and press)

1. Chair's Announcement.

Let me first inform you that this is a Committee Meeting of the Council, members of the public are here to observe the proceedings and should not make contributions to the decision-making process.

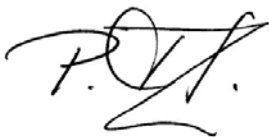
Applications are taken in numerical order with any site visit reports first, followed by applications with public speaking, then the remainder of the agenda.

Officers have explained the public speaking procedures with all those present who are addressing the committee. Will speakers please make sure that they do not over-run their 3 minutes.

There will be no questioning by Members of objectors, applicants or agents, who will not be able to speak again.

All those attending this Committee should be aware that additional papers known as the "Pre-Committee Notes" are placed around the table and the public area. These contain amendments, additional representations received, etc, and should be read in conjunction with the main agenda to which they relate. They are fully taken into account before decisions are made.

2. Apologies for absence.
3. Appointment of substitute Members.
4. To receive any declarations of interest under the Members' Code of Conduct.
5. To confirm and sign the minutes of the meeting held on 7th April, 2015 as a correct record.
6. Plans and Applications to Develop (See Agenda Index Below) (Pages 1 - 103)
7. To consider any questions from Members to the Chair where two clear days notice has been given to the Strategic Director (Resources and Transformation) (Council Procedure Rule 11.8).



Strategic Director (Resources and Transformation)

Dated: 15th April, 2015

Distribution:

All Members of the Development Control Committee:

Councillor Q Zada (Chair)

Councillor K Casey (Vice-Chair)

Councillors A Ahmed, D Caunt, A Goddard, J Martin, C Perks, R Scott-Dow and D Vickers

AGENDA INDEX

Please note that you can now view information on Planning Applications and Building Control Online at the following web address:

(Upon opening this page select 'Search for a Planning Application' and when prompted input the appropriate planning application number i.e. P09/----)

<http://www.dudley.gov.uk/environment--planning/planning/online-planning-and-building-control>

PLANS AND APPLICATIONS TO DEVELOP

Pages 1 - 8	P14/1547 – The Widders Public House, Barrack Lane, Cradley, Halesowen – Raised Decking Area to Side of Property (Retrospective)
Pages 9 - 19	P15/0084 – Pens Meadow Post 16 Unit (Former Pensnett School Site, Tiled House Lane, Dudley – Elevational Changes to Former School Gym and Neighbour Centre to Include New External Windows and Door and New Entrance Area
Pages 20 - 35	P15/0150 – Archives and Local History Service, Mount Pleasant Street, Coseley – Demolition of Extensions and Existing Store Conversion of Remaining Vacant School Building into 15 No Dwellings and Erection of 1 No Dwelling
Pages 36 - 55	P15/0234 – 105 Cotwall End Road, Sedgley, Dudley – Approval of Reserved Matters for Demolition of Existing Dwelling/Outbuilding and Erection of 4 No Dwellings (Following Outline Approval P14/0625
Pages 56 - 63	P15/0275 – 35 New Street, Dudley – Convert Existing Dwelling into 2 No Apartments with Elevational Changes to Include New Window and Door Openings and Roof Terrace
Pages 64 - 72	P15/0329 – 295 Halesowen Road, Netherton, Dudley – Single Storey Side/Rear Extension. New Front Ramp Access with Balustrade/Handrail. New Access Steps to Side Elevation
Pages 73 - 79	P15/0340 – Kingswinford Conservative Club, 24 Oak Street, Kingswinford – Installation of 3 No Condensing Units onto the Rear of the Property
Pages 80 - 95	P15/0347 – Electricity Distribution Station, Earlsway, Halesowen – Installation of a 30M High WPD Lattice Tower with 2 No Antennae and 1 No Satellite Dish. New 1.8M Palisade Fencing (Resubmission of Refused Planning Application P14/1480)
Pages 96 - 103	P15/0398 – 1 Miles Grove, Dudley – Part A: Fell 1 Sycamore Tree (T1): Part B: Fell 2 Sycamore Trees (T2 and T3)

Minutes of the Development Control Committee
Tuesday 7th April, 2015 at 6.00 pm
in Committee Room 2 at the Council House, Dudley

Present:-

Councillor Q Zada (Chair)
Councillors A Ahmed, D Caunt, A Goddard, J Martin, C Perks, R Scott-Dow and D Vickers

Officers:-

J Butler – Group Engineer, G Collings – Senior Planning Officer, T Glews – Environmental Protection Manager, H Martin - Head of Planning and C Mellor – Principal Planning Officer (Directorate of Place); G Breakwell – Solicitor and H Shepherd – Democratic Services Officer (Directorate of Resources and Transformation).

86 **Declarations of Interest**

No member made a declaration of interest in accordance with the Member's Code of Conduct.

87 **Minutes**

Resolved

That the minutes of the Committee held on 19th March, 2015, be approved as a correct record and signed.

88 **Comments by the Chair**

The Chair referred to Planning Application P15/0015 – 118 Oakham Road, Dudley – Fell 1 Sycamore Tree, that was considered at the last Committee meeting. He clarified that notification of the original Tree Preservation Order had been provided to residents, but due to inconsistent numbering within the Road, whilst numbers 118, 120 and 122 had been notified of the order, the actual neighbouring properties also included property 126a, that had not been notified. Computer systems would be amended to rectify this error.

89 **Plans and Applications to Develop**

A report of the Strategic Director (Environment, Economy and Housing) was submitted on the following plans and applications to develop. Where appropriate, details of the plans and applications were displayed by electronic means at the meeting. In addition to the report submitted, notes known as Pre-Committee notes had also been circulated updating certain information given in the report submitted. The content of the notes were taken into account in respect of the applications to which they referred.

The following persons were in attendance at the meeting and spoke on the planning applications as indicated:-

<u>Application No</u>	<u>Objectors/supporters who wished to speak</u>	<u>Agent/Applicant who wished to speak</u>
P15/0117	Mrs Gillette – Objector	Mr Singh – Applicant
P15/0235	Yvonne Stephens – Objector	
Resolved		

That the applications be determined as set out below:-

<u>Application No</u>	<u>Location/Proposal</u>	<u>Decision</u>
P15/0117	64-65 Lodgefield Road, Halesowen – First floor extension.	Approved, subject to conditions numbered 1 to 4 (inclusive), as set out in the report submitted and an additional condition, as set out below:- 5. Prior to the development being brought into use, details shall be submitted to the Local Planning Authority and approved in writing of how the layout of the six internal parking spaces are to be provided, including their access. The approved details of the six internal parking spaces including their access shall thereafter be maintained for no other purpose throughout the life of the development unless otherwise agreed in writing by the Local Planning Authority.

At this juncture, Councillor Vickers declared that Mrs Gillette, Objector, was known to him and abstained from voting on the above application.

Mrs Gillette circulated to Members, photographs of vehicles parked on both sides of Lodgefield Road, causing obstruction to buses travelling along the road and also the variety of large vehicles that used the road during the day.

In considering the application, Members took into account residents concerns in relation to an increase in traffic and road users and the concerns of additional cars being parked within the vicinity. Members considered that the proposed additional condition would alleviate some of these concerns.

P15/0235	The Rectory, Bundle Hill, Halesowen – Erection of 4 No. Dwellings with associated access.	Approved, subject to conditions numbered 1 to 17 (inclusive), as set out in the report submitted.
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During consideration of the above application, a request for a site visit was proposed. Members voted against this proposal.

In considering the application, Members took into account residents concerns in relation to High Leasowes being a narrow road and the possible visibility difficulties that could be encountered from the proposed development access way. Members were also mindful of the possible increase in the volume of traffic.

P15/0089	3 and 3a, Morvale Street, Stourbridge – Installation of external wall insulation.	Approved, subject to conditions numbered 1 to 3 (inclusive), as set out in the report submitted.
P15/0160	Streetbike, Mucklow Hill, Halesowen – Variation of Condition 6 of Planning Approval P14/1582 to be revised to 'The premises known as retail area 2 on Plan Number '13-1374/08L' shall not be open to the public before the hours 0700 nor after 2300 Monday to Sundays and Public Holidays' (Temporary until 31 st March 2016).	Approved, subject to conditions numbered 1 to 24 (inclusive), as set out in the report submitted.
P15/0305	52 Cross Lane, Sedgley, Dudley – Fell 1 Pine tree.	Approved, subject to the condition set out in the report submitted.

90 **Adoption of the Contaminated Land Inspection Strategy and Cost Recovery Policy for Dudley Borough**

A report of the Strategic Director (Environment, Economy and Housing) was submitted on the Cabinet decision taken on 11th March, 2015 to adopt the Contaminated Land Inspection Strategy and the Cost Recovery Policy documents which were subject to a statutory public consultation commencing on 12th December, 2014, for a period of five weeks.

Resolved

That the information contained in the report, and appendix to the report submitted, on the formal adoption by Cabinet of the Contaminated Land Inspection Strategy and the Cost Recovery Policy documents, be noted.

91 **Public Consultation on the Renewable Energy Supplementary Planning Document (SPD)**

A report of the Strategic Director (Environment, Economy and Housing) was submitted on the Cabinet's approval for the Renewable Energy Supplementary Planning Document (SPD) to be used as a basis for public consultation commencing on 13th March, 2015, for a period of six weeks.

Resolved

That the information contained in the report, on the Cabinet's approval for the Renewable Energy Supplementary Planning Document for consultation commencing on 13th March, 2015, for a period of six weeks, be noted.

92 **Public Consultation on the Draft Revised Planning Obligations Supplementary Planning Document (SPD)**

A report of the Strategic Director (Environment, Economy and Housing) was submitted on the Cabinet's approval of the Draft Revised Planning Obligations SPD to be used as a basis for public consultation commencing on 13th March, 2015, for a period of six weeks.

Resolved

That the information contained in the report, and appendix to the report submitted, on the Cabinet's decision to approve the Draft Revised Planning Obligations SPD to be used as a basis for public consultation commencing on 13th March, 2015, for a period of six weeks, be noted.

The meeting ended at 6.45pm.

CHAIR

DC/102

PLANNING APPLICATION NUMBER:P14/1547

Type of approval sought	Full Planning Permission
Ward	Cradley and Wollescote
Applicant	Mr J. Hill
Location:	THE WIDDERS P H, BARRACK LANE, CRADLEY, HALESOWEN, B63 2UX
Proposal	RAISED DECKING AREA TO SIDE OF PROPERTY (RETROSPECTIVE)
Recommendation Summary:	APPROVE

SITE AND SURROUNDINGS

1. The site comprises a detached public house built close to the back edge of the pavement. The public house is a traditional rendered property that is well established. Immediately adjoining the front (western) elevation of the building is an outside drinking area that then adjoins the car park shared between the public house and an adjoining office building. The outside drinking area is placed upon a raised deck that stands approximately 0.3m above the original ground level and is screened from residential properties to the rear (north) of the site by an existing single storey side extension that has been added to the public house building. The raised decking is visible from the front of the site from Barrack Lane being located opposite residential properties located some twenty metres away.
2. The site is located within a predominantly residential area characterised by traditional inter-war terraced properties located opposite the site and modern semi-detached properties served by a parking court located immediately to the east of the site. Two of the modern dwellings located to the east face towards the public house car park. Located to the south of the site is an office building.

PROPOSAL

3. The raised deck is already in situ and measures approximately 5.2m x 2.4m and stands approximately 0.3m above the ground level of the adjoining car park. The decked area is enclosed by a wooden balustrade on its southern elevation and contains two tables and chairs.
4. The applicant has submitted a petition in support of the development signed by 130 residents seeking the retention of the raised decking. The petition is signed by people living across the Borough including Brierley Hill, Lye, Stourbridge and Halesowen. The petition has been signed by two residents who live in Barrack Lane itself.

HISTORY

5. None of relevance.

PUBLIC CONSULTATION

6. The application was advertised by way of neighbour notification letters being sent to the occupiers of twenty-two properties and through the display of a site notice. The latest date for comments was the 9th April 2015. Eight letters of objection have been received with five of these letters being written anonymously or without an address being provided. The main issue raised is with respect to late night noise and disturbance through the use of the outside seating area.

OTHER CONSULTATION

7. Group Engineer (Highways): No objections.
8. Head of Environmental Health and Trading Standards: No objections in principle given that only visual amenity can be addressed through this planning application. It is confirmed that there is a history of complaints with respect to noise in relation to the use of the existing beer garden areas at this public house; the complaint situation is current at the time of writing this report. The hours of use of the existing beer garden areas are controlled by licensing conditions. The Head of

Environmental Health & Trading Standards would recommend that the hours of use of the beer garden area are limited to the same operational times as the existing beer garden, however it is understood that this would not be appropriate through the imposition of planning conditions.

9. West Midlands Police: No objection with the only issue relating to noise levels that would need to be controlled and monitored by the management of the public house.

RELEVANT PLANNING POLICY

National Planning Guidance (2012)

10. The National Planning Policy Framework (NPPF) sets out the Governments planning policies for England and how these are expected to be applied. The NPPF is a material consideration in planning decisions, but does not change the statutory status of the development plan as the starting point for decision making. Proposed development that accords with an up-to-date Local Plan should be approved.
11. The NPPF advises that the purpose of the planning system is to contribute to the achievement of sustainable development.

Planning Practice Guidance

- Noise
- Use of Planning Conditions

Unitary Development Plan (2005)

- DD4 Development in Residential Areas
- EP7 Noise Pollution

ASSESSMENT

12. The main issues are
- Principle
 - Design
 - Neighbour Amenity

Principle

13. The raised decking area has resulted in the creation of an outside drinking area comprising two tables and seats. The use of land within the curtilage of the public house as an outside drinking area does not in planning terms constitute a change of use and does not in itself require planning permission. If the landlord had placed two tables and chairs directly onto the site for the use of outside drinking then planning permission would not have been required. This application is therefore only concerned with the merits of the visual appearance of the raised decking area and its appropriateness within the overall street scene. Issues regarding the use of the outside drinking area which seem to be the main area of concern would be controlled through licensing and not through the planning process.

Design

14. The raised decking area is not excessive in height and with its wooden construction and wooden balustrade does not detract from the visual appearance of the area. The outside seating area is small in relation to the overall curtilage in which the public house sits within and does not detract from the character of the area. The raised decked area is therefore in accordance with saved Policy DD4 of the Adopted Dudley Unitary Development Plan (2005).

Neighbour Amenities

15. The objections received refer to concerns with respect to noise and disturbance caused by patrons using the outdoor seating area late at night. Since the use of the existing curtilage of the public house as a beer garden does not constitute a change of use concerns relating to noise and disturbance are not able to be reasonably taken into account in the consideration of the retention of the raised decked area subject to this application. The visual appearance of the raised deck area does not appear inappropriate within the residential area and does not detract from the character of the area thereby being in accordance with saved Policy DD4 of the Adopted Dudley Unitary Development Plan (2005).

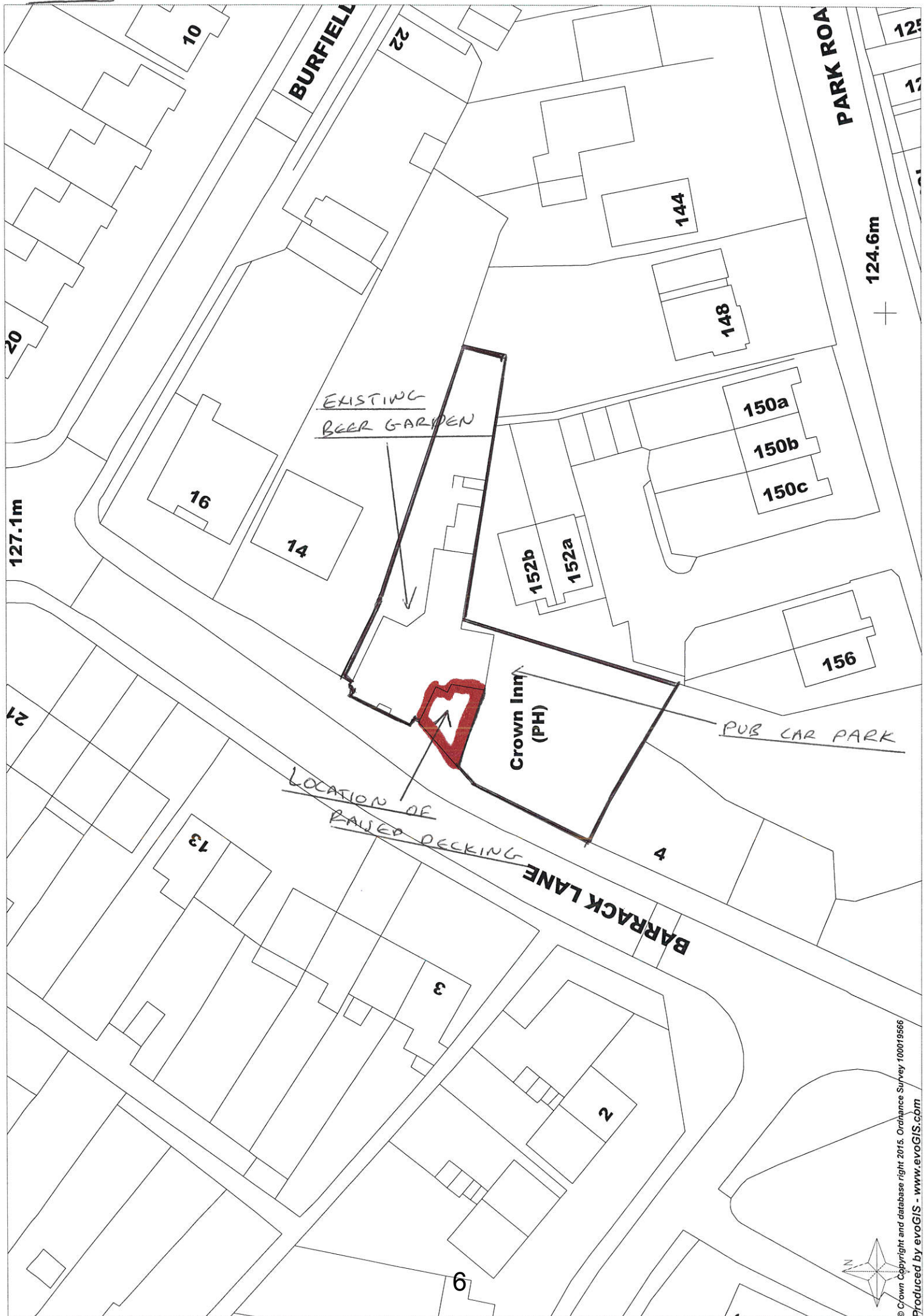
CONCLUSION

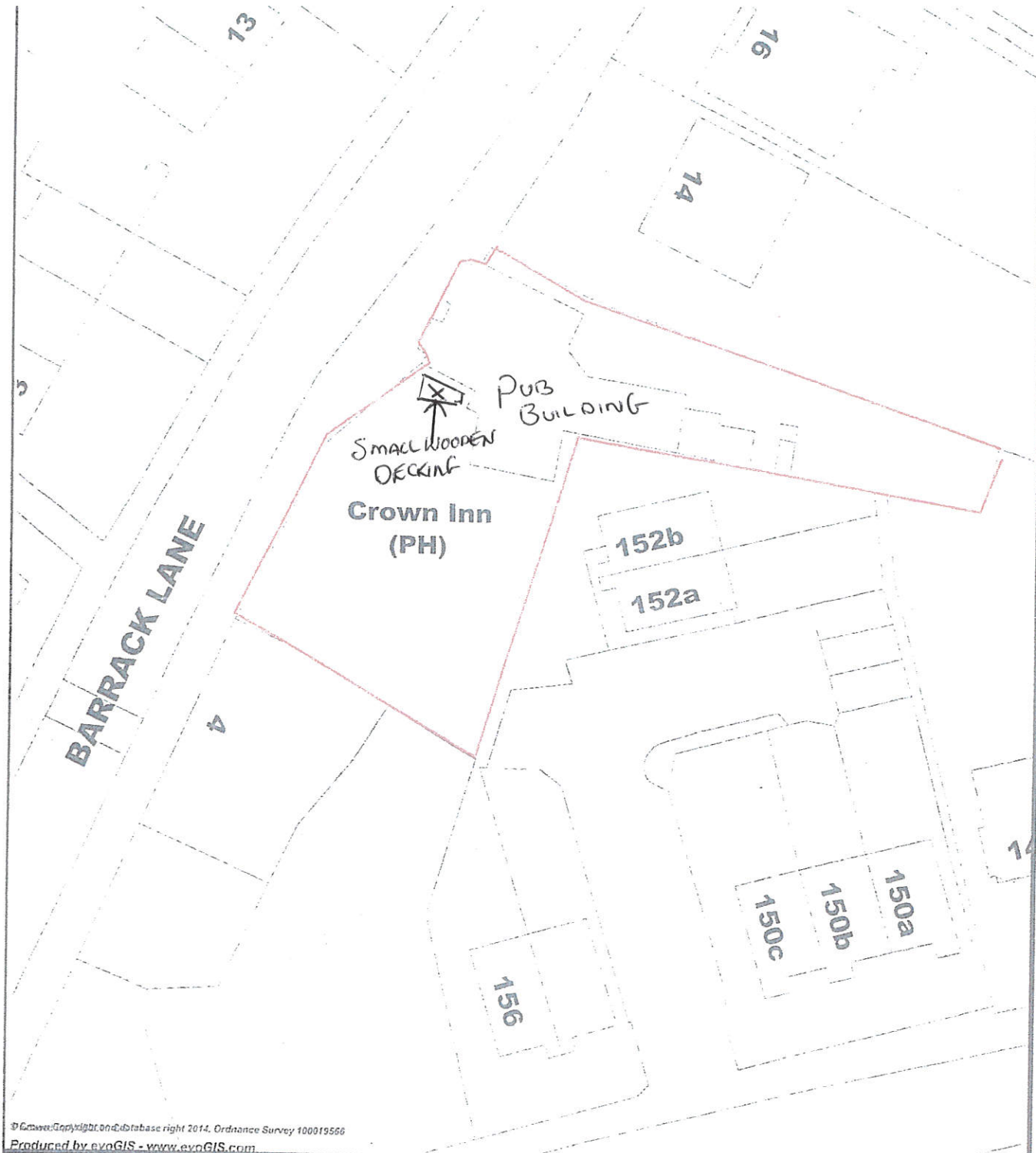
16. The creation of an outside drinking area within the curtilage of the existing public house does not constitute a change of use and does not require planning permission. This application can only consider the merits of the visual appearance of the raised decked area, which given its limited size and height does not detract from the character of the area and forms an appropriate addition within the overall street scene.

RECOMMENDATION

17. It is recommended that the application be APPROVED.

P14/1547





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Planning Contravention Notice
The Widders Public House
Barrack Lane, Cradley, B63 2UX

Dudley
Metropolitan Borough Council

DIRECTORATE OF THE URBAN ENVIRONMENT,
Director of the Urban Environment,
John Millar

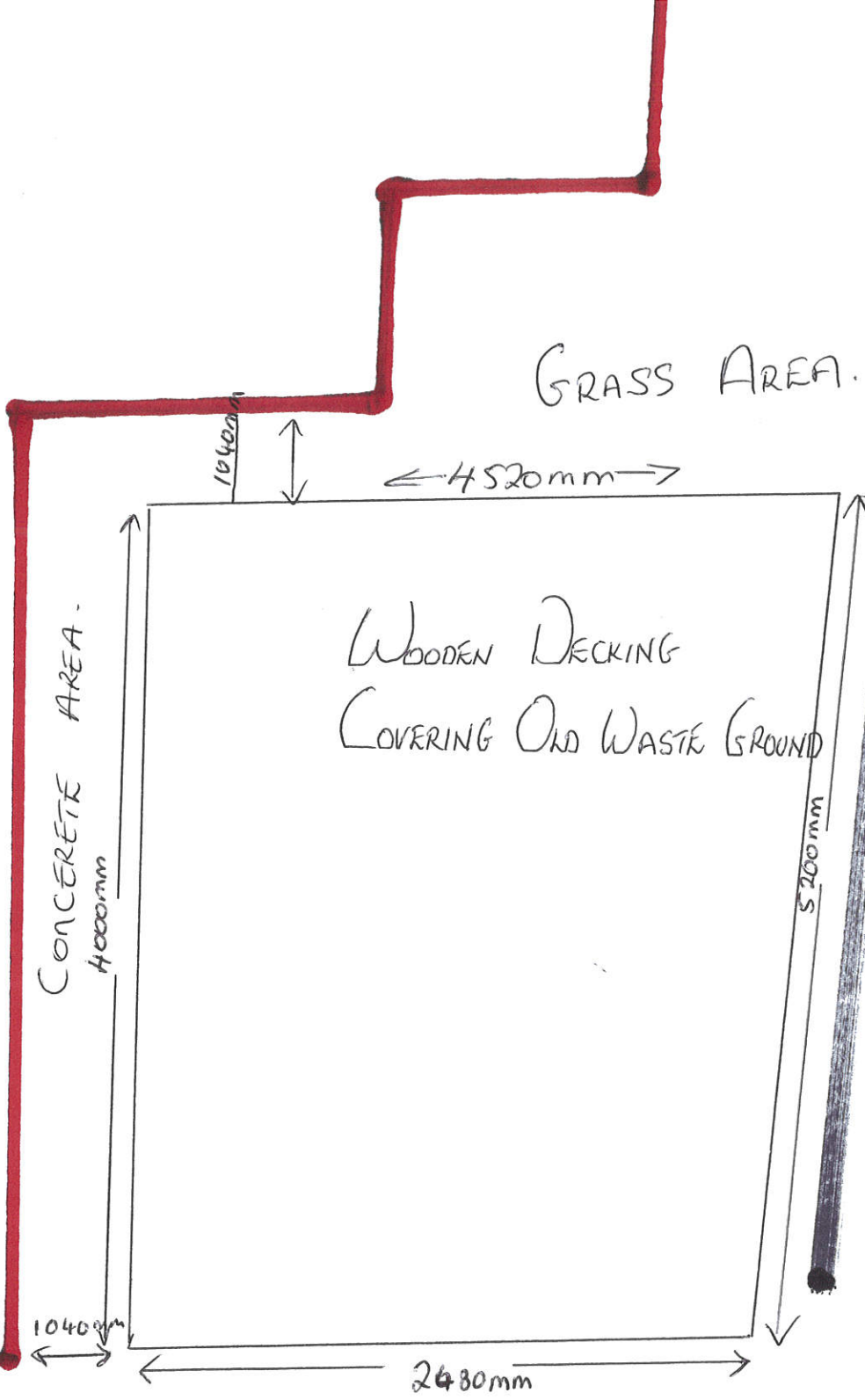
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Scale: 1:375

- 9 MAR 2015

WIDDERS PUB

PUB CAR PARK



HEIGHT AT HIGH POINT
290mm

- 9 MAR 2015

PLANNING APPLICATION NUMBER: P15/0084

Type of approval sought	Full Planning Permission
Ward	Brockmoor & Pensnett
Applicant	Mrs F. Hayward, DMBC
Location:	PENS MEADOW POST 16 UNIT, (FORMER PENSNETT SCHOOL SITE), TILED HOUSE LANE, DUDLEY, WEST MIDLANDS, DY5 4PJ
Proposal	ELEVATIONAL CHANGES TO FORMER SCHOOL GYM AND NEIGHBOUR CENTRE TO INCLUDE NEW EXTERNAL WINDOWS AND DOOR AND NEW ENTRANCE AREA
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

- 1 The application site consists of a series of former school buildings at the former Pensnett school site.

- 2 The buildings in question consist of series of single storey and two storey brick built conjoined buildings located on southern eastern part of the wider site.

- 3 One of the buildings was formerly used as gymnasium/sports hall and other as teaching space. The gymnasium building is a double height building and is mostly devoid of any openings particularly to its southern and eastern elevations.

- 4 Immediately to the south of the application site are the rear gardens and associated houses to Rookery Park which set lower than the application site, by around 2m. The rear gardens boundaries are between 9m and 17m from the former gymnasium building, with the houses typically being between 20m and 50m away from the same building.

- 5 Access to the site is via an existing vehicular access drive from Tiled House Lane, which also provides access to the other former school buildings.

- 6 It is understood these buildings have recently been used for quasi- educational or community purposes but have remained within the same D1 use class.

PROPOSAL

- 7 This application seeks to carry out modifications to the above described buildings as part of their reuse as a post 16 special education facility. The alterations which are mostly internal are not subject of planning control, nor is the proposed use.
- 8 However, a number of external alterations will be required to the buildings and consist mostly of new window and door openings, particularly to the former gymnasium/sports hall building to the south of the site (which includes an new entrance and reception area), but not exclusively so, as some changes to the position of doors are proposed to the former teaching building, for example.
- 9 Additionally a new access ramp and raised platform and steps are proposed to the entrance/reception area which be located on the southern side of the former gymnasium building.

HISTORY

- 10 Extensive planning history relating to the educational use of the site.

PUBLIC CONSULTATION

- 11 No representations received, following consultation with 67 adjoining neighbours the posting of a site notice and the publication of an advert within a local newspaper.

OTHER CONSULTATION

- 12 None

RELEVANT PLANNING POLICY

- National Planning Guidance
National Planning Policy Framework (2012)
Planning Practice Guidance (2014)
- Black Country Core Strategy (2011)
TRAN2 Managing Transport Impacts of New Development
ENV 2 Historic Character and Local Distinctiveness
- Unitary Development Plan (2005) (Saved Policies)
DD1 Urban Design
DD4 Development in Residential Areas

ASSESSMENT

13 The main issues are

- Policy
- Design
- Neighbour Amenity
- Access and Parking
- Access for all

Policy

14 The main policy that relates to the proposal is Saved Policy DD4 - Development in Residential Areas of the Dudley Unitary Development Plan, which requires development proposals to be respectful to the amenity of adjoining neighbours and to be of appropriate design. Similarly Policy ENV 2 Historic Character and Local Distinctiveness of the Black Country Core Strategy encourages good design.

Design

15 In the main the existing buildings which relates to the application are comparatively bland and devoid of any architectural detailing, due to their original purpose as

gymnasium/sports hall which to a certain extent, despite their brick construction are somewhat stark in their outward appearance.

- 16 It is considered that the provision of new window openings would significantly improve the appearance of these buildings by adding more detail and rhythm, as well as providing more active frontages and allowing for better surveillance of the space around the buildings, which at present is somewhat lacking.
- 17 The provision of the ramp, raised platform and steps raises no significant design issues in that it would be around 0.35m to 0.4m high.
- 18 Therefore from a design point of view the proposed changes to the elevations are considered to be a significant visual improvement.

Neighbour Amenity

- 19 As stated above there are a number of residential dwellings and their associated garden areas immediately to the south of the application site. The boundary to these gardens currently consists of 1.6m high metal railings, which is reinforced by close boarded and concrete panel fences along part of the boundary which are typically around 1.8m high.
- 20 These houses and gardens are generally set below the application site in the region 2m, but this is not necessarily uniform. Also the distance between these houses and the application buildings varies between 20m and 50m.
- 21 The proposed new openings which would be formed to main western, eastern and north elevations of the former gymnasium/sports hall posses no privacy concerns to neighbours in that these would overlook land within the same planning unit. Similarly the other changes amongst the buildings furthest away from the neighbour cause no concern.
- 22 However, there are some concerns regarding potential overlooking from many of the windows from the south elevation of the building. Therefore, it is proposed to

condition to installation of obscured glazing to the lower levels windows to the proposed dining room, kitchen, class room 1 (only one elevation) the corridor adjoining class room 2, and the first floor staff room to prevent overlooking. Additional amended plans have been requested which will show this treatment. However, windows to the reception area would not be obscure glazed to ensure the entrance to the building is naturally surveyed. The separation distance to the neighbours at the rear is at its most distant at this point which would reduce the likelihood of overlooking.

- 23 Therefore, subject to the imposition of a condition controlling the provision of obscured glazing to the lower level windows ground floor (except the reception) and staff room windows to first floor, the proposal is considered to be acceptable in respect of neighbour amenity.

Access and Parking

- 24 The proposal has no implications regarding highway safety in that change of use is occurring.

Access for All

- 25 The proposed ramp to the reception area poses no concerns in that it proposed gradient complies with the Council adopted standards. The platform area to the top of the ramp is in excess of the adopted standard.

CONCLUSION

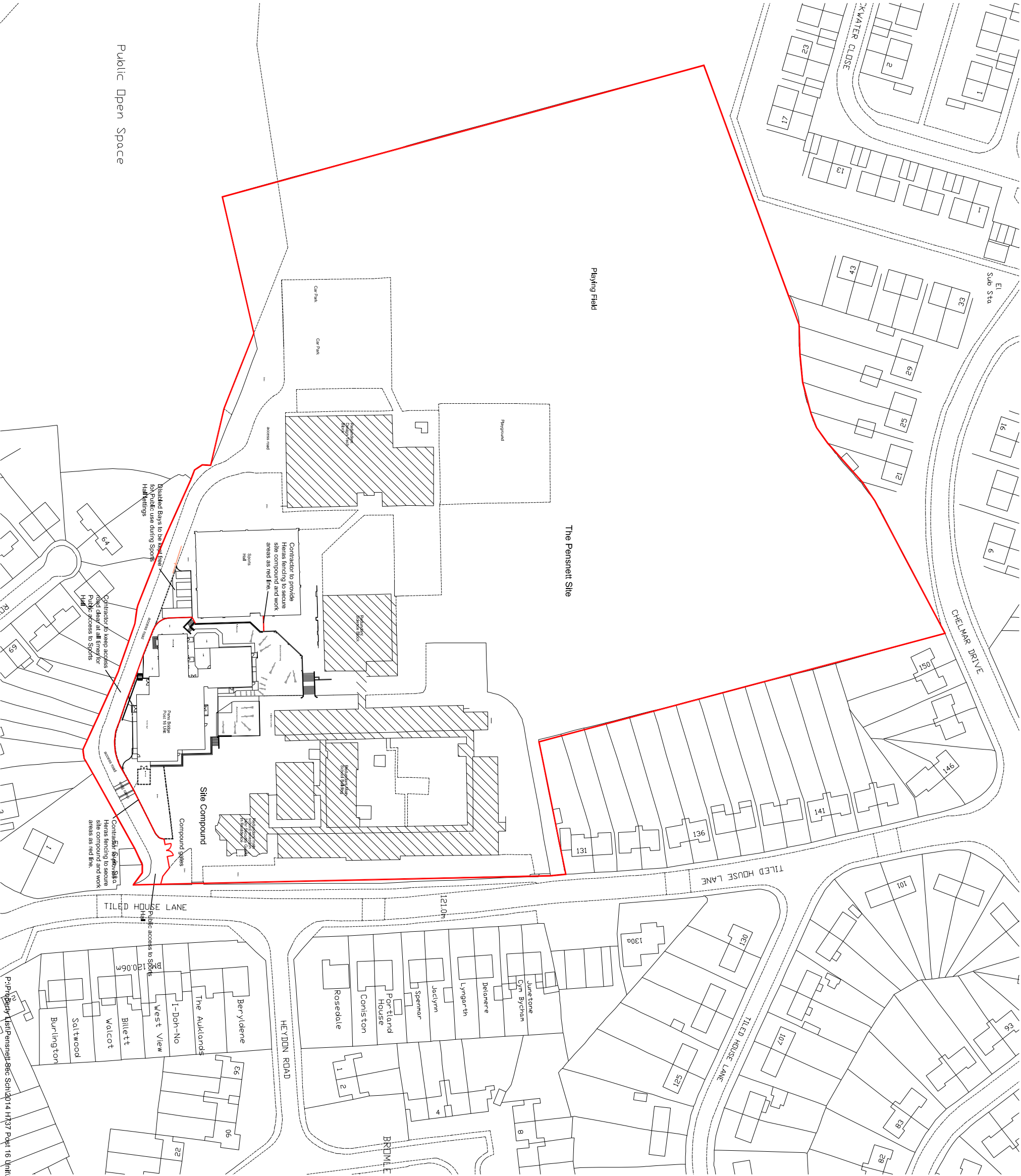
- 26 The proposed development is considered to improve the appearance of the existing buildings through the introduction of fenestration to what is otherwise a bland group of buildings. Subject to the provision of obscured glazing the proposal is considered to be acceptable from an amenity point of view. Consideration has been given to Policies TRAN2 Managing Transport Impacts of New Development and ENV 2 Historic Character and Local Distinctiveness of the Black Country Core Strategy and Saved Policies DD1 Urban Design DD4 Development in Residential Areas of the Dudley Unitary Development Plan.

RECOMMENDATION

It is recommended that the application be APPROVED subject to the following conditions:

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: A200, A300, A301, A841, SK1.
3. The windows, cladding and solid panels, and the doors shall be finished in accordance with the colour details outlined in the email of 3 March 2015, unless otherwise agreed in writing by the Local Planning Authority.
4. The first floor staff room windows to the south elevation shall be fitted with obscured glazing, as shall all lower level ground floor windows to the south elevation (except those to the reception) which shall be retained for the life of the development.



ALL FIGURED DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.
ALL DIMENSIONS ARE TO BE CHECKED BY THE CONTRACTOR
ORNDANCE SURVEY MAPING IS REPRODUCED WITH PERMISSION OF THE
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LICENCE NUMBER LA 100019566. DATE AS DRAWING
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NOTES

Construction and Design
TENDER DRAWING
NOT TO BE USED FOR CONSTRUCTION

REV	DATE	DESCRIPTION	BY

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council

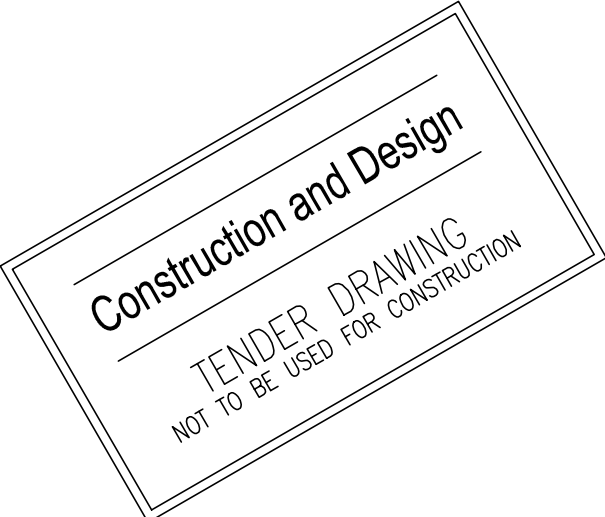
PROJECT
**Pens Bridge Post 16 Unit @
Pensnett Site**

DRAWING
Location Plan

Scale 1:1250	Date 21/01/15	Drawn TM
Job Number H737	Drawing Number SK1	Revision A3

NOTES

Refer to drawing H737-A661 for above
ground drainage layout



Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council

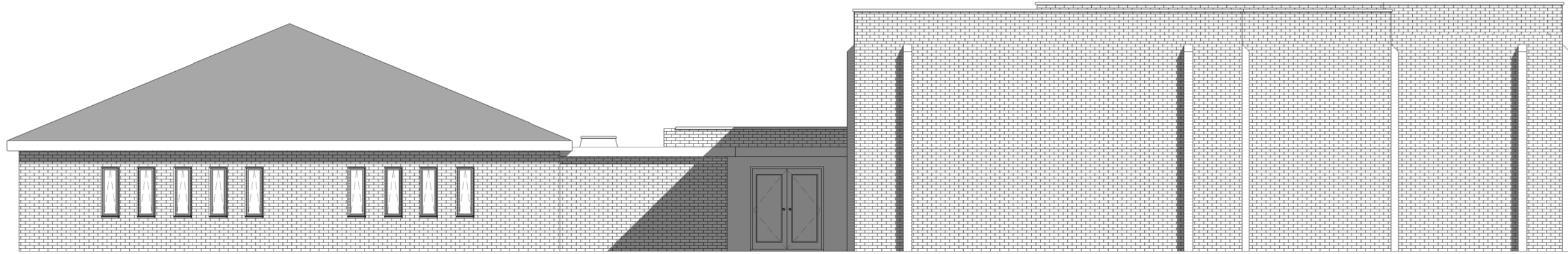
PROJECT
Pens Meadow Post 16 Unit

DRAWING

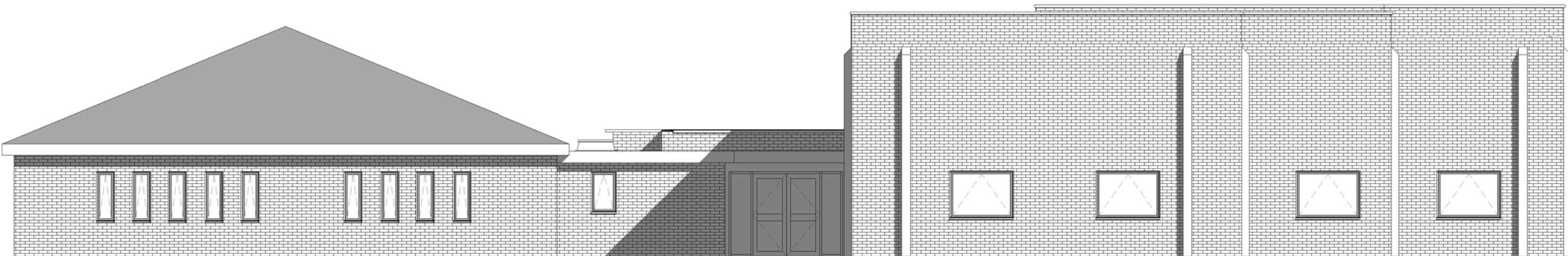
Below Ground Drainage

Scale 1:100	Date 28-11-14	Drawn TM	
Job Number AMPH737	Drawing Number A841	Revision .	Plot Sheet size A1

NOTES



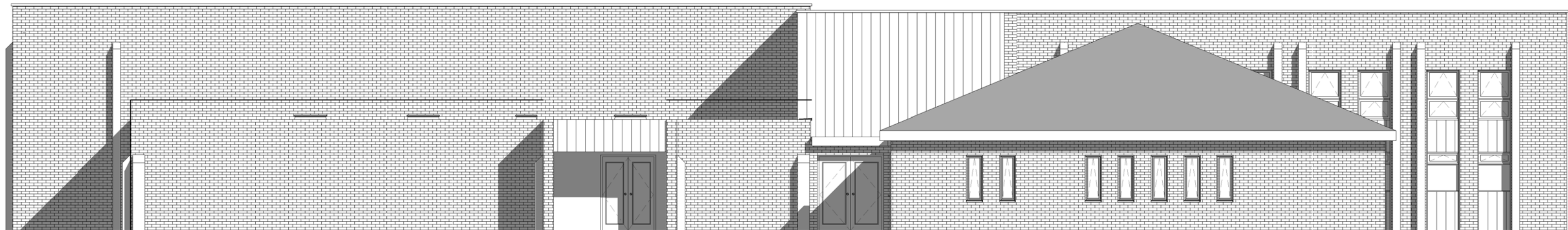
2 North Elevation - Existing
1 : 100



1 North Elevation - Proposed
1 : 100



3 Shaded isometric NE



4 East Elevation - Existing
1 : 100



5 East Elevation - Proposed
1 : 100

Rev	Date	Description	By
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TENDER ISSUE

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council

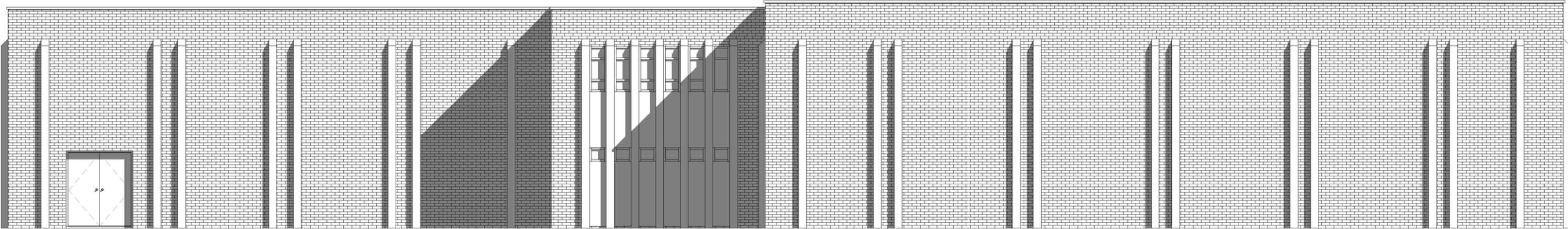


PROJECT
Pens Meadow Post 16 Facility

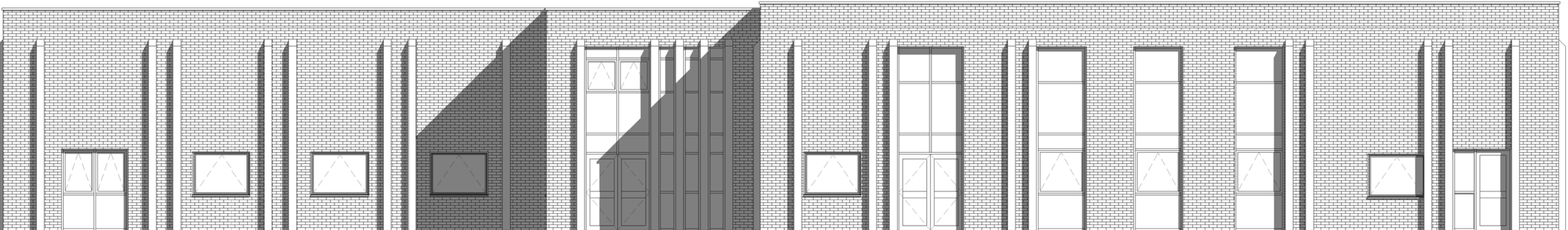
DRAWING
Elevations - Existing & Proposed
2 of 2 (North and East)

Scale 1 : 100	Date 01/10/14	Drawn Author
Job Number H737	Drawing Number A301	Revision Plot Sheet size A1

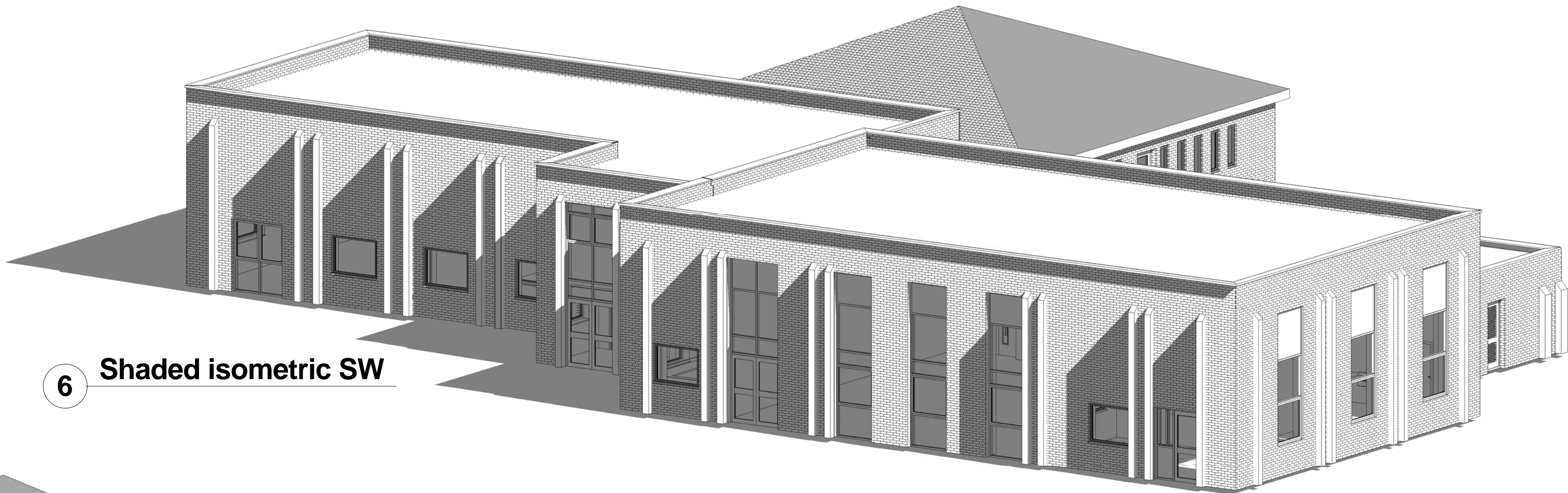
NOTES



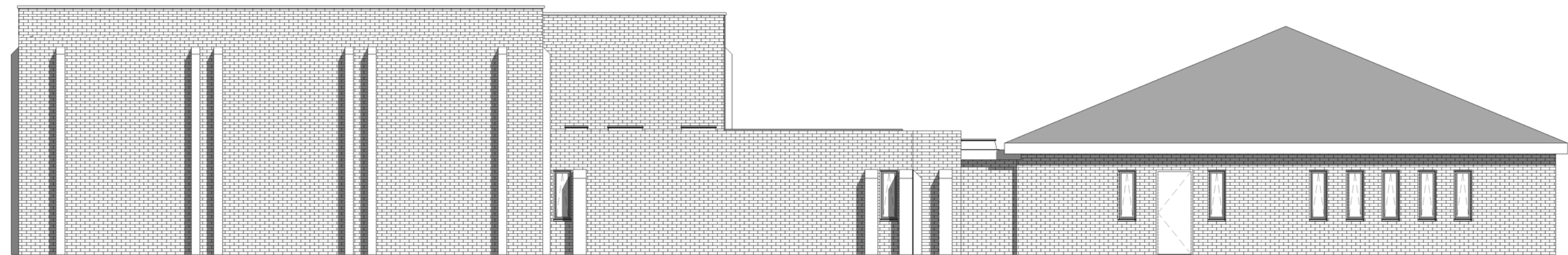
1 West Elevation - Existing
1 : 100



2 West Elevation - Proposed
1 : 100



6 Shaded isometric SW



3 South Elevation - Existing
1 : 100



4 South Elevation - Proposed
1 : 100

Rev	Date	Description	By
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TENDER ISSUE

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council



PROJECT
Pens Meadow Post 16 Facility

DRAWING
Elevations - Existing & Proposed
1 of 2 (South and West)

Scale 1 : 100	Date 01/10/14	Drawn Author
Job Number H737	Drawing Number A300	Revision Plot Sheet size A1

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LICENCE NUMBER LA 100019566. DATE AS DRAWING

NOTES



-  Admin
-  Circulation
-  Common Room
-  Dining room
-  Kitchen
-  Plant
-  Store
-  teaching space
-  WC

TENDER ISSUE

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council



Scale 1 : 100	Date 01/10/14	Drawn TM	
Job Number H737	Drawing Number A200	Revision	Plot Sheet size A1

PLANNING APPLICATION NUMBER:P15/0150

Type of approval sought	Full Planning Permission
Ward	Coseley East
Applicant	Mr P. Griffiths, Dudley MBC
Location:	ARCHIVES AND LOCAL HISTORY SERVICE, MOUNT PLEASANT STREET, COSELEY, BILSTON, WV14 9JR
Proposal	DEMOLITION OF EXTENSIONS AND EXISTING STORE CONVERSION OF REMAINING VACANT SCHOOL BUILDING INTO 15 NO. DWELLINGS AND ERECTION OF 1 NO. DWELLING
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The site is the former Dudley Archives Centre which has been vacant since October 2013. The current buildings at the site were constructed, as a school, in three phases between 1879 and 1923. The site is recorded as a heritage asset on the Council's Historic Environment Record (HER 12439).
2. The surrounding area is entirely residential, with modern housing to the north and west on Evergreen Close and traditional terraced housing opposite the site on Mount Pleasant Street.

PROPOSAL

3. It is proposed to convert the main building at the site to 15 houses (7no. 1-bed, 7no. 2-bed and 1no. 4-bed) and to demolish an existing single storey store along the site's eastern boundary (adjacent 31 Mount Pleasant Street) in order to erect a 3-bedroom house. All but two of the houses are to have gardens and 27 parking spaces are to be provided across the site. The proposal involves the demolition of later flat roofed extensions which the applicant has advised are structurally unsound. Part of the boundary wall and railings on the Mount Pleasant frontage are

to be removed to provide access to parking areas and pedestrian access. The existing vehicle access drive at the site is to be retained.

4. The applicant has advised that the development forms part of the Council's new house building project.

HISTORY

5. None relevant to the assessment of the application.

PUBLIC CONSULTATION

6. Neighbour notification letters have been sent to 80 properties and a site notice posted. Three letters have been received in response to the consultation exercise, raising queries in relation to boundary treatment details and methods of drainage. Concern has also been expressed that access to the proposed parking spaces for the dwellings fronting Mount Pleasant Street will displace existing on-street parking closer to the junction with Evergreen Close, which will reduce visibility from and access to, Evergreen Close.

OTHER CONSULTATION

7. Land Contamination Team: No objection subject to conditions relating to remediation of contamination which may be present at the site.

Head of Environmental Health and Trading Standards: No objection.

Group Engineer (Highways): No objection subject to conditions relating to the provision of electric vehicle charging points, cycle storage and bin stores, access and parking to be provided prior to first occupation, redundant dropped kerbs reinstated and the provision of appropriate visibility splays from the site access points.

Chief Fire Officer: No objection.

Coal Authority: Initial objection to the application on the grounds that a Coal Mining Risk Assessment had not been submitted as part of the application and therefore it had not been demonstrated that the site is safe, stable and suitable for development (Officer Comment – a Risk Assessment has now been submitted, the comments of the Coal Authority in relation to it will be reported in the pre-Committee note).

RELEVANT PLANNING POLICY

8. National Planning Policy

National Planning Policy Framework (NPPF) 2012

Black Country Core Strategy 2011

Policy ENV2 (Historic Character and Local Distinctiveness)

Policy HOU1 (Delivering Sustainable Housing Growth)

Policy HOU2 (Housing Density, Type and Accessibility)

Policy HOU3 (Delivering Affordable Housing)

Policy DEL1 (Infrastructure Provision)

Saved 2005 UDP Policies

Policy DD1 (Urban Design)

Policy DD4 (Development in Residential Areas)

Supplementary Planning Guidance

Parking Standards SPD

New Housing Development SPD

Planning Obligations SPD

ASSESSMENT

9. The key issues in the assessment of this application are:

- Principle;
- Impact upon the character of the area;
- Residential Amenity;
- Highway safety;
- Planning Obligations.

Principle

10. This scheme constitutes the provision of 100% affordable housing and an increase in social housing stock on a brown field site, which is in a relatively sustainable location. The proposal therefore complies with the advice given in the NPPF (paragraphs 49 and 51) that housing applications should be considered in the context of the presumption in favour of sustainable development and that Local Planning Authorities should identify and bring back empty buildings into residential use. The development also accords with Policy HOU1 of the Core Strategy which seeks the provision of 95% of new build housing on previously developed land and Policy HOU3 which seeks the provision of a minimum 11,000 new affordable dwellings between 2006 and 2026.
11. Policy HOU2 of the Core Strategy requires that all developments should provide a range of house types and should achieve a minimum density of 35 dwellings per hectare. The density of the proposed development (47 dwellings per hectare) would be appropriate to the existing pattern of development in the wider area. A variety of house types (between one and four bedrooms) are proposed, and such the proposal accords with this Policy.

Impact upon the character of the area

12. Policy ENV2 of the Core Strategy requires that developments should aim to protect and promote the special qualities, historic character and local distinctiveness of the Black Country in order to help maintain its cultural identity and strong sense of place and preserve or enhance local character and those aspects of the historic environment which are recognised as being of special historic, architectural or townscape quality.
13. The proposal involves the retention of the original buildings and the demolition only of the later additions. Feature brickwork and stonework is to be retained/refurbished where feasible, with render to be used to cover areas of damaged brickwork. The brickwork/render theme is to be used in the proposed new house, which will also have a steep pitched roof to match that of the main building. Existing features of interest on the building are to be exposed and repaired. The sections of railings and wall along the Mount Pleasant Street frontage which are to be retained will be repaired/rebuilt as necessary. Materials from the demolished parts of the buildings are to be used in the repair work and construction of new features (such as bin stores and garden walls).
14. In view of the above it is considered that the proposals constitute a sensitive, appropriate form of conversion of this vacant historic building which will enhance its appearance, to the benefit of the character of the wider area. As such, the development accords with Policy ENV2 and Saved UDP Policies DD1 and DD4 which require that developments should not have any adverse impact on the character of the area.

Residential Amenity

15. Saved Policy DD4 also advises that new development in residential areas will only be allowed where there would be no adverse effect upon residential amenity. The development will not result in any loss of privacy, outlook or light to dwellings in the immediate vicinity. In this respect the proposal complies with Saved Policy DD4.

With regard to the issue raised by local residents, existing boundary treatments are to be retained and repaired where necessary and a new drainage system is to be installed which should help to alleviate any existing problems there may be with run-off from the site.

16. The development does not generally provide amenity space for each of the houses to the guideline dimensions set out in the New Housing Development SPD. This is, however, a relatively constrained site where amenity space cannot realistically be provided to these dimensions. The remainder of the site will mainly be occupied by the access drive, parking and pedestrian circulation areas and peripheral landscaping where the provision of further dedicated amenity space would not be feasible. Given these constraints it is considered that the amount to be provided is acceptable and will have the added benefit of 'softening' the appearance of the site.

Highway safety

17. Saved Policy DD4 advises that developments should be allowed where there would be no adverse impact on highway safety. The Group Engineer has no objection to the proposal, subject to the imposition of the conditions recommended as appropriate.

Planning Obligations

18. In accordance with Policy DEL1 of the Core Strategy and the Planning Obligations SPD, the development triggers a requirement for the provision of improvements to air quality, public realm and economic and community development. Should permission be granted a condition can be imposed requiring the details of electric vehicle charging points within the development, which will help to improve air quality. The proposed refurbishment of the existing boundary wall and railings, as well as the use of high quality surfacing materials within the proposed parking areas, will create attractive features within the street scene that will therefore contribute to an improvement to the public realm. A condition can be used to secure an economic and community development statement to ensure that locally sourced labour and materials are used in the development.

19. A development of this scale would require the provision of a minimum 25% affordable housing in accordance with Policy HOU3 of the Core Strategy. This is a local authority scheme for social rented housing and as such this policy is complied with and no separate agreement would be required to secure the provision of affordable units within the development.

New Homes Bonus

20. Clause (124) of the Localism Act states that local planning authorities are to have regard to material considerations in dealing with applications including any local finance considerations, so far as material to the application.
21. The New Homes Bonus is designed to create an effective fiscal incentive to encourage local authorities to facilitate housing growth. It will ensure the economic benefits of growth are more visible within the local area, by matching the council tax raised on increases in effective stock. The Bonus provides local authorities with monies equal to the national average for the council tax band on each additional property and paid for the following six years as a non-ring fenced grant. In addition, to ensure that affordable homes are sufficiently prioritised within supply, there will be a simple and transparent enhancement of a flat rate £350 per annum for each additional affordable home.
22. This proposal would provide 16 houses, generating a grant of 16 times the national average council tax for the relevant bands per annum for 6 years. Whilst this is a significant sum of money the planning merits of the proposal are acceptable in any event and therefore this is not accorded significant weight.

CONCLUSION

23. The development represents the re-use of previously-developed land within an urban area for housing at an appropriate density. The development proposes the conversion of a vacant heritage asset and would make a positive contribution to the character of the area, without having any detrimental impact on residential amenity or highway safety. The proposal therefore complies with Policies ENV2, HOU1 and

HOU2 of the Core Strategy and Saved Policies DD1 and DD4 of the Unitary Development Plan.

RECOMMENDATION

24. It is recommended that the application be APPROVED subject to the following conditions:

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. No development shall commence until an Economic and Community Development Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall address as a minimum, measures to increase the number of jobs open to local people available on the site and the development of initiatives that support activities to upskill local unemployed people of working age so as to support them into sustained employment as outlined in the Council's Planning Obligations Supplementary Planning Document. The development shall be implemented in accordance with the approved Statement and retained in accordance with the Statement for the lifetime of the development.
3. No development shall commence until details for the provision of external electric vehicle charging point(s) have been submitted to and approved in writing by the Local Planning Authority. The charging point(s) shall thereafter be provided in accordance with the approved details prior to first occupation of the development and be maintained for the life of the development.
4. Prior to the commencement of development, details of the types, colours and textures of the materials to be used in the hard surfacing of the development hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in complete accordance with the approved details and retained for the lifetime of the development unless otherwise agreed in writing with the Local Planning Authority.
5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking or re-enacting that order with or without modification) no development referred to in Schedule 2 Part 1 Class A of that order shall be carried out.
6. The development hereby permitted shall be carried out in accordance with the following approved plans: A103, A105 rev 2, A106 rev 2, A115, A116, A840.

7. Prior to the occupation of the dwellings hereby approved, the parking areas shown on the approved plans shall be provided and thereafter maintained for these purposes for the lifetime of the development.
8. The development hereby approved shall be carried out in accordance with the recommendations set out in the February 2015 Phase 1 Habitat Survey commissioned by Worcestershire Wildlife Consultancy.
9. No development shall begin until an assessment of the risks posed by any contamination has been submitted to and approved by the Local Planning Authority. Such an assessment shall be carried out in accordance with authoritative UK guidance.
10. Where the approved risk assessment (required by Condition 9) identifies contamination posing unacceptable risks, no development shall begin until a detailed scheme to protect the development from the effects of such contamination has been submitted to and approved by the Local Planning Authority.
11. Unless otherwise agreed in writing with the Local Planning Authority, the approved scheme (required by Condition 10) shall be implemented and a verification report submitted to and approved by the Local Planning Authority, before the development (or relevant phase of the development) is first occupied/brought into use.
12. No development shall commence until details of the proposed types of walls/fencing along the boundaries of the garden areas within the site have been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter take place in accordance with the approved details and implemented prior to first occupation of the approved dwellings.
13. No structure exceeding 0.6m in height shall be erected within a visibility splay of 2.4m x 43m from the access drive to the site for the lifetime of the development.
14. Prior to first occupation of any of the dwellings hereby approved any existing redundant dropped kerbs along Mount Pleasant Street shall be replaced with full height matching kerbs in accordance with details to have previously submitted to and approved in writing by the local planning authority.



Title
**Mount Pleasant
Housing Conversion.**

Location Plan. WV14 9JR

Scale
1:1250

Date
05/03/2014

Drawn
NEL

Job Number
291687

Dwg. no.
A002

Rev.

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF

Directorate of Children's Services
Dudley Metropolitan Borough Council

Ordnance Survey H.M.S.O.
Licence Number LA 100019566.

Dudley
Metropolitan Borough Council

ALL FIGURED DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.
ALL DIMENSIONS ARE TO BE CHECKED BY THE CONTRACTOR

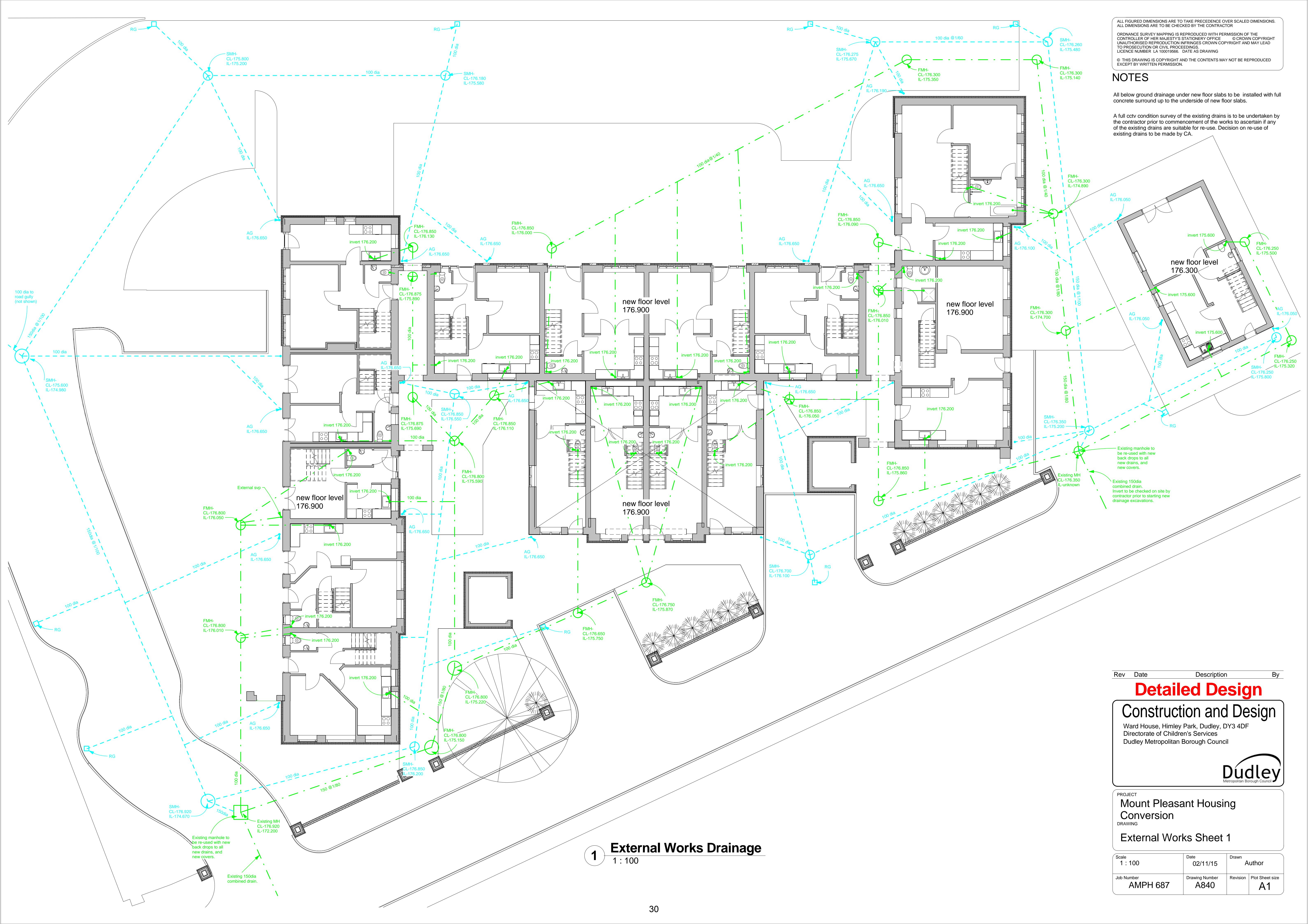
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NOTES

All below ground drainage under new floor slabs to be installed with full concrete surround up to the underside of new floor slabs.

A full CCTV condition survey of the existing drains is to be undertaken by the contractor prior to commencement of the works to ascertain if any of the existing drains are suitable for re-use. Decision on re-use of existing drains to be made by CA.



1 External Works Drainage

1 : 100

Rev	Date	Description	By
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Detailed Design

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council



PROJECT

Mount Pleasant Housing Conversion

DRAWING

External Works Sheet 1

Scale	Date	Drawn
1 : 100	02/11/15	Author
Job Number	Drawing Number	Revision
AMPH 687	A840	
		Plot Sheet size
		A1

NOTES



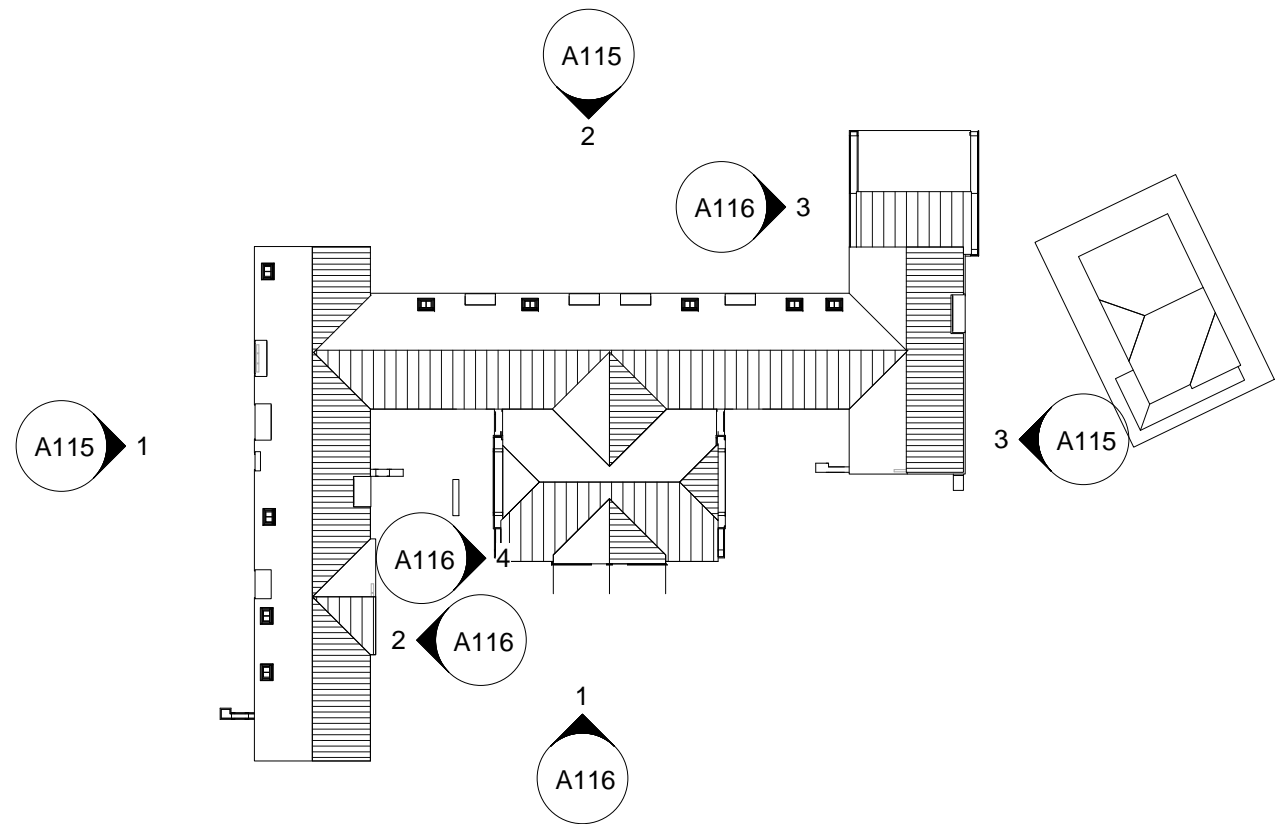
1 West Range North West Elevation- Proposed
1 : 100



2 Central Range North East Elevation - Proposed
1 : 100



3 East Range South East Elevation - Proposed
1 : 100



4 Elevation Key
1 : 500

Rev	Date	Description	By
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Planning

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council

Dudley
Metropolitan Borough Council

PROJECT
Mount Pleasant Housing Conversion

DRAWING
Elevations as Proposed - 1 of 2

Scale As indicated	Date 12/16/14	Drawn Author
Job Number AMPH 687	Drawing Number A115	Revision Plot Sheet size A1

NOTES



1 Proposed Plan Ground Floor furnished with areas
1 : 100

2	9.12.14	Unit 16 Added	NEL
1	11.11.14	General update Nov 2014	NEL
Rev	Date	Description	By

Planning

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council

Dudley
Metropolitan Borough Council

PROJECT
Mount Pleasant Housing
Conversion

DRAWING
Proposed Ground Floor Plan
furnished with areas

Scale 1 : 100	Date 10/15/14	Drawn NEL
Job Number AMPH 687	Drawing Number A105	Revision 2
		Plot Sheet size A1

NOTES



By Room Name Legend

- Bedroom
- Circulation
- Kitchen
- Living Room
- Non-specific
- Sanitary
- Storage

1 Proposed Plan Upper Floor Furnished with areas
1 : 100

2	9.12.14	Unit 16 Added	NEL
1	11.11.14	General update Nov 2014	NEL
Rev	Date	Description	By

Planning

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council



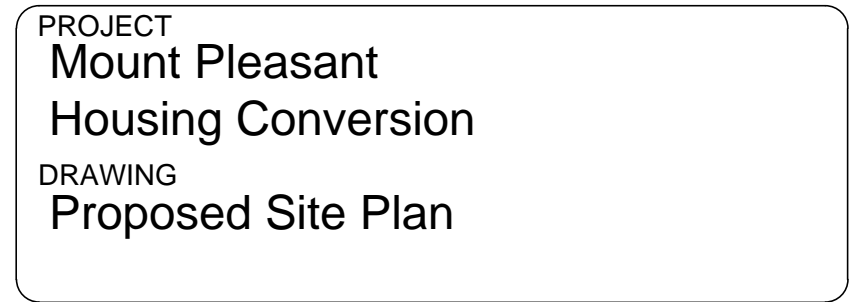
PROJECT	Mount Pleasant Housing Conversion
DRAWING	Proposed Upper Floor Plan furnished with areas

Scale	1 : 100	Date	10/16/14	Drawn	NEL
Job Number	AMPH 687	Drawing Number	A106	Revision	2
				Plot Sheet size	A1

NOTES



Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council



Scale	1:200	Date	22/07/14	Drawn		NEL
Job Number	H687	Drawing Number	A103	Revision	Plot Sheet size	
					A2	

NOTES



1 South Elevation- Proposed
1 : 100



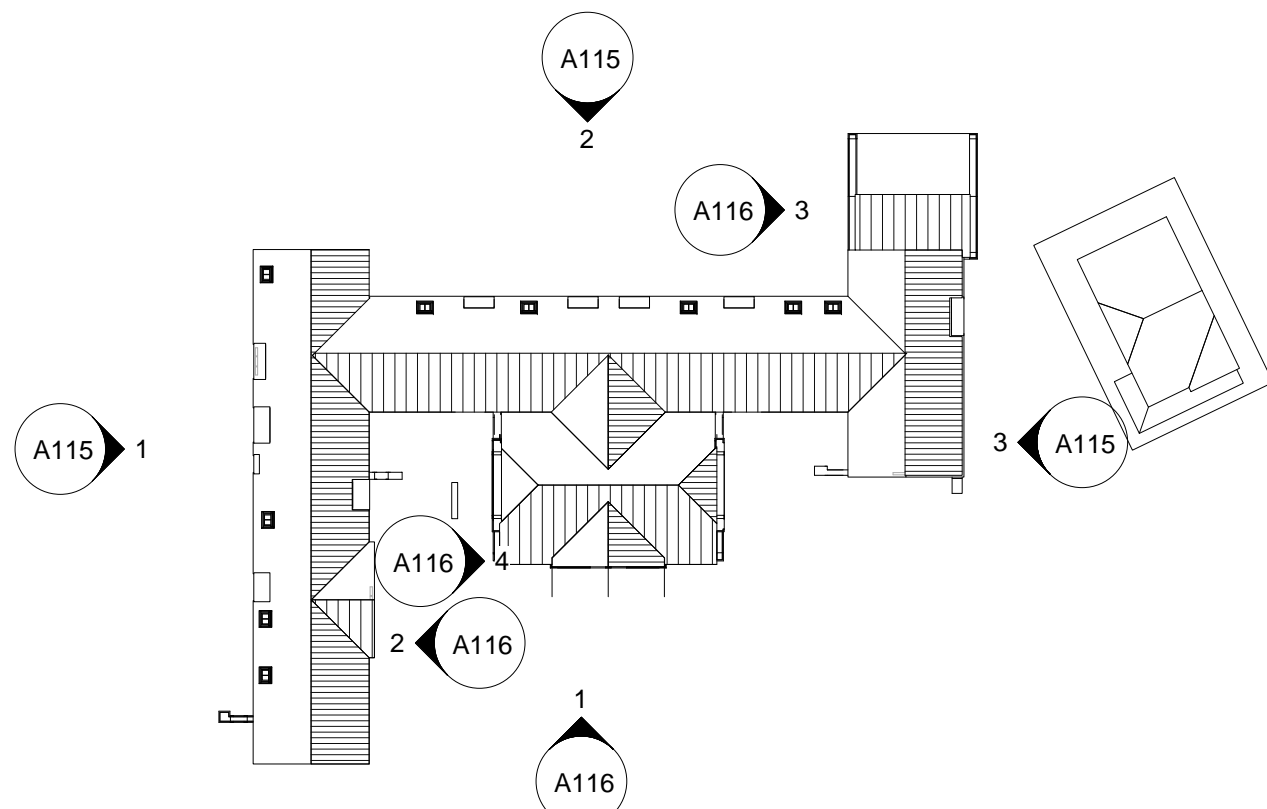
2 West Range South East Elevation - Proposed
1 : 100



3 East Range North West Elevation - Proposed
1 : 100



4 Hall North West Elevation - Proposed
1 : 100



5 Elevation Key
1 : 500

Rev	Date	Description	By
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Planning

Construction and Design

Ward House, Himley Park, Dudley, DY3 4DF
Directorate of Children's Services
Dudley Metropolitan Borough Council



PROJECT

Mount Pleasant Housing
Conversion

DRAWING
Elevations as Proposed - 2 of 2

Scale As indicated	Date 12/16/14	Drawn Author
Job Number AMPH 687	Drawing Number A116	Revision Plot Sheet size A1

PLANNING APPLICATION NUMBER: P15/0234

Type of approval sought	Reserved Matters
Ward	Sedgley
Applicant	AJM Planning Associates Ltd
Location:	105, COTWALL END ROAD, SEDGLEY, DUDLEY, DY3 3YQ
Proposal	APPROVAL OF RESERVED MATTERS FOR DEMOLITION OF EXISTING DWELLING/OUTBUILDINGS AND ERECTION OF 4 NO. DWELLINGS (FOLLOWING OUTLINE APPROVAL P14/0625)
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The 0.21 ha site comprises of a high quality individually designed detached bungalow that appears to have been little changed over time with a detached garage and surrounding garden land. The vehicular access is located centrally within the site frontage. The plot measures between 42m and 63m in depth and up to 50m in width.
2. The dwelling is a building of traditional bespoke design, set in landscaped gardens and front boundary dwarf wall, which is characteristic feature of the area.
3. The topography of the site is slopping with a rise from the frontage to the rear, east to west. The site is elevated from the road at approximately 1m higher level than the adjacent footpath.
4. There are a number of established significant trees within the site, which contribute greatly to the visual amenity of the area. Eight of these trees have recently been protected with the imposition of a Tree Preservation Order (TPO).

5. Cotwall End Road comprises a mix of relatively modern houses of a variety of styles, many of which are individually designed. This creates quite a visual diversity along the road, but some element of harmony arises because of the similarities between the dwellings with regard to their scale and mass, their positions on their plots and the common themes in their design and appearance.
6. Ground levels along Cotwall End Road increase to the north of the site, while to the south the levels gradually slope downwards.

PROPOSAL

7. Outline planning permission P14/0625 for the erection of 4 No. dwellings with access, layout and scale considered, was granted by Development Control Committee on the 9th June 2014.
8. This application seeks approval of the outstanding Reserved Matters relating to appearance of the dwellings and landscaping of the site.
9. During the course of the application, the following amendments were received;
 - Footprints of the dwellings to accord with the outline planning permission approved layout plan (P14/0625).
 - The external appearance of the dwellings were altered and reduced in scale.
 - The proposed floor levels lowered from the outline approval scheme (P14/0625)
 - Amended roof tile to a Marley Edgemere rather than Marley Modern. Colour of the roof tiles to have combination of smooth grey and smooth brown
 - Plot 4 driveway layout altered
10. A Tree Protection Plan and Landscape Proposals accompany this application.

PLANNING HISTORY

APPLICATION No.	PROPOSAL	DECISION	DATE
P14/0625	Outline application for the demolition of existing dwelling/outbuildings and erection of 4 No. dwellings (access, layout and scale to be considered) (Resubmission of refused application P12/1460)	Approved with conditions.	10/06/14
P12/1460	Outline application for the demolition of existing dwelling/outbuildings and erection of 4 No dwellings (access, layout and scale to be considered)	Refused	01/02/13
		Appeal ref: APP/C4615/A/13/2200317	
		Dismissed	07/01/14
CC/79/2299	Erection of bungalow	Approved with conditions.	26/11/79

11. In concluding the Appeal Decision for P12/1460 (APP/C4615/A/13/2200317), the Planning Inspector came to the view that the effect of the scheme on the character and appearance of the area, trees, wildlife and on the living conditions of future and neighbouring residents would be acceptable. However, there was concern that the visibility northwards from the access to the northernmost property proposed would be significantly obscured by the side wall of 111 Cotwall End Road, which extends out to the carriageway (there being no pavement past that neighbouring property). The Inspector stated that there would be inadequate visibility to allow drivers to leave that

new dwelling safely and this could have severe effects on highway safety. It was on this sole issue that the Appeal was dismissed.

PUBLIC CONSULTATION

12. Direct neighbour consultation was carried out to 34 adjoining and adjacent neighbours, as a result of which, 15 representations have been received, summarised as follows:

- Access visibility harmful
- Increase in vehicle numbers and traffic, would be harmful to pedestrian safety and other highway users.
- Insufficient parking for new dwellings.
- Front drives would cause water run-off onto Cotwall End Road
- Loss of the distinctive property, to be replaced by 4 two storey dwellings, would be detrimental to the area and overdevelopment of the plot.
- Loss of privacy, due to the two storey dwellings being built on a raised level from the road, which will lead to overlooking of the bungalows opposite and garden area of dwellings at the rear. Also causing overshadowing.
- Design of houses not in keeping with general area.
- Houses are not different or individually designed – uniform and standard house types, not appropriate to context.
- No variation in materials
- Reclaimed materials should be used from the bungalow.
- The plots would be better suited to a maximum of 3 dwellings.
- The layout plan does not accord with the outline approval, which showed a staggered building line.
- Site better suited for three single storey dwellings.
- Levels need to be dropped to be closer to the road level.

13. Following re-notification about the amendments, the following additional representation has been received;

- Houses still too high, only lowered marginally

- Parking of caravan, motorhomes, large vans/vehicles should not be allowed to park on driveway, as in covenants with other properties.

OTHER CONSULTATION

14. Head of Environmental Health and Trading Standards: No objections
15. Group Engineer (Highways): No objections raised.

RELEVANT PLANNING POLICY

16. National Planning Policy Framework (NPPF – 2012)
17. Black Country Core Strategy (BCCS) Policies (2011)
 - CSP2 - Development outside the Growth Network
 - CSP4 – Place Making
 - HOU1 – Delivering Sustainable Housing Growth
 - HOU2 – Housing Density, Type and Accessibility
 - TRAN2 – Managing Transport Impacts of New Development
 - TRAN5 – Influencing the Demand for Travel and Travel Choices
 - ENV1 – Nature Conservation
 - ENV2 – Historic Environment and Local Distinctiveness
 - ENV3 – Design Quality
18. Saved UDP Policies (2005)
 - DD1 – Urban Design
 - DD4 – Development in Residential Areas
 - NC6 – Wildlife Species
 - NC10 – The Urban Forest
19. Supplementary Planning Documents/Guidance
 - Parking Standards SPD (2012)
 - New Housing Development SPD (2013)

ASSESSMENT

20. The determining issues in the assessment of this application are:

- Impact on the character and appearance of the area
- Impact on residential amenity
- Highway safety

Character and appearance

21. BCCS policy HOU2 'Housing Density, Type and Accessibility' sets out the objectives for density and types of new housing, promoting the need to achieve high quality design and minimise amenity impacts, taking into account the characteristics and mix of uses in the area where the proposal is located.

22. BCCS policies CSP4 'Place Making', ENV2 'Historic Character and Local Distinctiveness' and ENV3 'Design Quality' requires that all development demonstrates a clear understanding of historic character and local distinctiveness and demonstrates how proposals make a positive contribution to place-making and environmental improvement through high quality design.

23. The Council's New Residential Development SPD (Revised 2013) is a useful tool in establishing a character led approach to new development based on identifiable context and characteristics. Whilst the site is located at the edge of centre, the general area shares characteristics of development in 'outer suburbs', and therefore the development criteria of such has been used to assess whether this dwelling is designed within its context, these include;

- retain space around the building
- detached dwellings – 2 storey, 4-5 bedroom
- respect local character of height and mass
- maintain the existing building line and set back of houses from the road
- retain back gardens

- more efficient use of land should deliver densities above the prevailing density, where appropriate, without having a detrimental impact on the character of the area.
24. A number of objections still refer to the principle of the development (i.e. loss of the bungalow). The approval for 4 dwellings at a two storey scale has been granted by the previous outline approval (P14/0625). The Local Planning Authority has to consider the external appearance of the dwellings.
 25. Under the planning appeal for P12/1460, the Planning Inspector commented on the matter of design;

The siting of the proposed houses would sympathise with the building line on this part of the road, and their 2-storey nature would tend to respect that of the dwellings around. There is no reason why the new houses need look the same. Rather, there would be opportunity at a later stage to secure variations in their design, detail and materials that would reflect the diversity that is already found among the existing houses on the road.
 26. Initially submitted plans, showed a more standardised external appearance for dwellings and the footprint failed to correspond with the approved layout, thus resulting in larger scale properties, filling out a greater proportion of the site.
 27. The application now reflects the dispersed layout of plots approved under the outline application P14/0625. There are two different house types proposed which are handed to provide external variation. In response the Inspectors comments, the elevations plans show incorporation of features found on properties in the locality vicinity, including, use of full brick elevations, part rendered elements, mock Tudor timber boarding, Mansard and cat-slide roof detailing, projecting two storey bay windows, canopies, varying garage doors design.
 28. The two storey height (with each dwelling measuring between 7m to 8.5m) is not excessive when viewed in conjunction with surrounding development. The cat slide roof of Plot 1 is at the same height as No. 103, with the main roof some 1.3m higher.

The cat slide roof of Plot 4 is at the same height as No. 111, with the main roof some 1m higher. The topography in this area dictates that dwellings on the western side of Cotwall End Road, are naturally in a higher position than those opposite. Utilising a cat-slide roof on Plots 1 and 4 ensure that there is natural step up and step down with No's 103 and 111 Cotwall End Road.

29. The dwellings are designed to create their own identity and create visual interest by varying roof lines, stepped slab levels to respond to the topography of the area. Given the range of features on each dwelling, combination of brick and render finishes, with different coloured roof materials, it is considered the proposed dwellings do not look the same. There is no specific Planning Policy requirement to have 4 different dwelling types; the amendments made by the developer have taken into account the Inspectors comment to '*secure variations in their design, detail and materials*'. The proposal would introduce modern dwellings that respect the local character and would contribute to the varied streetscene within Cotwall End Road.
30. The Landscape Proposals are suitable for this site. The front driveways would not be dominated by hard surfacing, the soft landscaping incorporating a range of plants and trees which are appropriate in the urban environment. The majority of trees to be retained are set well back in the site for there to be no conflict with the new properties. The tree protection measures shown on the submitted plan are acceptable and a condition would be required for these to be implemented prior to development. An Arboricultural Method Statement (AMS) would be required by condition.
31. The proposal respects the character and distinctiveness of the area making a positive contribution to place making through high quality design. It would therefore comply with BCCS Policies CSP4, ENV3 and HOU2, and Saved UDP Policies DD1 and DD4, and the New Housing Development SPD.

Residential amenity

32. The plots as shown would be set at least 31.5m away from dwellings on the opposite side of Cotwall End Road, and some 38m from the dwellings to the rear on Barn

Avenue. The New Housing Development SPD is clear that in the case of properties where the main living room is at first floor level, or where a change in levels results in a similar situation, the minimum distance between front and rear facing windows to habitable rooms is 28m. Concerns about overlooking and loss of privacy cannot therefore be substantiated.

33. There are no conflicts with the 45-Degree Code in respect of the neighbours at 103 or 111 Cotwall End Road, and therefore no adverse impact upon their light or outlook would arise.

Access and Parking

34. The means of access was approved at the Outline planning application stage and it is not considered that there have been any material changes in either Planning Policy or the specifics of the site since that date that require this issue to be revisited. The scheme would provide off-street parking areas that accord with the Parking Standards SPD.

CONCLUSION

35. The proposal respects the character and distinctiveness of the area making a positive contribution to place making through high quality design without harming the amenity of existing or future occupiers. There would be no detrimental impact on highway safety or residential amenity. The development would comply with the National Planning Policy Framework, Black Country Core Strategy Policies CSP2 - Development outside the Growth Network, CSP4 – Place Making, HOU1 – Delivering Sustainable Housing Growth, HOU2 – Housing Density, Type and Accessibility, TRAN2 – Managing Transport Impacts of New Development, TRAN5 – Influencing the Demand for Travel and Travel Choices, ENV1 – Nature Conservation, ENV2 – Historic Environment and Local Distinctiveness, ENV3 – Design Quality, Saved UDP Policies DD1 – Urban Design, DD4 – Development in Residential Areas, NC6 – Wildlife Species, NC10 – The Urban Forest and Supplementary Planning Documents Parking Standards, New Housing Development and Nature Conservation.

RECOMMENDATION

36. It is recommended that the application be APPROVED subject to the following conditions:

Conditions and/or reasons:

1. The development hereby permitted shall be carried out in accordance with the following approved plans: 13-29-04/REV A, 13-29-03/REV C, 815/A/005/A, 815/A/010/A, 815/A/060/A, 815/A/061/A, 815/A/062/B, 815/A/063/A.
2. The landscaping scheme for the site shown on plan no. 13-29-03/Rev B shall be implemented in accordance with the approved details before the end of the first planting season following initial occupation of the development. Any new trees or other plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written approval to any variation.
3. No development shall take place until the tree protection measures detailed in the submitted BEA Landscape Design Ltd Tree Protection Plan (Dwg No. 13-29-04) have been fully erected on site. Once erected the tree protection measures shall not be removed, taken down or in any way amended, other than shown on the approved plans, without the prior written agreement of the Local Planning Authority.
4. No development or other operations shall commence on site or in connection with the development hereby approved, (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening, or any operations involving the use of motorised vehicles or construction machinery) until a detailed Arboricultural Method Statement has been submitted to and approved in writing by the Local Planning authority. No development or other operations shall take place except in complete accordance with the approved Method Statement. Such method statement shall include full detail of the following:
 - Implementation, supervision and monitoring of the approved Tree Protection Plan.
 - Implementation, supervision and monitoring of all approved construction works within any area designated as being fenced off or otherwise protected in the approved Tree Protection Plan.
 - Timing and phasing of arboricultural works in relation to the approved development.
5. All excavations to be undertaken within the Root Protection Area (as defined by Clause 4.6 of British Standard BS:5837 - 2012 'Trees in Relation to Design, Demolition and Construction- Recommendations') of any existing trees on site shall be undertaken in accordance with NJUG Guidelines for the Planning, Installation and Maintenance of Utility Apparatus in Proximity to Trees (NJUG Volume 4).

6. No development or other operations shall commence on site in connection with the development hereby approved, (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening, or any operations involving the use of motorised vehicles or construction machinery) until a detailed service (gas, electricity and telecoms) and foul and surface water drainage layout has been submitted to and approved in writing by the Local Planning Authority. Such layout shall provide for the long term retention of the trees. No development or other operations shall take place except in complete accordance with the approved service/drainage layout



Site Plan 1:200

Station Eastings Northings Levels

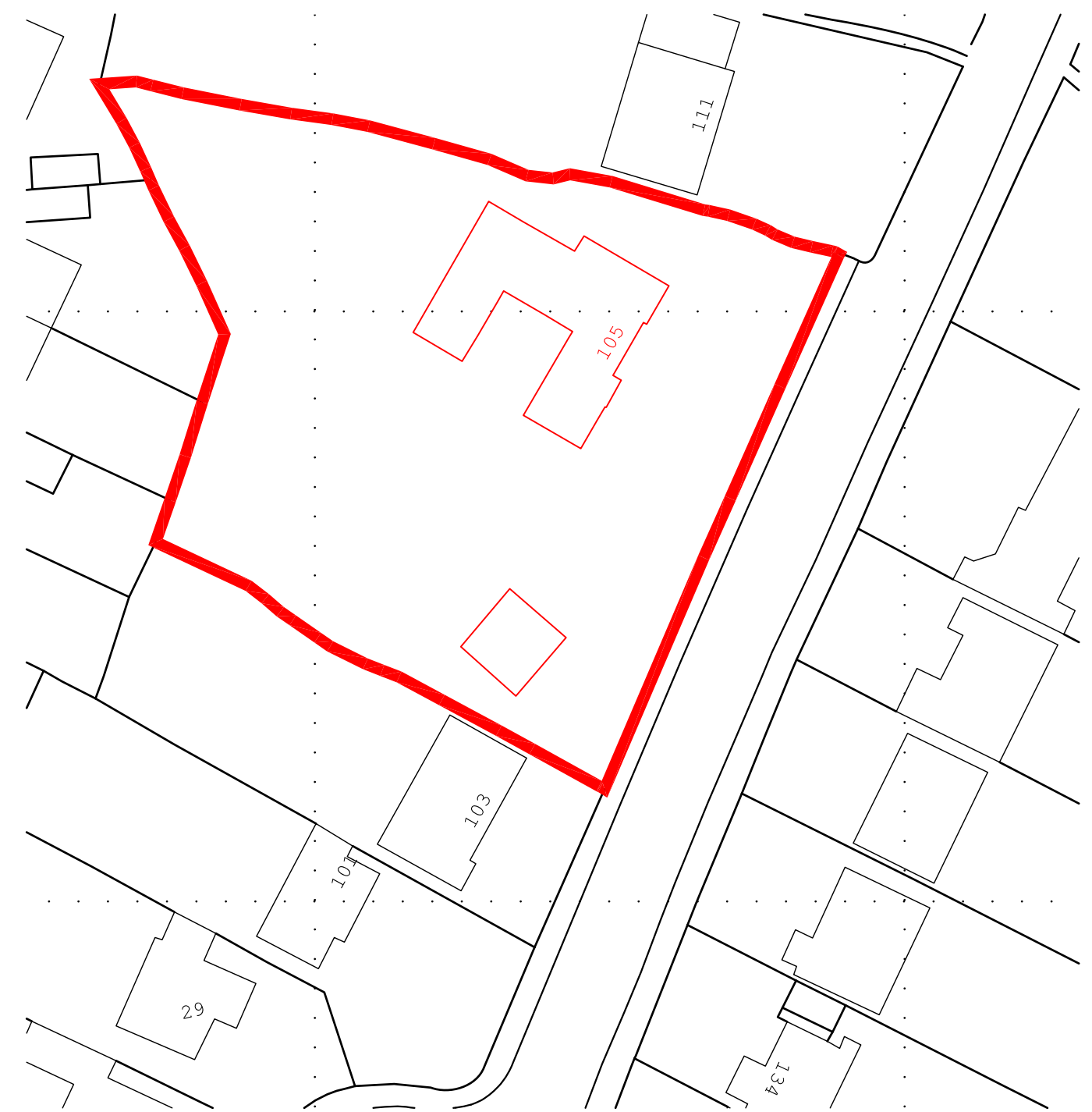
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S002	391345.861	293137.141	192.128
S003	391303.094	293125.003	193.697
S004	391301.301	293142.554	194.591

Key

- Path (um)
- ...

Survey is related to National Grid
OSGB36(2) ESTABLISHED USING OBSERVATIONS FROM
AN ORDNANCE SURVEY COMMERCIAL GPS NETWORK
CORRECTION SERVICE AND IS RELATED TO ORDNANCE
DATUM VIA THE GEOID MODEL OSGB02.
NO SCALE FACTOR APPLIED

Site Location 1:1250



Block Plan 1:500

lewis
architecture limited

east wing • wrottesley hall • holyhead road • codsall • wolverhampton • wv8 2ht • t:(01902) 840044 • f:(01902) 847427

project title
**Cotwall End Road
Sedgley**

drawing title
Existing site plans

drawing no.
815/A/050

scale
see plan A1

date
November 2012

rev

drawn by
LEWIS

checked by
SCHEPHER

authorised by
LEWIS

TREE PROTECTION NOTES:
'Trees in relation to design demolition and construction' BS5837:2012

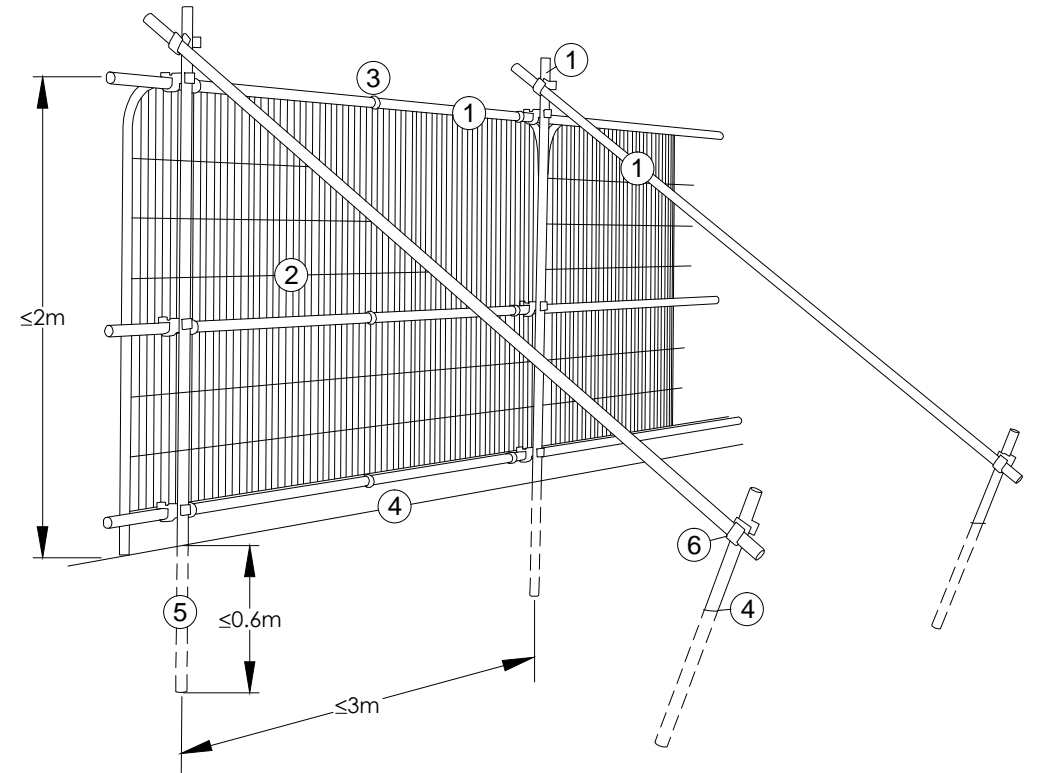
1.0 PRIOR TO COMMENCEMENT OF WORKS:

1.1 PRIOR TO COMMENCEMENT: all trees that are being retained onsite shall be protected by barriers and / or ground protection before any materials or machinery are brought onto the site, and before any demolition, development or stripping of soil commences. The 'Root Protection Area' (RPA) associated with existing trees designated for retention shall be protected from damage by erection of scaffold framework barriers in accordance BS 5837:2012 Figure 2 including where specified appropriate ground protection.

1.2 EXTENT OF ROOT PROTECTION AREA (RPA): as shown on the Tree Protection Plan (TPP) the RPA is generally to be in accordance with Annex D, Table D.1 'Root Protection Area.' - as an area equivalent to a circle radius 12 times the stem diameter (single stem trees) or based on the combined stem diameter for multistem trees (trees with more than one stem arising below 1.5m above ground level) refer to Clause 4.6.

1.3 TREE PROTECTION BARRIER: a vertical and horizontal scaffold framework, well braced to resist impacts as illustrated below (refer to Figure 2 of BS5837:2012). The vertical tubes should be spaced at a maximum interval of 3 metres and driven securely into the ground. Care should be taken to avoid underground services and contact with structural roots. In the presence of underground services, retained hard surfacing or where special circumstances dictate an alternative specification as illustrated in Figure 3 of BS5837:2012 may be acceptable subject to agreement with the project arboriculturalist and the local planning authority.

All weather site notices should be attached to the barrier with words such as "CONSTRUCTION EXCLUSION ZONE - NO ACCESS". Once installed barriers and ground protection shall be not be removed or altered without prior approval of the project arboriculturalist and where necessary approval form the local planning authority.



1. Standard scaffold poles
2. Heavy gauge 2m tall galvanised tube and weld mesh infill panels
3. Panels secured to uprights and cross members with wire ties
4. Ground Level
5. Uprights driven into ground until secure (minimum depth 0.6m)
6. Standard scaffold clamps

2.0 ADDITIONAL PRECAUTIONS:

2.1 Planning of site operations should take sufficient account of wide or tall loads, or plant with booms, jibs or counterweights (including drilling & piling rigs) tin order that they can operate without coming into contact with retained tree. The transit or traverse of plant in proximity to trees shall be conducted under supervision of a banksman to ensure adequate clearance from trees is maintained at all times. Access facilitation pruning as agreed with the project arboriculturalist and/or local authority should be undertaken where necessary to maintain clearance. NB Works to trees protected by a Tree Preservation Order or within a Conservation Area will need approval by the local authority.

2.2 Any materials whose accidental spillage would cause damage to a tree should be stored and handled well away from the outer edge of its RPA e.g. concrete mixings, diesel oil and vehicle washings. Allowances shall be made for sloping ground to avoid damaging materials running towards retained trees.

2.3 Fires on sites should be avoided. Where they are unavoidable, they should not be lit in a position where heat could affect foliage or branches. The potential size of a fire and wind direction should be taken into account when determining its location, and should be attended at all times until safe to leave.

2.4 Trees are not to be used as anchorages for equipment, or for other purposes. Notice boards, telephone cables, or other services should not be attached to any part of the tree.

2.5 The dumping of spoil or rubbish, placing of temporary accommodation and storage of materials within the root protection area is prohibited.

2.6 The change of ground level, excavating, stripping or disturbing topsoil within the RPA is prohibited.

3.0 GROUND PROTECTION DURING DEMOLITION & CONSTRUCTION

3.1 Where construction working space or temporary construction access is specified within the RPA, this should be facilitated by a set-back in the alignment of the tree protection barrier. In such areas, suitable existing hard surfacing that is not proposed for re-use as part of the finished design should be retained to act as temporary ground protection during construction, rather than being removed during demolition. The suitability of such surfacing for this purpose should be evaluated by the project arboriculturalist and an engineer as appropriate.

3.2 Where the set-back of the tree protection barrier exposes unmade ground to construction damage, new temporary ground protection should be installed as part of the implementation of physical tree protection measures prior to work starting on site.

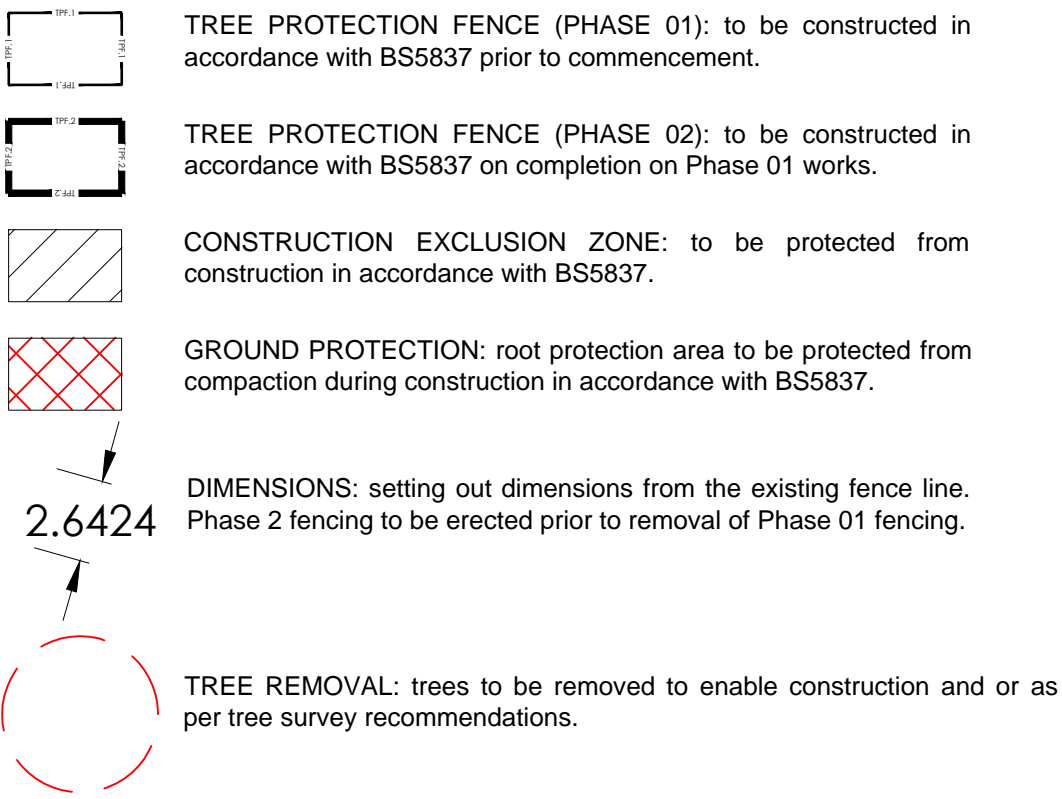
3.3 New temporary ground protection should be capable of supporting any traffic entering or using the site without being distorted or causing compaction of underlying soil, for example;

a) for pedestrian movements only, a single thickness of scaffold boards placed either on top of a driven scaffold frame, so as to form a suspended walkway, or on top of a compression-resistant layer (e.g. 100 mm depth of woodchip), laid onto a geotextile membrane;

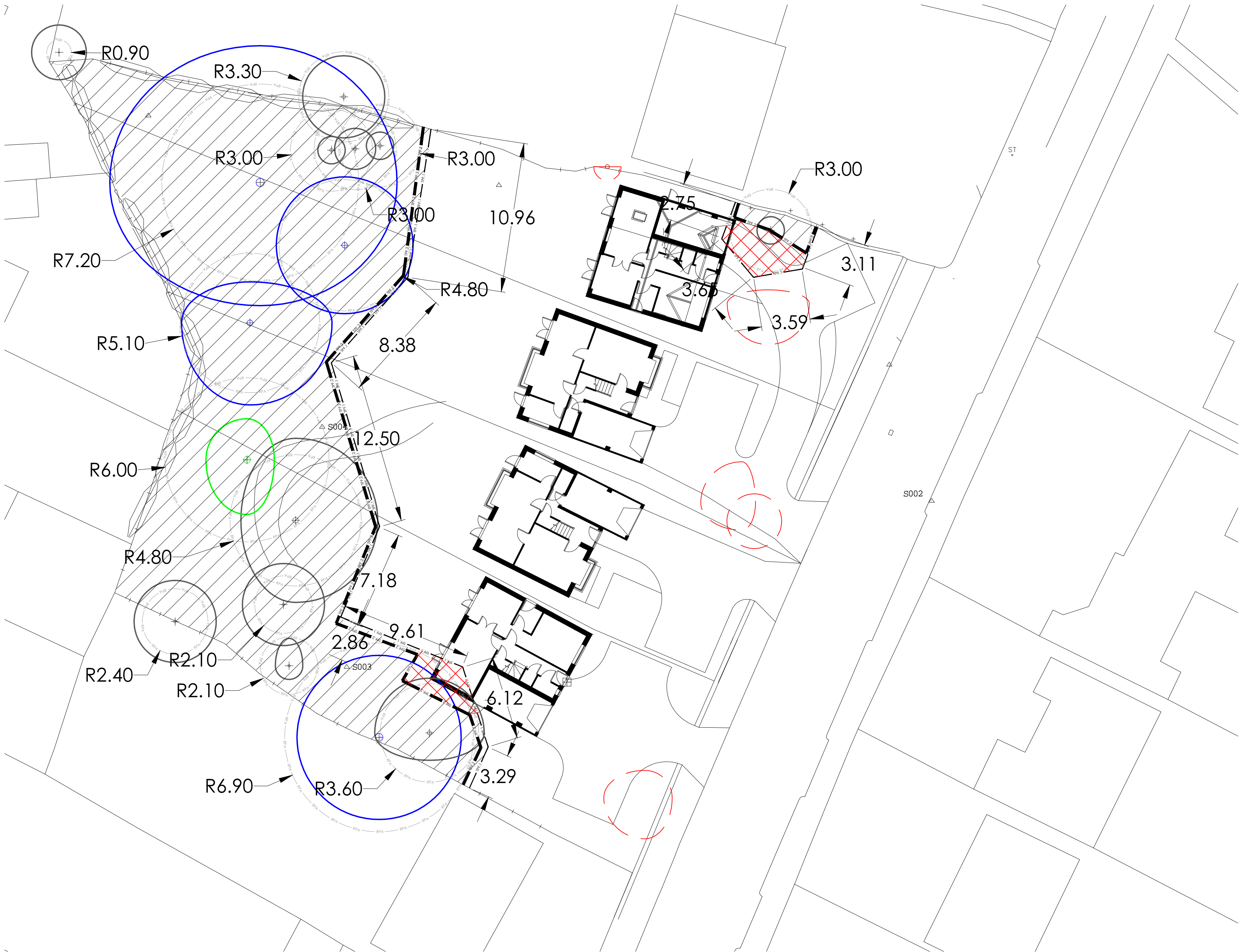
b) for pedestrian-operated plant up to a gross weight of 2 t, proprietary, inter-linked ground protection boards placed on top of a compression-resistant layer (e.g. 150 mm depth of woodchip), laid onto a geotextile membrane;

c) for wheeled or tracked construction traffic exceeding 2 t gross weight, an alternative system (e.g. proprietary systems or pre-cast reinforced concrete slabs) to an engineering specification designed in conjunction with arboricultural advice, to accommodate the likely loading to which it will be subjected. If necessary sand should be laid on the ground as a compressible layer.

LEGEND: TREE PROTECTION TO BS 5837:2012



ARBORICULTURAL METHOD STATEMENT: refer to the Arboricultural Method Statement 1329 / TGW / AMS001 for more detailed information.



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rev	date:	amendments:	alt:
A	02.04.2015	to co-ord with revised layout	DP

cdm 2007; designers residual risk information
In addition to the risks & hazards normally associated with the type of work detailed on this drawing the following residual risks should be noted:

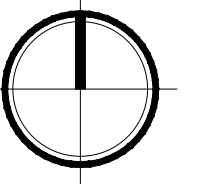
Construction:

1. Changes in level across the site including ramped access / steps.
2. A retaining wall adjacent to the street scene
3. The proximity of adjacent pavements, estate roads & car parks.
4. The proximity of adjacent buildings and associated buried services.

Maintenance:

1. Changes in level across the site including ramped access / steps.
2. A retaining wall adjacent to the street scene
3. The proximity of adjacent pavements, estate roads & car parks.
4. The proximity of adjacent buildings and associated buried services.

It is assumed that works will be carried out by competent contractor working, where appropriate to an approved method statement.



client:
Lewis Architecture Ltd

project:
105 Cotwall End Road
Sedgeley

title:
Tree Protection Plan

status:
PLANNING

date: Feb 2015	drawn: DP	number: 13-29-04
scale@A1: 1:200	checked: TGW	revision: A

Landscape Institute
Registered practice

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PLANNING NOTES:

1.0 SOILS: Subgrade / subsoil to be prepared in accordance with BS 8601 and BS 4428 and scarified or ripped to 300mm depth prior to spreading topsoil to alleviate compaction and promote drainage. Imported and as saved topsoil to be in accordance with BS3882: 2007 'Multipurpose Grade' with minimum soil organic matter contents 1% greater than the minima value (or as approved). Imported topsoil (and 'as saved' if requested) is to be laboratory tested to BS3882: 2007 and ameliorated as required to meet the required characteristics as detailed within Table 1 of BS3882: 2007 specification. Grass areas to be a minimum depth of 150mm, Shrub beds 450mm depth and forestry / transplants 300mm depth. Any weed / grass growth to be sprayed out with appropriate herbicide at least 10 days prior to cultivation. Incorporate proprietary non peat compost to BSI PAS 100 to 50mm depth evenly worked into soil.

N.B Proposed services (electric, water, gas etc) in landscape areas should be installed as a minimum below the required topsoil depths and clearly identified in accordance with service / utility requirements.

2.0 BUILDING FOUNDATION DESIGN: All landscape proposals are to be referred to by the structural engineer during foundation design.

3.0 PROPOSED PLANTING: Should planting be required outside of the planting season (October - March) any bare root or rootballed stock specified is to be replaced with containerised stock to an appropriate or similar specification to the approval of the landscape architect prior to ordering.

4.0 EXISTING TREES: Where trees are to be retained they should be subject to a full arboricultural inspection to assess condition and safety. Retained trees shall be protected from damage by erection of 2.3m weldmesh fencing on a scaffold framework in accordance BS 5837:2012 Figure 2. These barriers shall be maintained in position and in good condition until works are complete. Fencing to be located in accordance with Table D.1 at a radius of 12 times the stem diameter (single stem trees) or based on the combined stem diameter for multistem trees (trees with more than one stem arising below 1.5m above ground level) refer to Clause 4.6. Further precautions are to be taken as detailed within BS 5837:2012 6.2.4.

5.0 TREE SURGERY / REMOVAL: Tree surgery and tree removal to be carried out by an Arboricultural Association approved Tree surgeon in accordance with BS 3998:1989. Arisings to be removed to a licensed tip.

6.0 TREE PLANTING: All trees to be in accordance with BS 3936 / 4043. Trees to be planted in accordance with BS 4428 and double staked (10-12cm - 14-16cm girth trees) or triple staked (16-18cm - 18-20cm girth trees) and tied in pits 1000 x 1000 x 750mm backfilled with topsoil mixed with 40L of tree planting compost, ensuring tree pits are a minimum of 75mm deeper and 150mm wider than the tree roots. Base of pits to be broken up to a depth of 150mm. Root balls to be encircled by Root Rain Metro or similar irrigation pipe. Well water after planting. The base of trees to planted in grass areas are to be covered with 75mm amenity grade bark mulch such as Melcourt 'Ornamental' Bark Mulch (or similar approved by the landscape architect) to 1.0 metre diameter and kept weed free.

Suitable foundations are to be provided to accommodate proposed tree planting and retained trees in accordance with the NHBC Standards. The NHBC radii are illustrated as a guide only; based on an assumed medium soil type and minimum foundation depths and should not be relied upon for construction purposes. In locations close to footpaths and roadways linear root barriers Greenleaf, ReRoot or similar are to be installed in accordance with manufacturers instructions. Where proposed tree locations conflict with services, trees are to be relocated in accordance with the appropriate utilities guidance notes subject to client / local authority approval. Proprietary root barrier Greenleaf, ReRoot or similar to be installed in accordance with manufacturers instructions where relocation is not considered appropriate.

7.0 SHRUB & HERBACEOUS PLANTING: plants to be in accordance with BS 3936 and handled in accordance with CPSE guidelines and planted in accordance with BS 4428. Nursery stock supplier to be approved by the Landscape Architect. All shrubs to have a minimum of three breaks, except Hedera with a minimum of two. Well water plants immediately after planting and prior to spreading of mulch. Planting areas to be covered with 75mm depth amenity grade bark mulch such as Melcourt 'Ornamental' Bark Mulch (or similar approved by the landscape architect) and kept weed free.

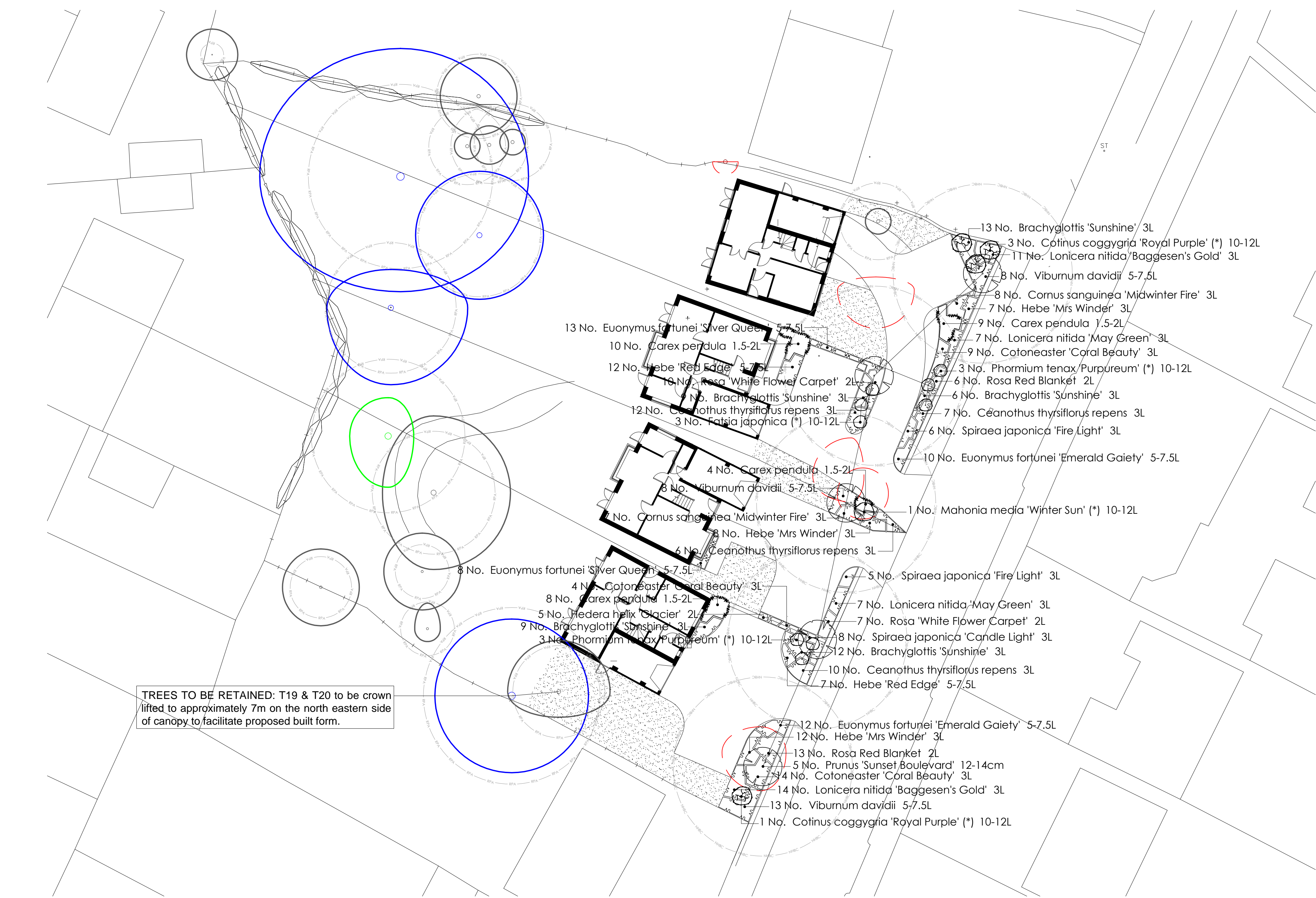
8.0 TURFING: Grass turf areas to be Tillers 'Arena' or similar approved cultivated turf, laid in accordance with BS4428. Topsoil to be rototvated and levelled as required and any debris or stones greater than 50mm diameter removed. Pre-turfing fertiliser to be applied in accordance with manufacturers instructions. Turf to be laid from planks with broken joints well butted up, pegged to slopes where required. Well water after laying to avoid shrinkage.

9.0 SEEDING: grass areas to be seeded in accordance with BS 4428 during March, April or September. Topsoil to be rototvated and levelled as required and any debris or stones greater than 20mm diameter removed. Pre-seed fertiliser to be applied in accordance with manufacturers instructions. Lightly rake areas after sowing. Seed to be Germinal Seeds mix A19 'All Purpose Landscaping' sown at 35g/m2, including:

- 30% CORAIL (Slender Creeping Red Fescue)
- 25% RAISA (Chewings Fescue)
- 20% ABERELF (Perennial Ryegrass)
- 20% CADIX (Perennial Ryegrass)
- 5% HIGHLAND (Browntop Bent)

10.0 GRAVEL: Gravel areas to be ornamental gravel, from local source 10-20mm, laid on geotextile membrane to a depth of 50-75mm.

11.0 MAINTENANCE: To be carried out at approximately monthly intervals to include the following:
a) Eradicate weeds by hand or chemical means.
b) Cut out dead or / and damaged stock or branches, prune as required.
c) Ensure all shrubs and trees are firmed in, securely staked and tied.
d) Collect litter, sweep and tidy site.
e) Apply suitable pesticides, fungicides, fertilisers and water as required.
f) Carry out grass mowing to turf when attained 100mm, cut to 35mm (50mm for shaded areas).
g) All hedges to plot frontages be maintained at a max height of 1.0m. Hedges and shrub planting within visibility splays to be maintained in accordance with current highways design guidelines.



TREES TO BE RETAINED: T19 & T20 to be crown lifted to approximately 7m on the north eastern side of canopy to facilitate proposed built form.

Plant Schedule

Trees						
No.	Species Name	Specification	Girth	Height	Density	
5 No.	Prunus 'Sunset Boulevard'	Heavy Standard :BR: :Clear Stem 175-200	12-14cm	350-425cm	Counted	

Shrubs						
No.	Species Name	Specification	Diameter	Height	Pot Size	Density
49 No.	Brachyglottis 'Sunshine'	Branched :4 brks :C	30-40cm	30-40cm	3L	4/m²
35 No.	Ceanothus thyrsiflorus repens	Bushy :5 brks :C			3L	4/m²
15 No.	Cornus sanguinea 'Midwinter Fire'	Branched :3 brks		40-60cm	3L	4/m²
4 No.	Cotinus coggygia 'Royal Purple' (*)	Branched :5 brks :C		40-60cm	10-12L	Counted
27 No.	Cotoneaster 'Coral Beauty'	Branched :3 brks :C		30-40cm	3L	4/m²
22 No.	Euonymus fortunei 'Emerald Gaiety'	Bushy :9 brks :C	30-40cm		5-7.5L	5/m²
21 No.	Euonymus fortunei 'Silver Queen'	Bushy :9 brks :C	30-40cm		5-7.5L	5/m²
3 No.	Fatsia japonica (*)	Leader :C		60-80cm	10-12L	Counted
27 No.	Hebe 'Mrs Winder'	Bushy :5 brks		30-40cm	3L	4/m²
19 No.	Hebe 'Red Edge'	Bushy :7 brks :C	30-40cm	25-30cm	5-7.5L	4/m²
25 No.	Lonicera nitida 'Baggesen's Gold'	Bushy :3 brks :C		30-40cm	3L	4/m²
14 No.	Lonicera nitida 'May Green'	Bushy :6 brks :C	30-40cm		3L	4/m²
1 No.	Mahonia media 'Winter Sun' (*)	Bushy :3 brks :C		60-80cm	10-12L	Counted
6 No.	Phormium tenax 'Purpureum' (*)	Triple Crown :8 brks :C			10-12L	Counted
17 No.	Rosa 'White Flower Carpet'	Cutting :Bushy :C			2L	4/m²
19 No.	Rosa Red Blanket	Cutting :Bushy :C			2L	4/m²
8 No.	Spiraea japonica 'Candle Light'	Bushy :6 brks :C		40-60cm	3L	4/m²
11 No.	Spiraea japonica 'Fire Light'	Bushy :6 brks :C		40-60cm	3L	4/m²
29 No.	Viburnum davidii	Bushy :4 brks :C		30-40cm	5-7.5L	3/m²

Climbers						
No.	Species Name	Specification	Spread	Height	Pot Size	Density
5 No.	Hedera helix 'Glacier'	Several Shoots :3/4 brks		40-60cm	2L	5/m²

Herbaceous						
No.	Species Name	Specification	Diameter	Height	Pot Size	Density
31 No.	Carex pendula	C: full pot			1.5-2L	3/m²

LEGEND: SOFT LANDSCAPING

GROUND COVER: deciduous shrub ground cover planting with specimen shrubs.

GROUND COVER: evergreen shrub ground cover planting with specimen shrubs.

GROUND COVER: ornamental grass ground cover planting as detailed.

SPECIMEN SHRUBS: specimen shrub planting as detailed.

GRASS: cultivated turf to road frontages, existing areas to be made good with seed.

ORNAMENTAL GRAVEL: pea gravel from local source; 50-75mm minimum depth; refer to notes.

EXISTING HEDGE: dead plants and bramble to be removed & hedge gapped up with native species.

TREE PLANTING: standard tree planting with NHBC radii. Tree Canopy spread illustrated at 25 years growth.

EXISTING TREES: to be retained in accordance with BS 5837 'Trees in relation to Construction' 2012.

TREES TO BE REMOVED

NHBC Guidelines 2011 Chapter 4.2 'Building near trees':

NHBC tree radii illustrated based on Medium soils assuming foundation depth of 0.9m. Buildings within the NHBC tree radius should be designed so that their foundations are to a suitable depth in accordance with the NHBC guidelines.

Asterisk (*) on planting tags identify shrubs with a mature height above 1.8m where adjacent foundation should be designed by Engineers in accordance with NHBC guidelines 2011 Tables 3 or 5 of sections D & E.

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rev	date:	amendments:	alt:
A	12.02.2015	As instructed	DP
B	13.02.2015	To co-ord with revised layout	DP
C	02.04.2015	To co-ord with revised layout	DP

cdm 2007; designers residual risk information

In addition to the risks & hazards normally associated with the type of work detailed on this drawing the following residual risks should be noted:

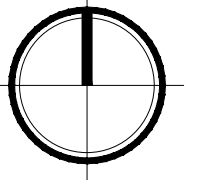
Construction:

- Changes in level across the site including ramped access / steps.
- A retaining wall adjacent to the street scene
- The proximity of adjacent pavements, estate roads & car parks.
- The proximity of adjacent buildings and associated buried services.

Maintenance:

- Changes in level across the site including ramped access / steps.
- A retaining wall adjacent to the street scene
- The proximity of adjacent pavements, estate roads & car parks.
- The proximity of adjacent buildings and associated buried services.

It is assumed that works will be carried out by competent contractor working, where appropriate to an approved method statement.



landscape design ltd

client:

Lewis Architecture Ltd

project:

105 Cotwall End Road
Sedgeley

title:

Landscape Proposals

status:

PLANNING

date:	drawn:	number:
Feb 2015	DP	13-29-03
scale@A1:	checked:	revision:
1:200	TGW	C

Landscape Institute
Registered practice

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W: www.bealandscape.co.uk



103 Cotwall End Road

105 Cotwall End Road - Proposed Site for 4No. New Dwellings

111 Cotwall End Road

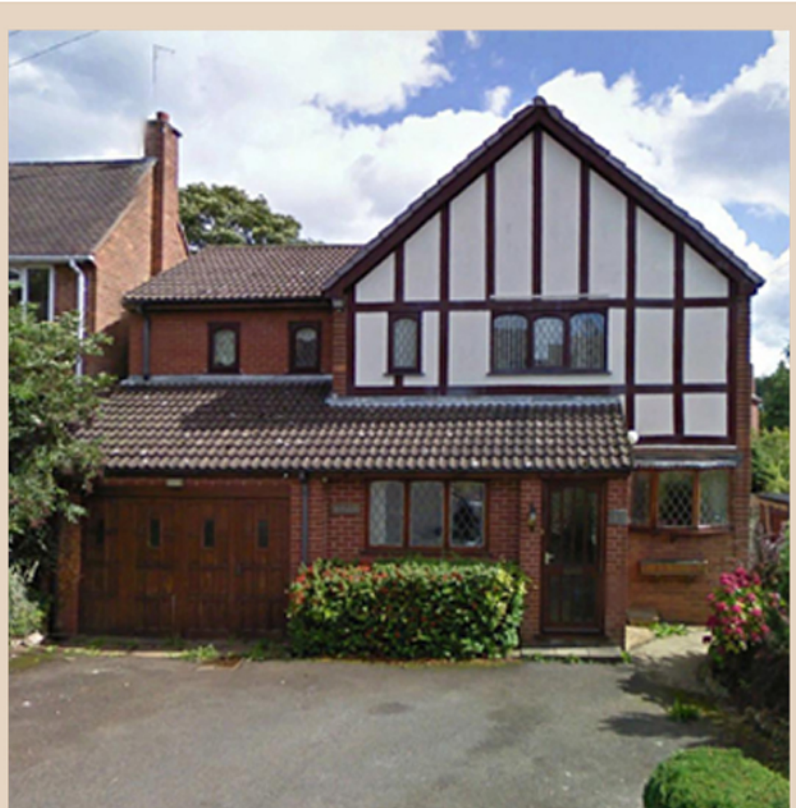
Contextual Site Elevation



150 Cotwall End Rd.
Part Rendered - Plots 2-4



103 Cotwall End Road
Mansard roof detail - All Plots



130 Cotwall End Road
Mock tudor timber boarding - Plots 3-4



136 Cotwall End Road
Brick gable with tile crease eave and rendered bay - Plot 1



128 Cotwall End Road
Hipped Roof & tile hung bay - Plot 2

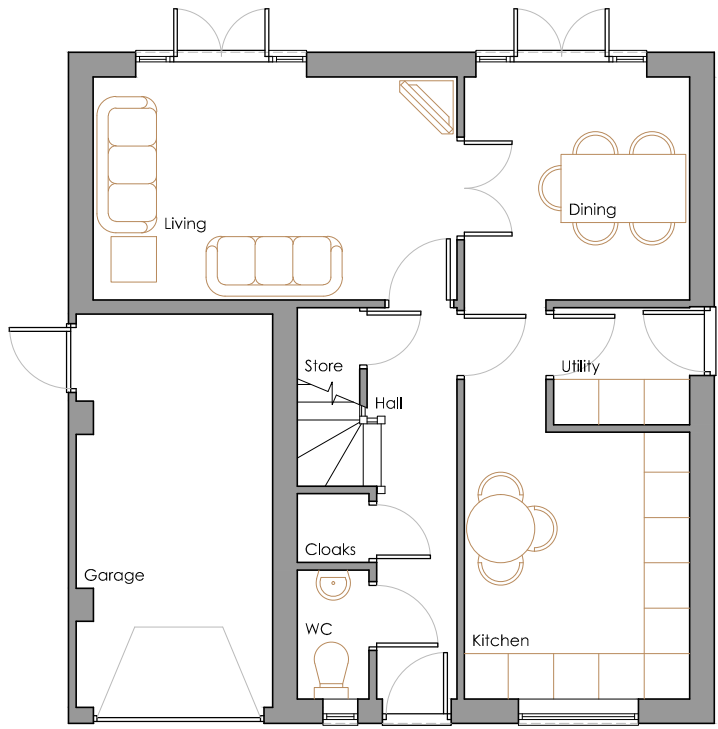
lewis
architecture limited

east wing	• wrotesley hall	• holyhead road	• codsall	• wolverhampton	• wv8 2ht	• t:(01902) 840044	• f:(01902) 847427
rev	date	drawn	ch'kd	project title			
A	28/03/15	SGP	IL	Development of 4 No. New Dwellings			
B	31/03/15	SGP	IL	Client / LA amendments			
					drawing title		
					Proposed Site Elevation & Floor Plans		
					drawing no.		
					815/A/010		
					scale		
					1:100 @ A1		
					date		
					March 2015		
					drawn by		
					JG Prior		
					checked by		
					I Lewis		
					authorised by		
					I Lewis		

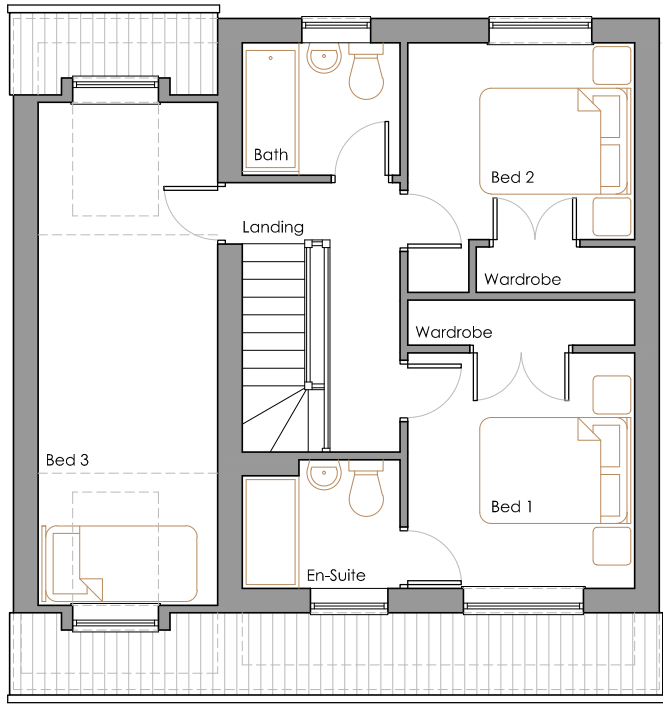




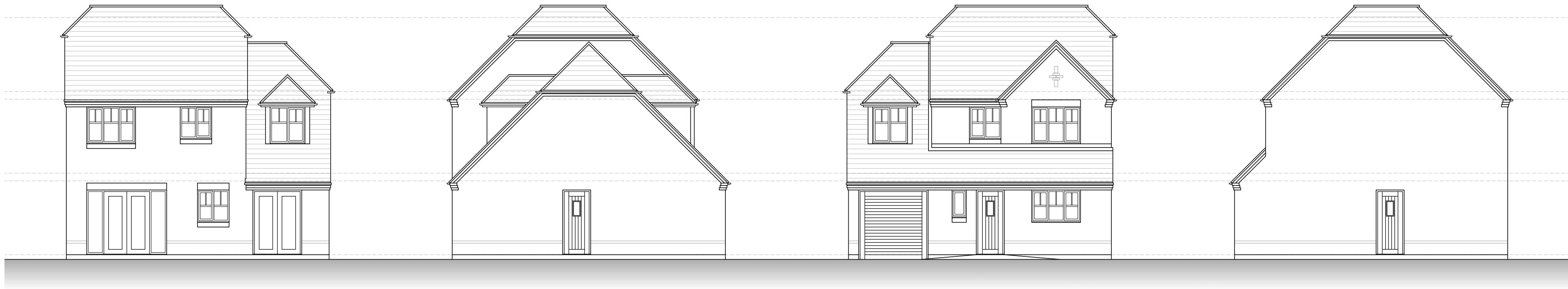
Site Plan 1:500



Ground Floor Plan



First Floor Plan



Rear (NW) Elevation

Left Side (SW) Elevation

Front (SE) Elevation

Right Side (NE) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Grey.
Details	Reconstituted stone sills. Colour - Portland.
Windows & Doors	White PVC-U frames with double glazing.

See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.

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rev
A

Planning amendments

date
31/03/15

drawn
SGP

ch'kd
TL

project title
Development of 4 No. New Dwellings
@ 105 Cotwall End Road, Sedgley

drawing title
Proposed House Types - Plot 1

drawing no.
815/A/060

scale
1:100 @ A1

drawn by
S G Prior

checked by
I Lewis

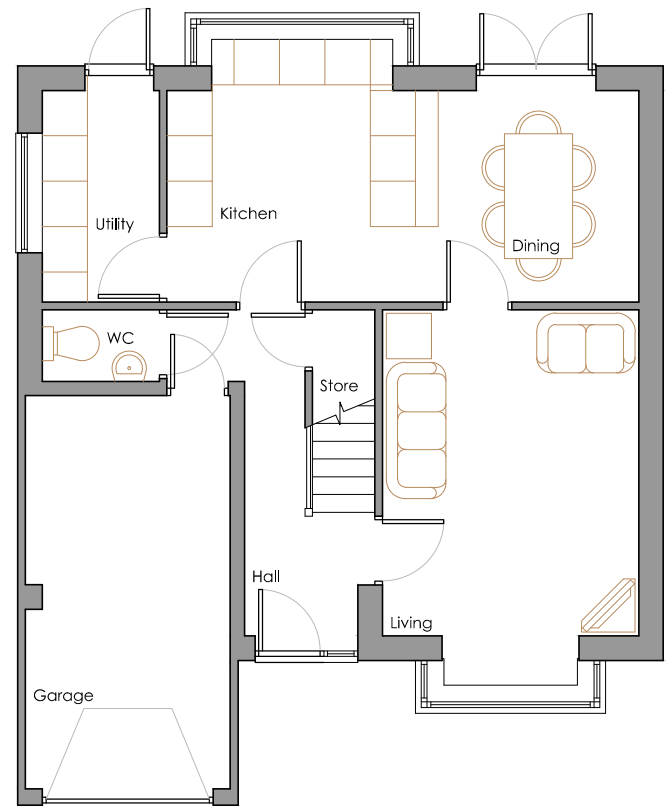
authorised by
I Lewis

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A

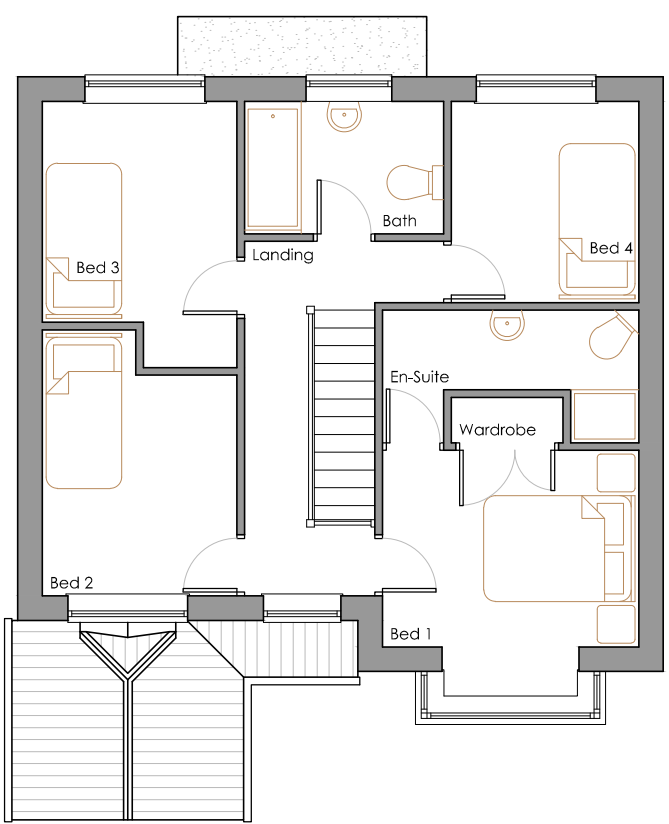
date
February 2014



Site Plan 1:500



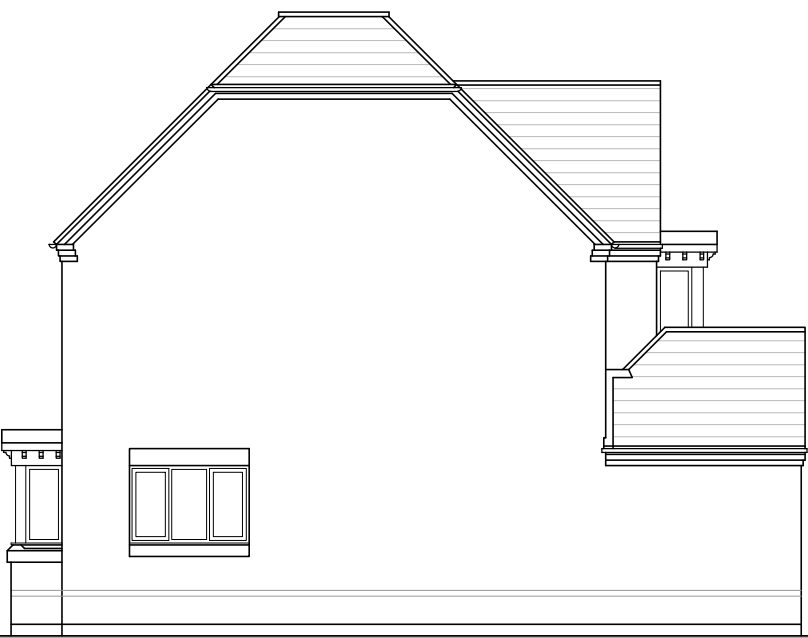
Ground Floor Plan



First Floor Plan



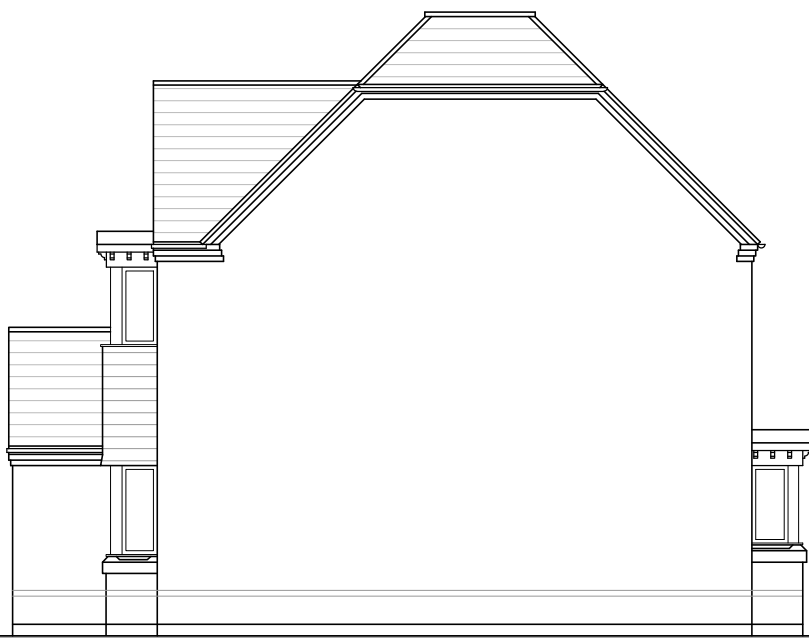
Rear (NW) Elevation



Left Side (SW) Elevation



Front (SE) Elevation



Right Side (NE) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Render	Through colour. Colour - Champagne
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Brown.
Details	Stained timber boarding with infill rendered panels (bay window).
Windows & Doors	White PVC-U frames with double glazing.

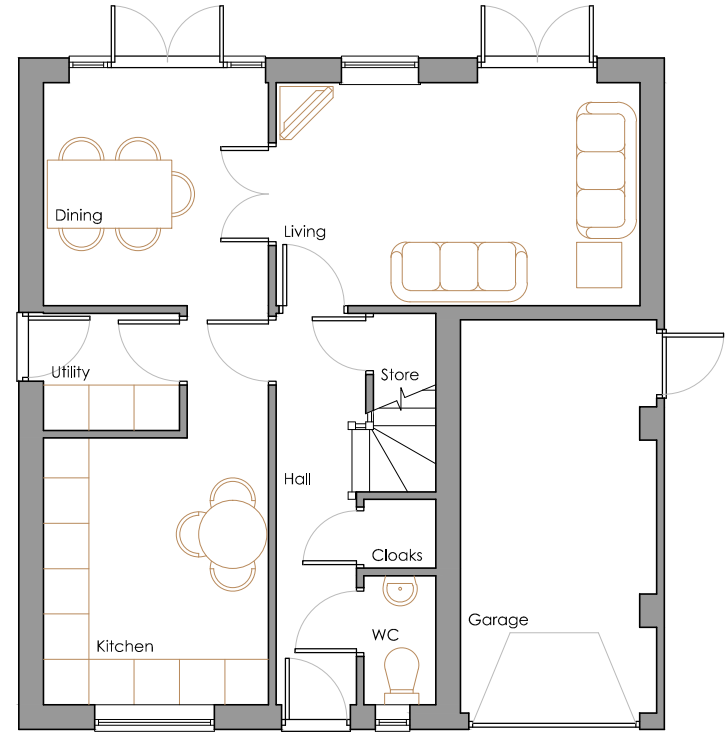
See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.



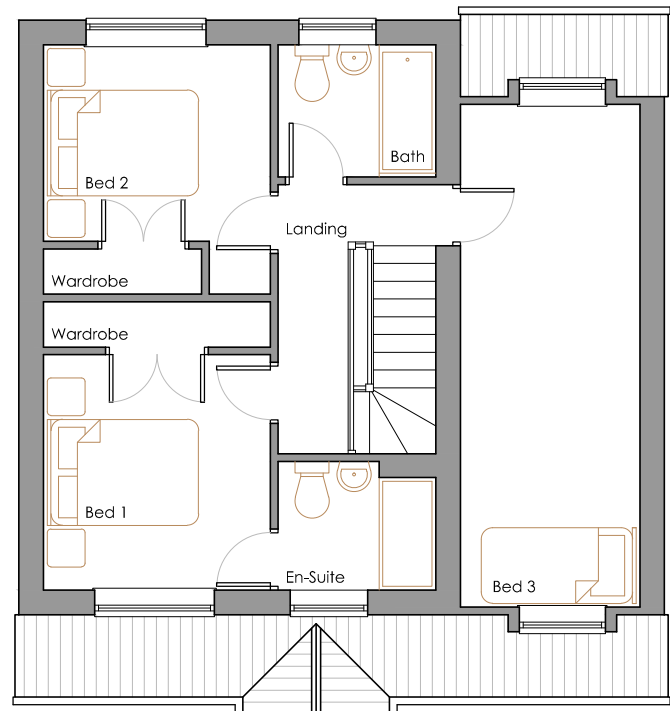
east wing	wrotesley hall	holyhead road	codsall	wolverhampton	wv8 2ht	t:(01902) 840044	t:(01902) 847427
rev	date	drawn	ch'kd	project title			
A	12/03/15	SGP	IL	Development of 4 No. New Dwellings			
B	31/03/15	SGP	IL	@ 105 Cotwall End Road, Sedgley			
				drawing title	Proposed House Types - Plot 3		
				drawing no.	815/A/062		rev B
				scale	1:100 @ A1		date February 2014
				drawn by	checked by	authorised by	
				S G Prior	I Lewis	I Lewis	



Site Plan 1:500



Ground Floor Plan



First Floor Plan



Left Side (SW) Elevation

Front (SE) Elevation

Right Side (NE) Elevation

Rear (NW) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Render	Through colour. Colour - Champagne
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Grey.
Details	Stained timber boarding with infill rendered panels (bay window).
Windows & Doors	White PVC-U frames with double glazing.

See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.

lewis

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east wing • wrottesley hall • holyhead road • codsall • wolverhampton • wv8 2ht • t:(01902) 840044 • f:(01902) 847427

rev
A

Planning amendments

date
31/03/15

drawn
SGP

ch'kd
TL

project title
Development of 4 No. New Dwellings
@ 105 Cotwall End Road, Sedgley

drawing title
Proposed House Types - Plot 4

drawing no.
815/A/063

scale
1:100 @ A1

drawn by
S G Prior

checked by
I Lewis

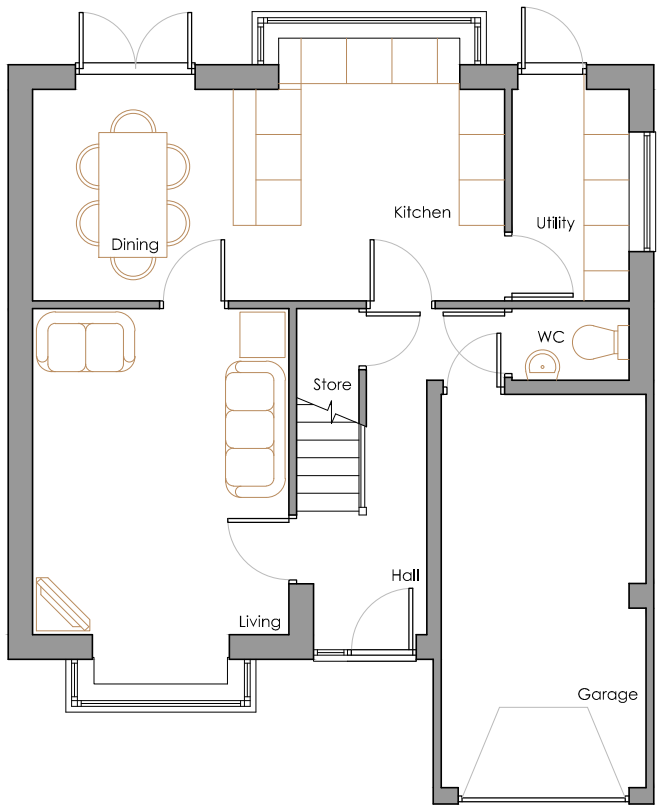
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I Lewis

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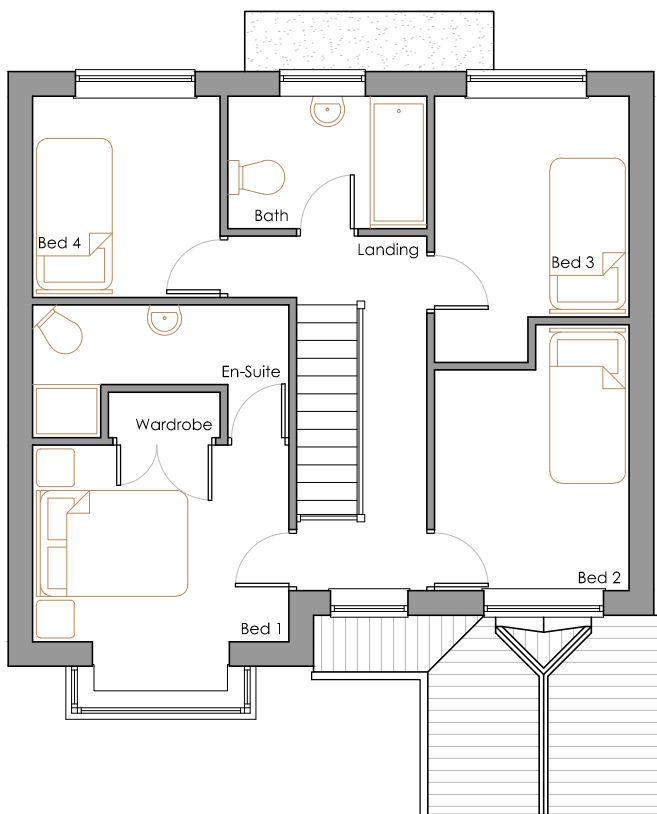
date
February 2014



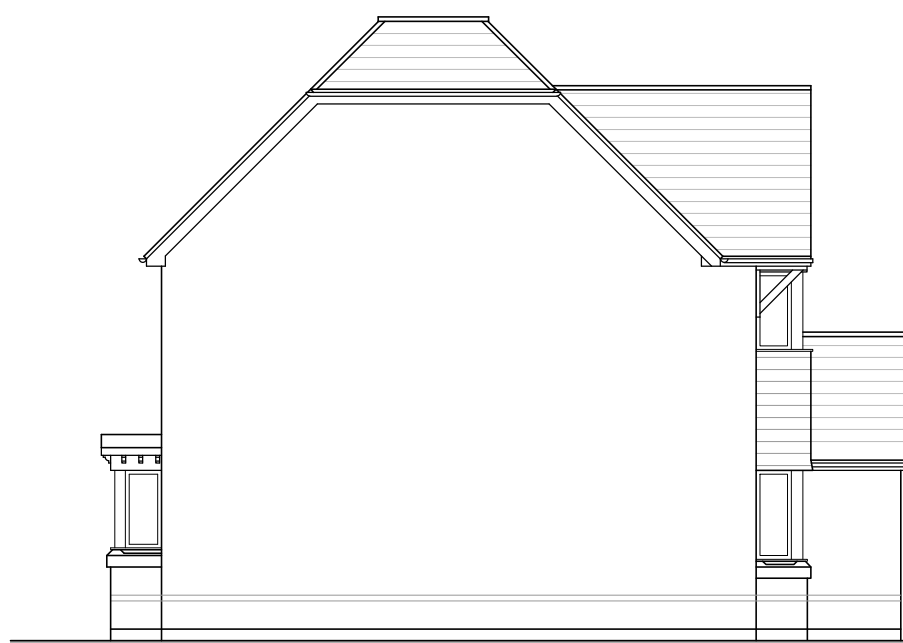
Site Plan 1:500



First Floor Plan



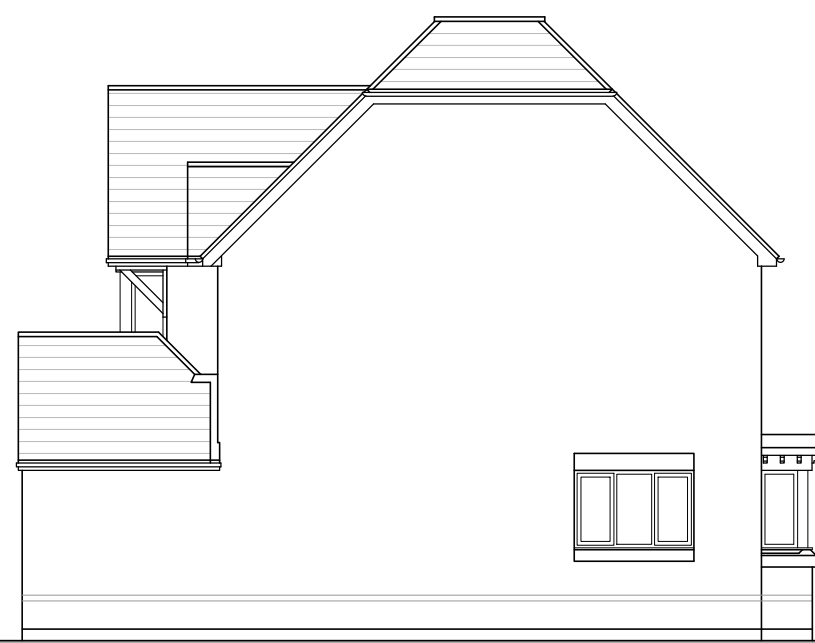
Ground Floor Plan



Left Side (SW) Elevation



Front (SE) Elevation



Right Side (NE) Elevation



Rear (NW) Elevation

Brick	"Hanson" "Oakthorpe" Red Multi Stock with cement mortar.
Render	Through colour. Colour - Champagne
Roof Tile	"Marley" "Edgemere" interlocking slates or similar roof tiling. Tile & fitments. Colour - Smooth Brown.
Details	"Plain Tile" tile hanging (bay window). Colour - Natural Red.
Windows & Doors	White PVC-U frames with double glazing.

See drawings 815/A/005 - Proposed Site Plan & Elevations for areas of materials.



east wing		• wrottesley hall		• holyhead road		• cadsall		• wolverhampton		• wv8 2ht		• t:[01902] 840044		• f:[01902] 847427	
rev		date		drawn		ch/ka		project title							
Development of 4 No. New Dwellings															
@ 105 Cotwall End Road, Sedgley															
drawing title															
Proposed House Types - Plot 2															
drawing no.															
815/A/061															
rev															
A															
scale															
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date															
February 2014															
drawn by															
S G Prior															
checked by															
I Lewis															
authorised by															
I Lewis															

PLANNING APPLICATION NUMBER:P15/0275

Type of approval sought	Full Planning Permission
Ward	St James's
Applicant	Mr Clifford Morgan
Location:	35, NEW STREET, DUDLEY, DY1 1LT
Proposal	CONVERT EXISTING DWELLING INTO 2 NO. APARTMENTS WITH ELEVATIONAL CHANGES TO INCLUDE NEW WINDOW AND DOOR OPENINGS AND ROOF TERRACE
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. This is a three storey building located on the southern side of New Street close to the junction with Tower Street. The site lies within the Dudley Town Centre Conservation Area. To the south (rear) of the site is a Grade II listed building at 59-60 Tower Street.
2. The building is presently occupied by a two bedroom flat at first and second floor levels. At the rear of the building there is a two storey wing which at first floor level consists of a store/bathroom/utility area with adjacent terrace and fire escape.

PROPOSAL

3. Permission is sought to convert the existing flat into two, 1-bedroom flats. At first floor level the existing rear wing is to be converted into a kitchen with a new door inserted to provide access to the terrace and fire escape. At second floor level a terrace is to be created on the roof of the rear wing, enclosed by a 1.1m high balustrade and accessed from a new door.

PLANING HISTORY

4.

APPLICATION	PROPOSAL	DECISION	DATE
P14/1346	Convert existing 1 no. dwelling into 2 no. apartments with elevational changes to side and rear to include new door openings, roof terrace and first escape	Withdrawn	November 2014

The above application was withdrawn following Officer advice to the applicant that a proposed external fire escape would have a detrimental impact on the character of the Conservation Area and therefore the application could not be supported. For the purposes of this application the fire escape has been removed from the proposals (the means of escape are now provided internally with exit from the front of the building).

PUBLIC CONSULTATION

5. Neighbour notification letters have been sent to 60 properties and a site notice has been posted. A letter of objection, signed by the occupants of 40 properties, has been received. The letter raises the following concerns:

- The proposal affects the character and appearance of the Conservation Area and the setting of the Listed Building;
- Subdivision of the flat will have a detrimental impact on the amenities of existing residents of the flats by reason of loss of security and additional noise, litter and nuisance;

- The proposed terrace area will result in overlooking of the kitchen of flat 31 and its use will lead to noise disturbance;
- The proposed flat would provide sub-standard living accommodation;
- The development would set a precedent for other similar proposals, thereby harming the existing character of the building by reason of overcrowding.

OTHER CONSULTATION

6. Head of Environmental Health and Trading Standards – No objection.

Group Engineer (Development) – No objection.

RELEVANT PLANNING POLICY

7. National Planning Policy

National Planning Policy Framework (NPPF) 2012

Saved 2005 Unitary Development Plan Policies

CR13 (Residential Development in Centres)

HE4 (Conservation Areas)

HE6 (Listed Buildings)

Supplementary Planning Guidance

Planning Guidance Note 24: Residential Flat Conversions

ASSESSMENT

Principle

8. The proposed use of the upper floors of the building as flats is supported by the NPPF which advises that residential development can play an important role in ensuring the vitality of centres. Similar support is given by Saved Policy CR13 of the UDP, provided that a proposed development makes adequate provision for maintaining the safety, security and residential amenity of the occupier. The Policy

advises that the Borough's town centres have a significant role to play in meeting housing targets and that new residential development within them contribute towards sustainable development.

Impact on Conservation Area and Listed Building

9. Saved Policies HE4 and HE6 of the UDP advise that the Council will safeguard and seek to enhance Conservation Areas and listed buildings respectively. The subdivision of the existing flat would not have any harmful effect on the character of the town centre, where high density residential development at upper floors of buildings is commonplace. The proposed new doors and balustrade are to be located at the rear of the building (where there are already similar features both at the site and adjacent properties) in an enclosed position which is not visible from the wider area. This element of the development would not, therefore, have a harmful effect on the character of the Conservation Area or the setting of the nearby listed building.

Amenity

10. The NPPF requires that a good standard of amenity space is provided for the occupants of new developments. This proposal provides a nominal terraced area which is of a similar size to those serving existing flats within this building and is considered to be an appropriate amenity space provision. The internal space standards of each of the flats would be in excess of the standards set out in Planning Guidance Note 24 for floor areas for flats (30 sq.metres per flat), thereby ensuring the creation of well proportioned units with an appropriate level of residential amenity.
11. With regard to the concerns of the objectors to the proposal, the use of the proposed terrace area will not result in any greater degree of overlooking of the adjacent kitchen at 31 New Street than from the existing terrace area at the site. Any increase in activity within the building as a result of the subdivision of the flat would not be so significant that it would impact adversely on the living conditions of existing residents.

Parking

12. No dedicated off-street parking is to be provided as part of this proposal, but given the site's sustainable location close to public transport facilities it is considered that in this case this is acceptable and would not bring with it any adverse highway safety implications.

CONCLUSION

13. The proposed development will have a positive impact on the vitality and viability of the town centre and will have no adverse impact upon the character and appearance of the Conservation Area and the adjacent listed building. As such the proposal complies with Saved Policies HE4, HE6 and CR13 of the UDP.

RECOMMENDATION

14. It is recommended that this application be APPROVED subject to the following conditions:

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: CM/NS/P02B and CM/NS/P03B.

- This drawing is copyright and should not be reproduced without permission.
- Scaled dimensions should not be taken from this drawing.
- All dimensions to be checked on site before work is commenced.
- all dimensions are in millimeters unless otherwise stated.
- All our proposals are subject to confirmation following liaison with the relevant local authorities.



LOCATION PLAN

Mr Clifford Morgan

Proposed Conversion to 2no. Apartments
35 New Street
Dudley, DY1 1LT

Location Plan

Scale : 1:1250 @ A4

Date : Sept 2014

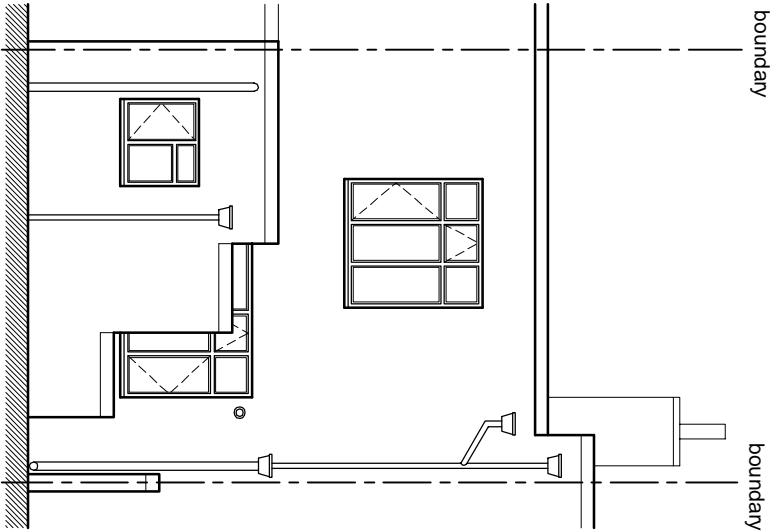
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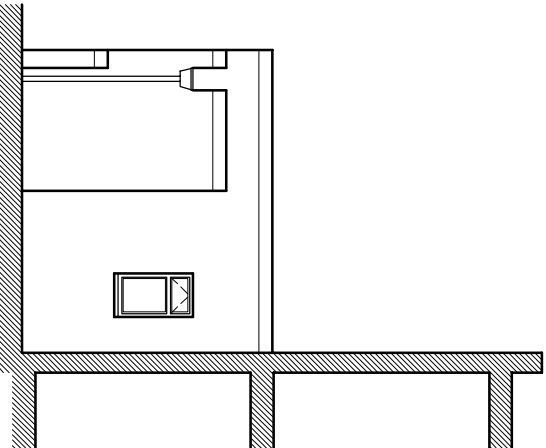
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CM/NS/P04

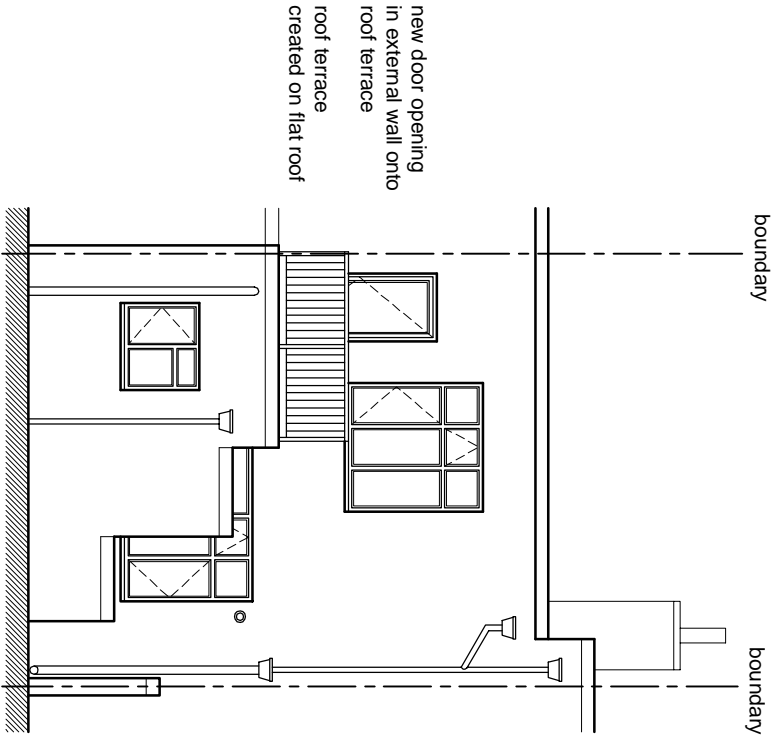
- This drawing is copyright and should not be reproduced without permission.
- Scaled dimensions should not be taken from this drawing.
- All dimensions to be checked on site before work is commenced.
- All dimensions are in millimeters unless otherwise stated.
- All our proposals are subject to confirmation following liaison with the relevant local authorities.



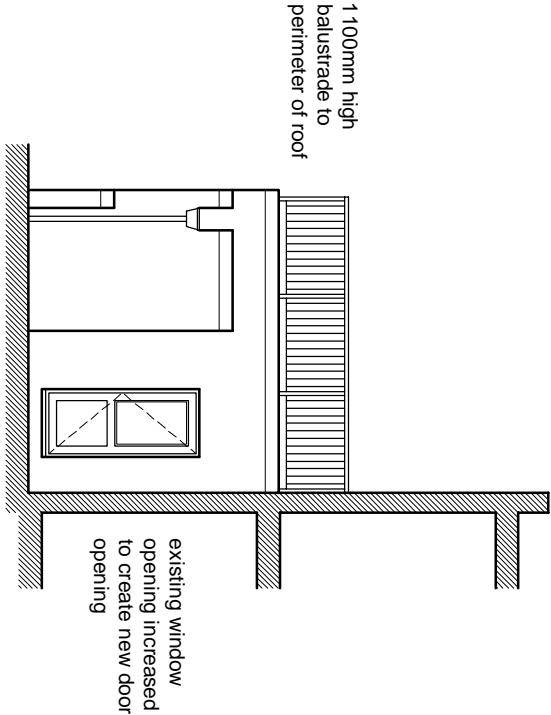
EXISTING PART REAR ELEVATION



EXISTING PART SIDE ELEVATION



PROPOSED PART REAR ELEVATION



PROPOSED PART SIDE ELEVATION

Rev A - 16.12.14 - Proposed fire escape omitted.
Rev A - 23.09.14 - Existing rear window and flue shown on
proposed part rear elevation.

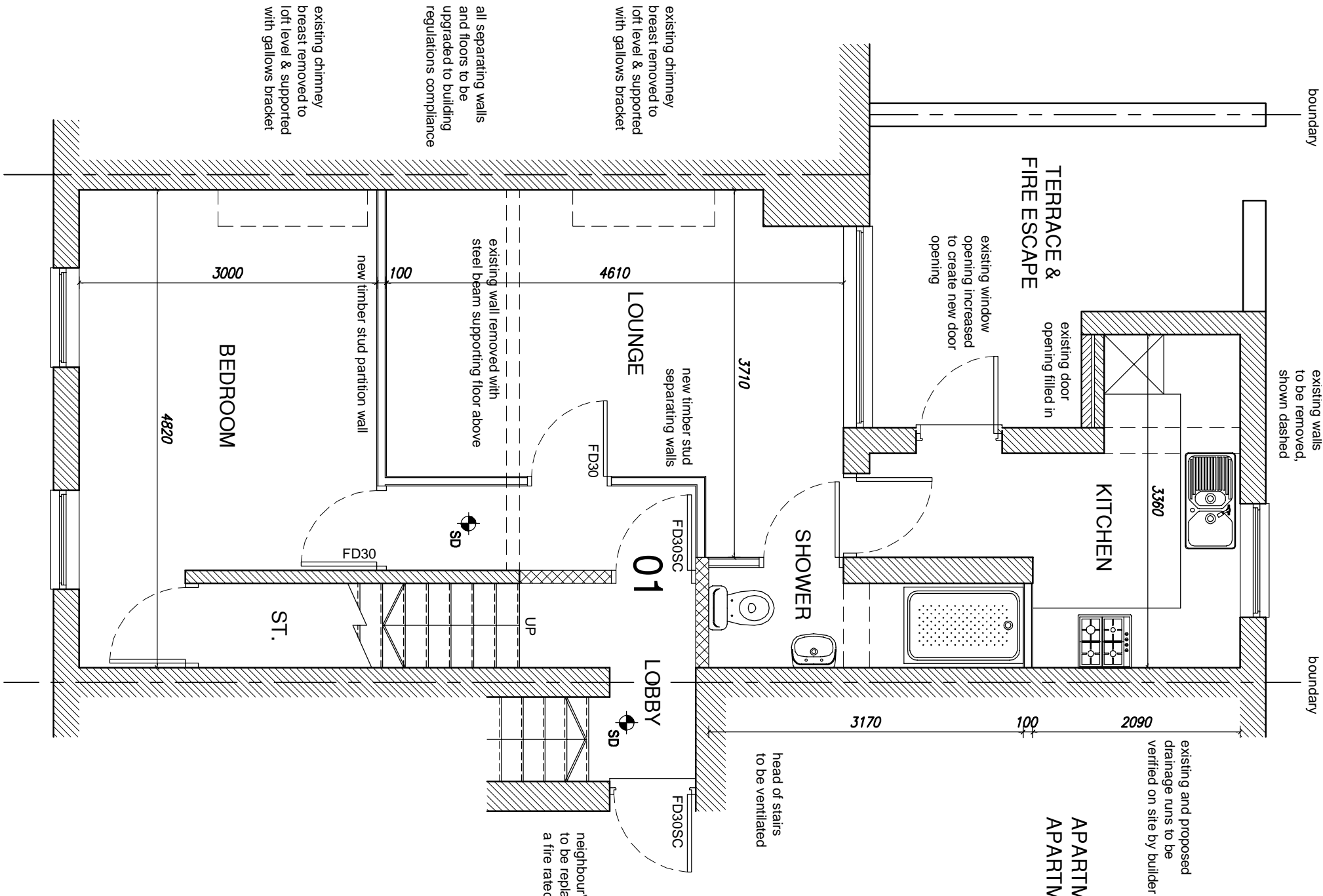
Mr Clifford Morgan

Proposed Conversion to 2no. Apartments
35 New Street
Dudley, DY1 1LT

Existing and Proposed Part Elevations

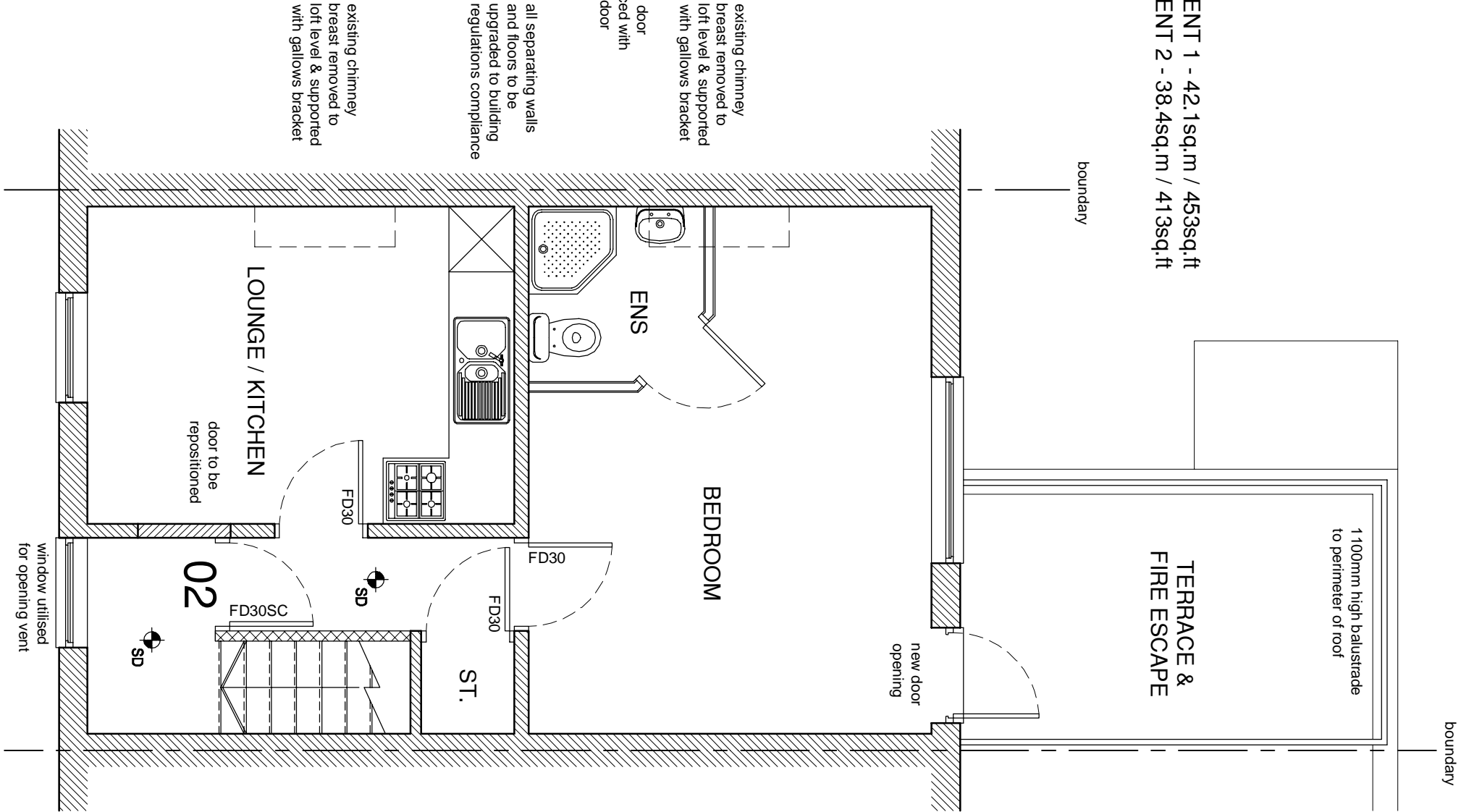
Scale : 1:100 @ A3	Drawing No. : CM/NS/P03B
Date : Sept 2014	
Drawn : STB	
©	

PROPOSED FIRST FLOOR PLAN



APARTMENT 1 - 42.1sq.m / 453sq.ft
APARTMENT 2 - 38.4sq.m / 413sq.ft

PROPOSED SECOND FLOOR PLAN



Mr Clifford Morgan

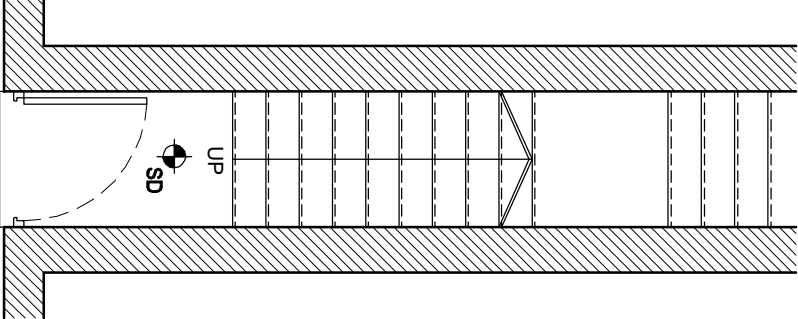
Proposed Conversion to 2no. Apartments
35 New Street
Dudley, DY1 1LT

Proposed First and Second Floor Plans

Scale : 1:50 @ A3
Date : Sept 2014
Drawn : STB

Drawing No. :
CM/NS/P02B

PROPOSED GF PLAN



PLANNING APPLICATION NUMBER:P15/0329

Type of approval sought	Full Planning Permission
Ward	Netherton Woodside and St Andrews
Applicant	Mrs J. Kitson
Location:	295, HALESOWEN ROAD, NETHERTON, DUDLEY, DY2 9NP
Proposal	SINGLE STOREY SIDE/REAR EXTENSION. NEW FRONT RAMP ACCESS WITH BALUSTRADE/HANDRAIL. NEW ACCESS STEPS TO SIDE ELEVATION
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The application site comprises an unaltered hipped roofed semi-detached property set within a mixed residential/commercial area. It is one of four properties set lower than the highway and there is parking for several vehicles to the front.

2. 293 Halesowen Road is the adjoining semi-detached property to the north west and fencing of approximately 1.8m forms the common boundary. 297 Halesowen Road is a narrow detached property adjacent the site to the south east and this dwelling has a high outbuilding to the rear which forms part of the the common boundary with the application property. The remainder of the boundary comprises concrete post and panel fencing of approximately 1.8m high. There is also a detached prefabricated building within the rear garden of this neighbouring property which sits close to the common boundary. The site backs onto vacant land to the rear.

PROPOSAL

3. It is proposed to erect a single storey side/rear extension in order to provide bedroom and shower room. It is also proposed to install an access ramp with

associated handrails to the side of the property to facilitate level access to the dwelling.

4. The extension would project 5.8m beyond the original rear elevation and would adopt a high mono-pitch design to a maximum height of 3.8m. It would be set in 1.8m from the north western boundary and a side facing bedroom window would be inserted towards this common boundary. The finished floor levels would match those of the existing dwelling to provide level access.
5. The application is for the benefit of a disabled person.

HISTORY

6. None

PUBLIC CONSULTATION

7. Direct notification was carried out to eight neighbouring properties and a site notice was displayed. The final date for receipt of representations is 23rd April 2015 and three letters of objection have been received which raise the following material planning issues;
 - Concerns regarding the position of the side facing bedroom window and that obscure glazing should be used.
 - That the external brickwork needs to be in keeping with the appearance of other houses.
 - Concerns regarding the external appearance of the development from the front elevation.
 - That the new development would result in the objectors' detached property being 'linked' or 'abutted' and that there should be a gap between the new development and their home.
 - Increased noise and disturbance through any joined walls.
 - Concerns regarding the increased size of the dwelling to a three bedroom house.

8. A number of non-material issues are also raised including;
- Concerns regarding subsidence and impact on foundations.
 - Concerns regarding the impact on the objectors' properties damp course and side drainage being compromised.
 - Concerns that the development would breach the Human Rights Act in terms of the objectors right to the peaceful enjoyment of their home and land.
 - Issues of civil disputes between neighbours are also raised.
9. Any further representations received prior to the committee meeting will be reported as a pre-committee note.

OTHER CONSULTATION

- None relevant

RELEVANT PLANNING POLICY

National Planning Policy Framework (NPPF) 2012

Saved Unitary Development Plan 2005

- DD1 Urban Design
- DD4 Development in Residential Areas

Supplementary Planning Documents / Guidance

- PGN 17. House extension design guide
- Access for All

ASSESSMENT

10. Key issues;
- Design
 - Neighbour Amenity
 - Highway Safety

Design

11. Saved Policy DD4 of the UDP states that extensions to residential dwellings will be allowed provided they do not adversely affect the character of the area or residential amenity. Principle 14 of the Adopted Access for All SPD states that *“alterations to a dwelling should be suitable for the resident, and sympathetic to the character of the dwelling, without adversely harming the street scene”*
12. The extension would be set well back from the principal wall with only a narrow section visible from the front in the gap between the application property and the neighbouring detached property. Subject to the use of appropriate matching materials, it is considered that the development would relate satisfactorily to the existing dwelling house and there would be no harm in visual amenity terms. The development would provide ground floor living accommodation for a disabled person and it is considered that there would be no demonstrable harm to the street scene or character and appearance of the area. In this respect the proposal therefore complies with saved Policy DD4 – Development in Residential Areas of the UDP (2005) and the Access for All SPD.

Neighbour Amenity

13. There would be a marginal breach of the 45 Degree Code guidelines with regards to the ground floor habitable room window within the rear wall of the adjoining semi-detached property. The distance to the point of contravention would, however, be significant at approximately 6.8m. Refusal of permission on the grounds of loss of immediate outlook is not therefore considered sustainable. Amended plans were received lowering the height of the extension by 600mm to be more sympathetic

and the extension would be set in significantly from the common boundary with the adjoining semi-detached property. It is considered appropriate to condition the use of obscure glazing for the side facing bedroom window to prevent overlooking of the rear garden associated with the adjoining semi-detached property. Whilst this is not ideal for the occupiers, it is deemed necessary and a roof-light has been incorporated. In this respect the proposal is therefore considered compliant with saved Policy DD4 – Development in Residential Areas of the UDP (2005).

14. The extension would abut the side wall of the high outbuilding attached to the rear of the neighbouring detached property and there would be no contravention of the 45 Degree Code guidelines despite the fact that the extension would extend beyond this outbuilding. There is also a detached building within the rear garden of this neighbouring property positioned immediately behind the outbuildings and amended plans have been received lowering the roof pitch of the proposed extension. No loss of light, outlook or privacy is envisaged in this respect given the existing relationship, the presence of existing structures and general orientation.

Highway Safety

15. There would be no loss of existing parking provision and it is considered that there are no consequential highway safety issues arising. In this respect the proposal therefore complies with saved UDP Policy DD4.

Other Matters

16. The application proposes an extension to a domestic property and the non-material issues raised are civil matters not relevant to the determination of this application. Likewise concerns expressed regarding subsidence and potential impact upon foundations are Building Regulations matters.

CONCLUSION

17. The proposal would provide inclusive access to the dwelling and is for the benefit of a disabled person. There would be no demonstrable harm to the character and

appearance of the area and neighbouring amenity. The proposal therefore complies with saved Policy DD4 of the Dudley UDP and the Council's Access for All SPD.

RECOMMENDATION

18. It is recommended that the application is APPROVED subject to the following conditions;

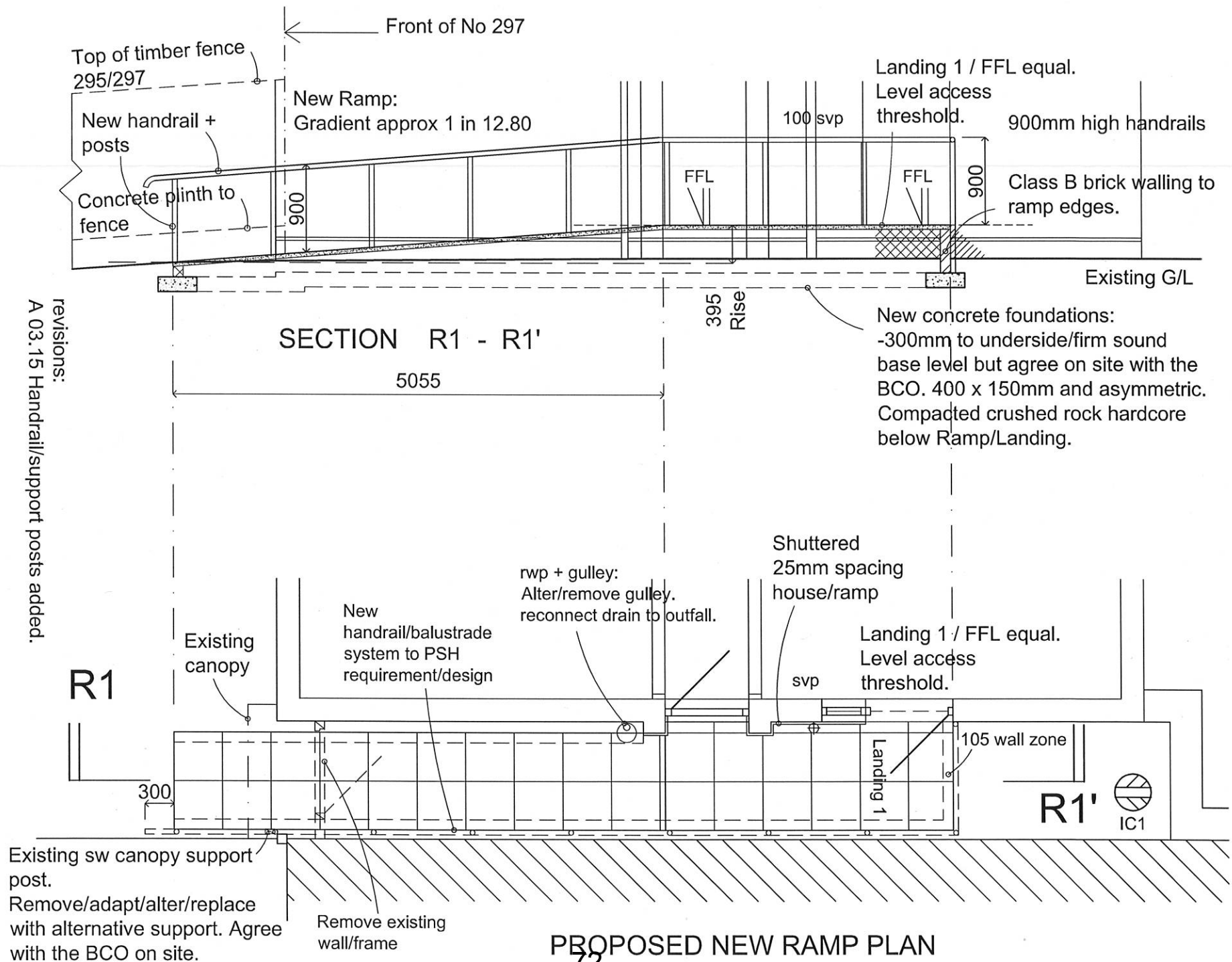
Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: DWG.NO 1 Revision B and DWG.NO 2RevA
3. The materials to be used in the approved development shall match in appearance, colour and texture those of the existing building unless otherwise agreed in writing with the Local Planning Authority.
4. The bedroom window to be installed in the side elevation of the building hereby approved shall be fitted with obscuring glass and the only opening lights shall be at high level and top hinged. The obscuring glass shall be maintained in the said window throughout the life of the development.



Michael A Chapman Architect, Rumbow House, Halesowen, West Mids., B63 3HU
 Bus 0121 550 1320 Mob 07831 559588 Fax 0121 585 5734
 JOB NO: 1 8 9 9 DWG NO: 2ReVA SCALE: 1 : 50 DATE: 03.15

revisions:
 A 03.15 Handrail/support posts added.



72
 PROPOSED NEW RAMP PLAN

PLANNING APPLICATION NUMBER:P15/0340

Type of approval sought	Full Planning Permission
Ward	Kingswinford North & Wall Heath
Applicant	Mrs H. Porter
Location:	KINGSWINFORD CONSERVATIVE CLUB, 24, OAK STREET, KINGSWINFORD, DY6 9LS
Proposal	INSTALLATION OF 3 NO. CONDENSING UNITS ONTO THE REAR OF THE PROPERTY
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The site comprises a detached social club building built close to the back edge of the pavement and with a bowling green located to the rear of the site. The original Victorian building was extended in the 1960s and 1980s with the addition of a single storey flat roofed front/side/rear extensions and improvements to the accessibility of the building provided ramped accesses made in recent times (2014).

2. The bowling green extends across most of the width of the site and measures 23m in depth from the rear elevation of the building to the rear boundary of the site. The rear of the site is enclosed by close boarded fencing set on concrete gravel boards that stands approximately 2.4m in height.

3. Immediately adjoining the western elevation of the club building is a large detached dwelling (No. 26 Oak Street). This dwelling appears associated with the club building.

4. The site is located within a predominantly residential area with dwellings backing onto the rear boundary and adjoining the eastern and western boundaries of the site.

PROPOSAL

5. The proposal seeks the installation of 3 No. condensing units to the rear of the club premises. The units would be sited on top of a raised patio located to the rear of the building. The patio stands approximately 0.5m above the adjoining ground level and is enclosed by a 1m high wooden fence. The patio is covered by a flat roof that projects beyond the rear elevation of the building.
6. The air conditioning units would be screened behind the existing wooden barrier that encloses the patio area standing 1.6m above the ground level of the bowling green below. The units would be installed 100mm off the rear wall and would be spaced 300mm apart. The units would be set back 1.2m from the front edge of the raised patio area.

HISTORY

7. None of relevance.

PUBLIC CONSULTATION

8. The application was advertised by way of neighbour notification letters being sent to the occupiers of sixteen properties within close proximity to the site. The latest date for comments was the 3rd April 2015. Nine letters of objection have been received from residents living in Park Street to the rear of the site and from Cross Street to the west of the site raising concerns that the proposed air conditioning units would result in an unacceptable level of noise and disturbance to the detriment of residential amenity.

OTHER CONSULTATION

9. Head of Environmental Health and Trading Standards: No objection subject to a condition to limit future noise levels of the units to protect residential amenity.

RELEVANT PLANNING POLICY

10. National Planning Guidance (2012)

The National Planning Policy Framework (NPPF) sets out the Governments planning policies for England and how these are expected to be applied. The NPPF is a material consideration in planning decisions, but does not change the statutory status of the development plan as the starting point for decision making. Proposed development that accords with an up-to-date Local Plan should be approved.

11. The NPPF advises that the purpose of the planning system is to contribute to the achievement of sustainable development.

Planning Practice Guidance

- Noise
- Use of Planning Conditions

Unitary Development Plan (2005)

- DD4 Development in Residential Areas
- EP7 Noise Pollution

ASSESSMENT

12. The main issues are

- Design
- Neighbour Amenity

Design

13. The proposed air conditioning units would be sited to the rear of the building positioned under a partially enclosed raised patio area screened from view by an existing wooden fence. The units would not be visible from the residential dwellings located to the rear of the site and would not be visible within the street thereby ensuring that they would not have an adverse impact upon the character of the area and would be in accordance with saved Policy DD4 of the Adopted Dudley Unitary Development Plan (2005).

Neighbour Amenity

14. The Head of Environmental Health and Trading Standards has considered the objections received in relation to the proposed air conditioning units and concerns with respect to potential noise and disturbance and impacts upon residential amenity. The application has been submitted with a technical specification, which stipulates sound pressure levels. This states that maximum sound pressure levels from the proposed units is between 51-53 dB (A) at a distance of 1 metre. The edge of the nearest affected residential garden is approximately 20 metres away from the proposed units (there is a garden slightly closer to the conservative club; however, the units are shielded from this garden by the building which will provide sufficient acoustic protection). The cumulative level for all three units operating together would be a maximum of 56dB (A) at 1 metre when added together, given that sound pressure levels are added on a logarithmic scale. Based on the appropriate acoustic distance attenuation calculations, the resultant worst case predicted sound level for all three units operating would be 30dB (A) at the edge of the nearest affected residential garden. Therefore facade (external) levels at the residential properties would not be expected to exceed 24dB (A) and a partially open window generally reduces noise by 13 dB (A). The resultant calculated internal noise levels would therefore be lower than existing internal noise levels at the residential properties.
15. The calculated levels are based on the units being new and so could potentially alter in the future if the function of the units deteriorates, hence the request for a condition to ensure amenities are protected for the lifetime of the development. The applicant would need to take appropriate action to reduce noise should there be any future non-compliance with the recommended condition. In view of the above, the proposed units would not result in an unacceptable level of noise to the occupiers of nearby residential properties subject to a condition to ensure the retention of future noise levels to protect residential amenity. The proposed development would therefore be in accordance with saved Policies DD4 and EP7 of the Adopted Dudley Unitary Development Plan (2005).

CONCLUSION

16. The air conditioning units would be sited to the rear of the site and would be screened by existing fencing thereby not having an adverse impact upon the character of the area or upon outlook from the rear of residential properties. The air conditioning units would not result in an unacceptable increase in noise levels and would ensure the protection of residential amenity to the occupiers of the nearby houses.

RECOMMENDATION

17. It is recommended that the application be APPROVED subject to conditions.

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: Air conditioning outdoor unit installation dated 5th March 2015.
3. The rating level of sound emitted from any fixed plant and/or machinery associated with the development shall not exceed background sound levels by more than 5dB(A) between the hours of 0700-2300 (taken as a 15 minute LA90 at the nearest sound sensitive premises) and shall not exceed the background sound level between 2300-0700 (taken as a 15 minute LA90 at the nearest sound sensitive premises). All measurements shall be made in accordance with the methodology of BS4142 (2014) (Methods for rating and assessing industrial and commercial sound) and/or its subsequent amendments.

Where access to the nearest sound sensitive property is not possible, measurements shall be undertaken at an appropriate location and corrected to establish the noise levels at the nearest sound sensitive property.

Any deviations from the LA90 time interval stipulated above shall be agreed in writing with the local planning authority.

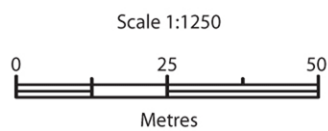


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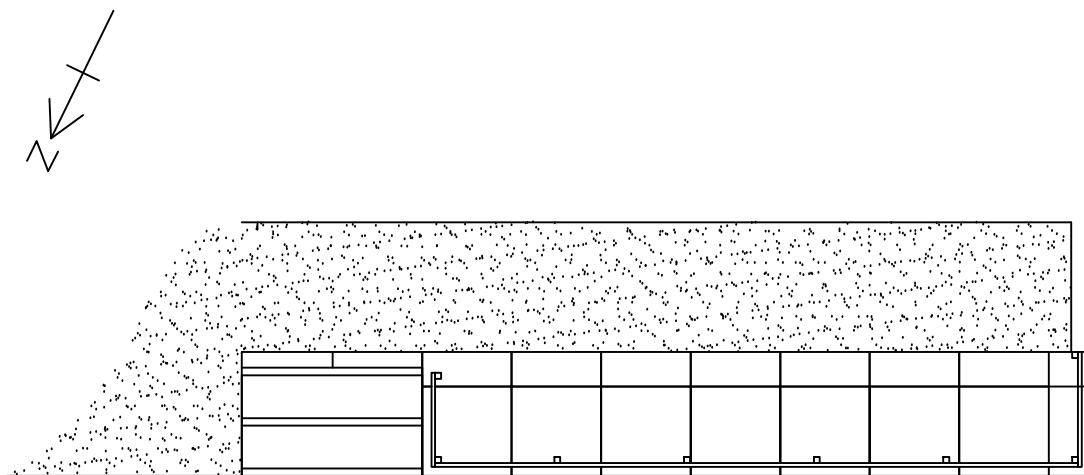
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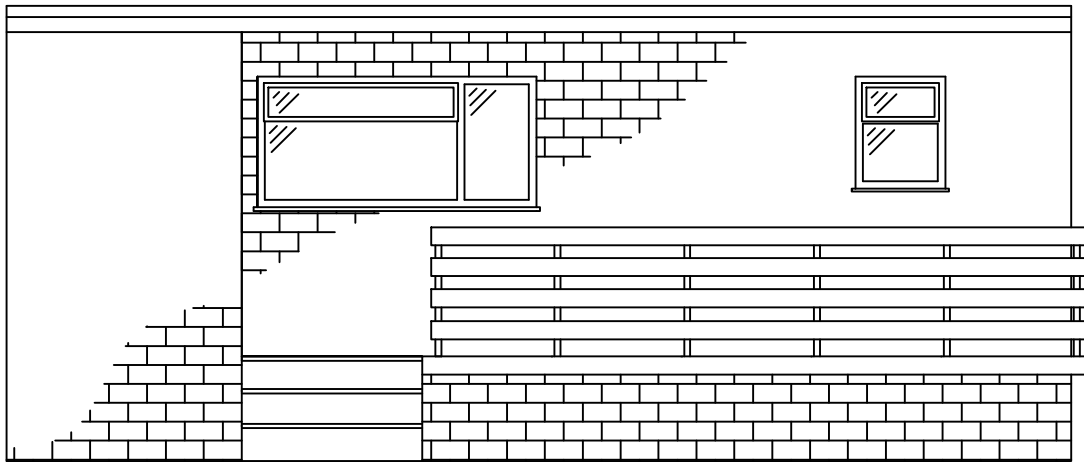
The representation of features as lines is no evidence of a property boundary.



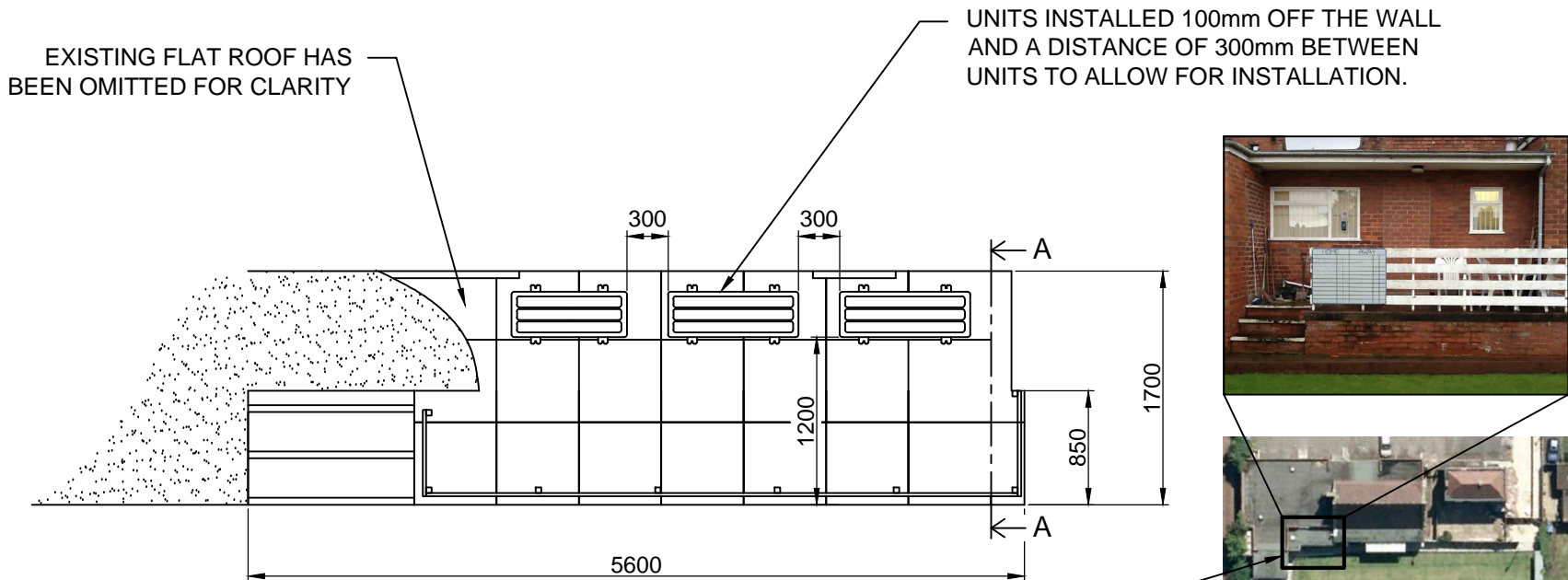
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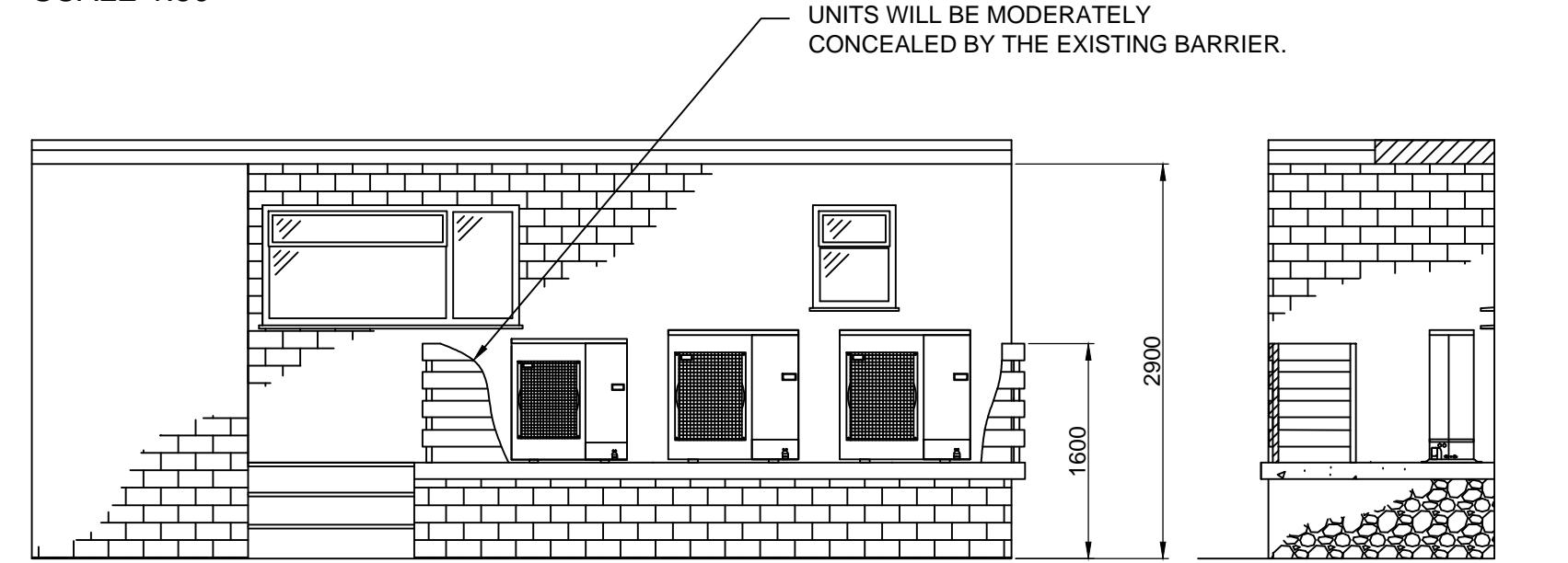
EXISTING PLAN VIEW
SCALE 1:50



EXISTING FRONT ELEVATION
SCALE 1:50



PROPOSED PLAN VIEW
SCALE 1:50



PROPOSED FRONT ELEVATION
SCALE 1:50

CUT A-A
SCALE 1:50

A3

DRAWING NO.
ADC/CON/AC/C/001

DATE 05 Mar 2015	DRAWN BY AD COOKSEY	CHECKED BY N PORTER	TITLE AIR CONDITIONING OUTDOOR UNIT INSTALLATION	ADDRESS KINGSWINFORM CONSERVATIVE CLUB, 24 OAK STREET, KINGSWINFORM, DY6 9LS	OWNER/CUSTODIAN MRS HELEN PORTER, CLUB SECRATARY
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- NOTES**
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ASSOCIATED DWGs.
 - 2 No. MITSUBISHI PUHZ-P100VHA4 & 1 No. SUZ-KA50VA-4 OUTDOOR UNITS TO BE INSTALLED.
 - UNITS TO BE FLOOR MOUNTED AND SECURED TO THE EXISTING BUILDING FABRIC.



PLANNING APPLICATION NUMBER:P15/0347

Type of approval sought	Full Planning Permission
Ward	Belle Vale
Applicant	Western Power Distribution
Location:	ELECTRICITY DISTRIBUTION STATION, EARLSWAY, HALESOWEN
Proposal	INSTALLATION OF A 30M HIGH WPD LATTICE TOWER WITH 2 NO. ANTENNAE AND 1 NO. SATELLITE DISH. NEW 1.8M PALISADE FENCING (RESUBMISSION OF REFUSED PLANNING APPLICATION P14/1480)
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

1. The application site measures 0.5 hectares and relates to an Electricity Distribution Station comprising of a three storey facing brick building, temporary modular buildings and general ancillary equipment within an open yard with transformers and palisade fencing around the perimeter. Vehicular access is gained via the heavily trafficked classified highway of Earls Way (A458). Earls Way is a two lane carriageway running in a single direction (east).
2. The site forms part of a wider Linear Open Space designation. The site is located at the edge of Halesowen Town Centre adjacent to the junction between the A458 and the classified highway of Dudley Road (A459). The character of the area is relatively mixed in an edge of centre location.
3. Positioned along the eastern periphery of the site are located commercial properties with residential properties interspersed and fronting Dudley Road. To the south of the application site and standing across the public highway of Earls Way but fronting the heavily trafficked classified highway of Whitehall Road, a two lane carriageway running in a single direction (west), is located a recently constructed mixed use development comprising of a 5 storey hotel (Travelodge), a drive-thru A5 hot food take away (KFC),

an A3 / A5 unit (Gregg's) and an A1 unit (Drinks Cart) with a car parking area to the west serving the development. Beyond this and further to the south-west are relatively large office blocks towards Halesowen Town Centre.

4. The site is bound to the west by a recently constructed supermarket (Aldi) and car park, whilst bounding the site to the north is the River Stour Valley, both a Site of Local Importance for Nature Conservation (SLINC) and a Site of Importance for Nature Conservation (SINC), containing a densely wooded cutting, some 10 metres deep at the rear of the site. The River Stour runs in a culvert under both Earls Way and Whitehall Road

PROPOSAL

5. The application seeks full planning permission for the erection of a 30 metre (m) high lattice tower with 2 no. antennae and 1 no. satellite dish. The scheme also proposes the erection of new 1.8 m high palisade fencing to 3 no sides which would attach to the existing western brick boundary wall to form a compound.
6. A Planning Statement accompanies the planning application to provide details relating to the installation. The applicants 'Western Power Distribution' have stated that the installation is required to support United Kingdom (UK) critical national electricity infrastructure.

HISTORY

7. Relevant History

APPLICATION NO.	PROPOSAL	DECISION	DATE
HB/63/542	Full planning permission for a sub-station	Approved	02/10/1963
HB/65/730	Full planning permission for a tubular aerial mounting tower	Approved	13/01/1966
81/52672	Full planning permission for the widening of the existing access	Approved with	11/03/1982

	and use of land for car parking purposes	Conditions	
P14/1480	Full planning permission for the installation of a 30 m high lattice tower with 2 no. antennae and 1 no. satellite dish. New 1.8m palisade fencing	Refused	11/12/2014

8. Planning history checks of the site show that the planning application submitted under planning reference P14/1304 was refused for the following reasons:

- *The proposed siting and design of the mast, including the proposed materials and overall scale, standing at some 30 metres in height would form a highly conspicuous and prominent feature within the locality, on the edge of Halesowen Town Centre. Whilst the economic and social benefit the structure may have is not disputed, no evidence or sound reasonable planning justification has been put forward, technical or otherwise to support both the siting and design of the mast. The scheme therefore fails to accord with Saved Policies DD1 (Urban Design) and DD4 (Development in Residential Areas) of the Dudley Unitary Development Plan, Policy ENV3 (Design Quality) of the Black Country Core Strategy and the National Planning Policy Framework.*

And

- *The scheme is silent on matters relating to potential public exposure the mast may, or may not cause. No justification has been put forward by the applicant to confirm why the application is silent on this matter, as typically detailed and pertained within a self certification certificate relating to cumulative exposures, when operational, that do not exceed International Commission on non-ionising radiation protection (ICNIRP) guidelines. The local planning authority cannot make a meaningful assessment on the application in this regard on health grounds and therefore the application is contrary to the guidance contained within the National Planning Policy Framework.*

PUBLIC CONSULTATION

9. The application was advertised by way of notification letters being sent to the occupiers of properties within a 200 metre radius of the site and by the display of a site notice. The final period for comments expires on the 29/04/2015.
10. At the time of writing this report no written representations have been received; however, if any representations are received then they shall be reported to the Development Control Committee as a pre-committee note.

OTHER CONSULTATION

11. Group Engineer Highways: No objection raised.
12. Head of Environmental Health and Trading Standards: No adverse comments.

RELEVANT PLANNING POLICY

13. National Planning Guidance (2012)
 - National Planning Policy Framework (NPPF)
 - Technical Guidance to the National Planning Policy Framework
14. Black Country Core Strategy (2011)
 - The Vision
 - Sustainability Principles
 - The Spatial Objectives
 - ENV1 Nature Conservation
 - ENV3 Design Quality
 - TRAN2 Managing Transport Impacts of New Development
 - DEL1 Infrastructure Provision
15. Saved Unitary Development Plan Policies (2005)
 - DD1 Urban Design
 - DD4 Development in Residential Areas
 - DD10 – Nature Conservation and Development

- NC1 - Biodiversity
- NC6 – Wildlife Species
- SO2 Linear Open Space

16. Supplementary Planning Guidance

- Parking Standards (2012)
- Halesowen Area Action Plan (2013)

ASSESSMENT

17. The main issues are

- Principle
- Siting and Design
- Nature Conservation
- Health and Safety Issues
- Highway Safety

Principle

18. Saved Policy SO2 (Linear Open Space) of the Dudley Unitary Development Plan applies as the site occupies a sensitive location being within an area of designated as Linear Open Space. The site also immediately borders both a SLINC and a SINC. It is however recognised that not all land within the Borough's linear open spaces is open, nor is it intended necessarily to be so; however, the Council will not permit development if it were to harm the intended function of the linear open space – namely to maintain the area's open character, link open spaces in urban areas to the open countryside, provide wildlife corridors, and to provide for recreation where open character is not harmed. It should be noted that Saved Policy SO2 states that: 'The design and layout of development within the linear open space will be required to complement and enhance the intended function'.
19. The application site is also located within Regeneration Corridor 14 – Combeswood - Halesowen, as defined by Appendix 2 of the Adopted Black Country Core Strategy. Within this corridor, the application site sits within an area to be strengthened through improved shopping and leisure facilities and services in and around Halesowen Town

Centre. The site also sits adjacent to, but outside of, the Halesowen Area Action Plan boundary.

20. The application site relates to an Electricity Distribution Station, a Sui Generis use, which distributes electricity supplies to residential properties, businesses and industrial users in the surrounding area. The proposed erection of the 30 m high lattice tower with 2 no. antennae and 1 no. satellite dish, along with the proposed erection of new 1.8 m high palisade fencing to create a compound would allow for the ongoing use of the site and would allow for the applicants 'Western Power Distribution' to support UK critical national electricity infrastructure.
21. The applicants state that the development is required purely to support the operational network and is essential for them to meet their obligations to provide a safe, reliable and efficient electricity supply across the Midlands. There is no commercial or financial benefit to be derived from this mast. When there is a fault in the network, the control system requires immediate connectivity to shut down the electricity supply lines for the protection of the grid substation from the risk of permanent damage or fire. If there is a fault, such as an electricity transformer failure or trip out, the consequences can be catastrophic.
22. The proposed scheme, as well as shutting down the electrical supply lines in fault conditions, to prevent such catastrophic failure, the protection system would also send signals back via the electronic communications' network to Western Power Distribution's control centre at Castle Donington. Any alarms generated at the control centre would then allow for remote switching of circuits to take place, where possible to keep customers supplied with electricity, and / or for an engineer to be dispatched to carry out any necessary repairs and restore electricity supplies, as appropriate.
22. Real time monitoring and remote control of the areas electricity supply network takes place constantly by Western Power Distribution's engineers from its control centre, to protect against such emergency situations arising so far as is possible, and to ensure when they do occur they are dealt with as quickly as possible. Where there is a loss of supply through a fault either at a grid substation or elsewhere in Western Power

Distribution's electricity supply network, strict Government and The Office of Gas and Electricity Markets (OfGem) targets have stipulated that distribution network operators commit to restoring supplies to 60% of customers within 60 minutes – this mast is essential if that is to be achieved. The mast would host vital equipment that forms part of a network of radio communications sending data back to Castle Donington.

23. The mast itself would support the applicant's protection systems. This would be achieved through a microwave link which is urgently required to provide Western Power Distribution's replacement safety protection system at this grid substation. This is to replace the existing underground British Telecom's copper circuits that currently provide communications between Halesowen Grid substation and Western Power Distribution's regional control centre at Castle Donington. The existing BT21CN communications network has now gone well beyond its design life and must be replaced, as British Telecom will no longer provide support for this copper network.
24. The application site is just one grid substation in a network covering the whole of the Midlands, where Western Power Distribution is replacing the existing British Telecom copper circuits with a mixture of fibre and microwave links, to provide its future grid substation protection communications network. As is demonstrated in the planning statement and supplementary information included with the planning application, the only feasible option at Halesowen Grid substation is line-of-sight microwave links to Kitwell Grid substation and to an Arqiva tower at Romsley, which require the installation of a 30m modular lattice tower, 1m transmission dish antennae and ancillary development at the application site.
25. It is considered that on balance, given the additional information now supporting this resubmitted planning application, the mast would be acceptable in these operational terms and would safeguard the ongoing use and functionality of the Electricity Distribution Station; however, and notwithstanding the above, the application sites location within the wider designated Saved Policy SO2 Linear Open Space needs to be considered:

- The linear open space in this vicinity is largely centred on the nearby River Stour, running roughly from east to west; and
 - Excepting the River Stour and its immediate bank sides, the functions of the Linear Open Space here are not constrained due to wider open land beyond either side of the River Stour and in spite of the large scale / footprint commercial buildings to the west and south of the site providing little in the way of green infrastructure between and around them.
26. On balance, therefore and in Linear Open Space terms, the mast can reasonably be supported as the linear strip would broadly remain unaffected with regard to the east-west connectivity within the wider Linear Open Space.

Siting and Design

27. The proposed ground based 30 m high lattice tower with ancillary equipment and the erection of new 1.8 m high palisade fencing to create a compound would be situated within the wider Electricity Distribution Station and whilst the palisade fencing would be deminimus and set back some 60 m from the Earls Way highway and would be screened from views from the wider street scene by the adjacent temporary modular building; the proposed 30 m high lattice tower would form a more prominent feature from not only the nearby street scenes but from wider views. This would be exacerbated given the sites prominent and relatively open position within a valley on the outskirts of Halesowen Town Centre; however, and notwithstanding this, the National Planning Policy Framework (NPPF) is of relevance.
28. Paragraph 42 of the National Planning Policy Framework (NPPF) recognises that ...‘advanced, high quality communications infrastructure is essential for sustainable economic growth. The development of high speed broadband technology and other communications networks also plays a vital role in enhancing the provision of local community facilities and services’...
29. During the consideration of the previously refused application, for an identical installation at the site, it was considered that the:

...‘proposed siting and design of the mast, including the proposed materials and overall scale, standing at some 30 m in height would form a highly conspicuous and prominent feature within the locality, on the edge of Halesowen Town Centre’...

30. Paragraph 43 of the NPPF recognises that local authorities should support the expansion of electronic communications networks, including telecommunications and high speed broadband. Paragraph 43 of the NPPF also identifies the need to ‘keep the number of radio and telecommunications masts and the sites for such installations to a minimum consistent with the efficient operation of the network. Existing masts, buildings and other structures should be used, unless the need for a new site has been justified’.

31. During the consideration of the previously refused application it was also considered that:

...‘The economic and social benefit the structure may have is not disputed, no evidence or sound reasonable planning justification has been put forward, technical or otherwise to support both the siting and design of the mast. The scheme therefore fails to accord with Saved Policies DD1 (Urban Design) and DD4 (Development in Residential Areas) of the Dudley Unitary Development Plan, Policy ENV3 (Design Quality) of the Black Country Core Strategy and the National Planning Policy Framework’.

32. The Local Planning Authority now recognises, through the submission of the detailed planning statement and supplementary planning information accompanying the planning application, that the proposed installation, whilst prominent, is integral to maintaining the ongoing function of the Electricity Distribution Station, which in turn would potentially provide and support sustainable economic growth and enhance the provision of local community facilities and services.
33. Sound reasonable technical evidence and planning justification has been put forward within the submitted planning application, which justifies the creation of the new lattice tower and why other existing installations, within the vicinity but away

from the site are not appropriate. This technical justification outweighs the potential visual harm the installation may cause within the locality and as to why the structure has to stand at 30 m in height and at this position. Therefore, whilst the siting and design of the installation is prominent, the technical justification, as outlined within the supporting evidence and as recognised within the guidance contained within the NPPF is supported. The proposed installation would therefore accord with the aspirations of Paragraphs 42 and 43 of the NPPF.

Nature Conservation

34. The proposed development would be located on previously developed land and adjacent to the nearby River Stour Valley bounding the site to the north which forms both a SLINC and a SINC. The proposed development is considered to have no impact upon these designations and the proposal would therefore be in accordance with Policy ENV1 (Nature Conservation) of the Black Country Core Strategy and Saved Policy DD10 (Nature Conservation and Development), NC1 (Biodiversity) and NC6 (Wildlife Species) of the Dudley Unitary Development Plan.

Health and Safety Issues

35. Health is a material consideration when considering applications for development. Paragraph 45 of the NPPF states that local planning authorities should not reconsider health matters where the applicants have self certified that the base station conforms to the International Commission on Non-Ionising Radiation (ICNIRP) guidelines.
36. During the consideration of the previously refused application, no information was submitted in this regard and nor was it clear whether indeed this information should have accompanied the application in the first instance. It was therefore difficult to make a meaningful assessment on the refused planning application on health grounds for public exposure and therefore the application was refused citing:

...‘The scheme is silent on matters relating to potential public exposure the mast may, or may not cause. No justification has been put forward by the applicant to confirm why the application is silent on this matter, as typically detailed and pertained within a

self certification certificate relating to cumulative exposures, when operational, that do not exceed International Commission on non-ionising radiation protection (ICNIRP) guidelines. The local planning authority cannot make a meaningful assessment on the application in this regard on health grounds and therefore the application is contrary to the guidance contained within the National Planning Policy Framework'...

38. The applicant has submitted an ICNIRP declaration to accompany this planning application which states

...' The transmission between microwave dishes will be linear, non-radiating signals: from point-to-point, one dish to another, and at very low power levels. These low power microwave signals do not fall under the scope of ICNIRP, which covers non-ionizing radiation that is emitted by the RF antennas that mobile phone operators install on their base stations and which emit EMF beams to provide RF coverage to the surrounding area. The only exclusion zone for microwave dishes is directly in front of them, and as such they are always installed so no access can be gained to the dish antennas , due to the interruption in service that would result if that were possible. At the application site the microwave dish will be in the high security grid substation compound to which the public has no access and mounted at 33.5m above ground level (to the centre line of the dish antenna) on the lattice tower'...

39. It is therefore considered that the scheme accords with Paragraph 45 of the NPPF and in this regard the local planning authority should not therefore reconsider health matters, as the applicant has self certified that the base station conforms to the International Commission on Non-Ionising Radiation (ICNIRP) guidelines.

Highway Safety

40. Vehicular access to the site would be retained via the existing access at the frontage of the site whilst ample off street parking provision would also be retained upon the frontage of the site. The proposed installation would not cause any highway safety concerns as no additional burden on the existing highway infrastructure through on

street parking or servicing would occur. The scheme would accord with Policy TRAN2 (Managing Transport Impacts of New Development) of the Black Country Core Strategy and the Parking Standards Supplementary Planning Document.

CONCLUSION

41. The application is supported by technical evidence with sound reasonable planning justification, which substantiates the creation of the new lattice tower and why other existing installations, within the vicinity but away from the site are not appropriate. This technical justification for the creation of a new installation within the vicinity outweighs the potential visual harm the installation may cause within the locality. Whilst the siting and design of the installation is perceived to be prominent, the technical justification, as outlined within the supporting evidence and as recognised within the guidance contained within the NPPF supports the creation of a new installation in this instance. In addition to this, the planning application raises no concerns with regards to health matters and it is therefore considered that the proposed development accords with the relevant planning policy and the associated guidance.

RECOMMENDATION

42. It is recommended that the application be Delegated to the Strategic Director of Environment, Economy and Housing for approval with conditions and subject to no new additional objections being received.

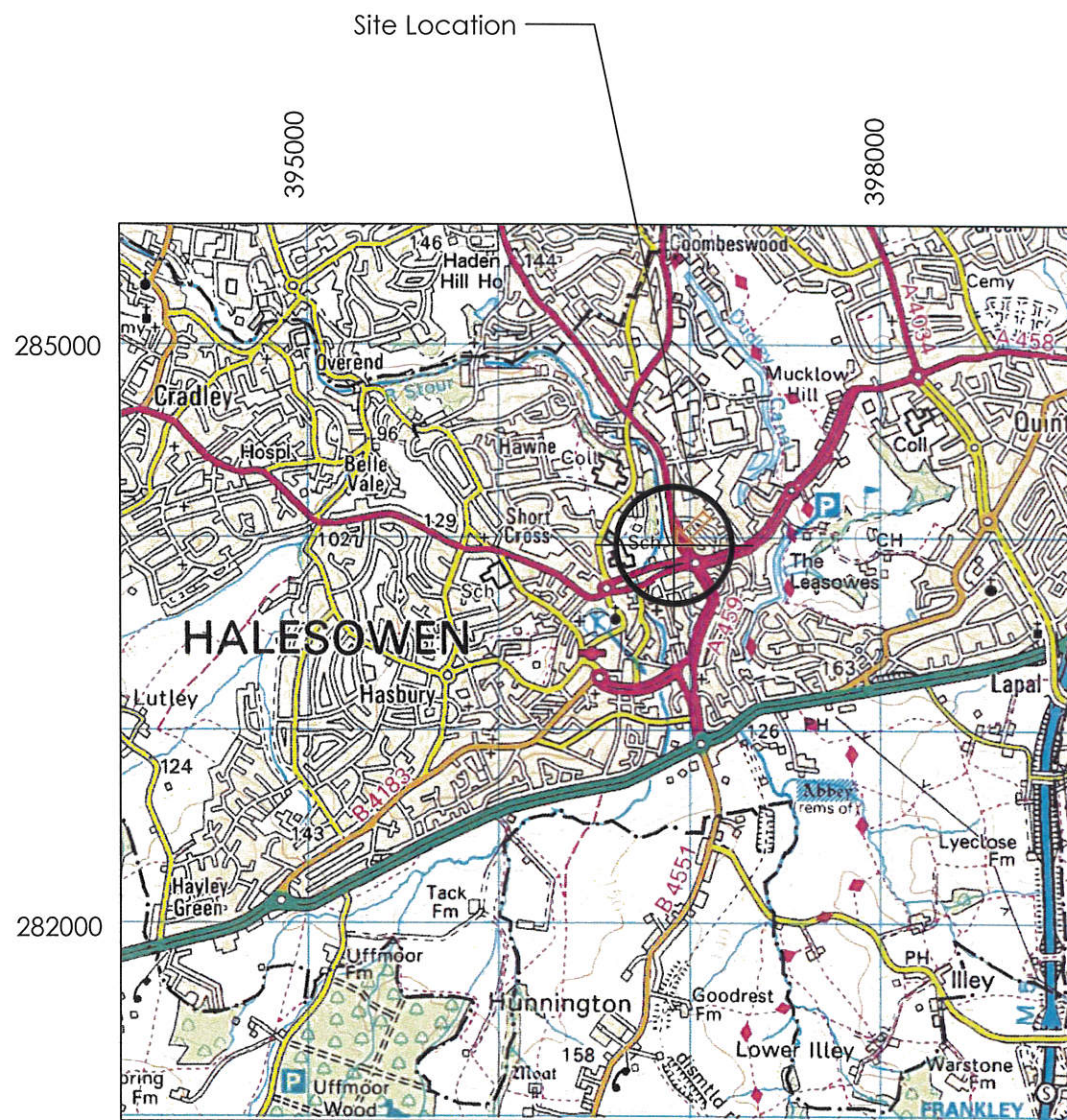
Approval Statement

In dealing with this application the Local Planning Authority have worked with the applicant in a positive and proactive manner, seeking solutions to problems arising in relation to dealing with the application, by seeking to help the applicant resolve technical detail issues where required and maintaining the delivery of sustainable development. The development would improve the economic, social and

environmental concerns of the area and thereby being in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

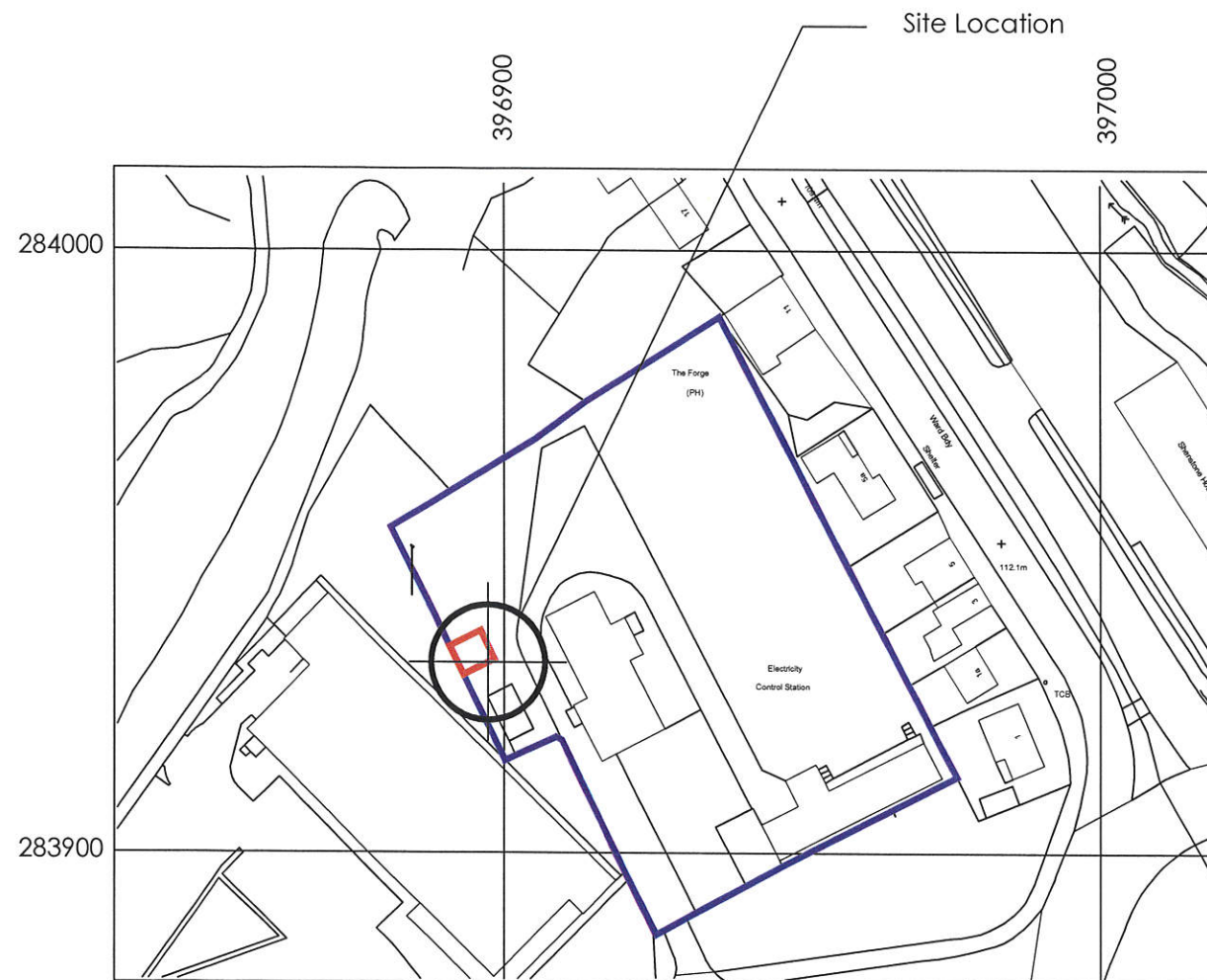
Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: 'HAL/001A', 'HAL/002A' and 'HAL003A'.



SITE LOCATION
SCALE 1:50 000

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SITE PLAN

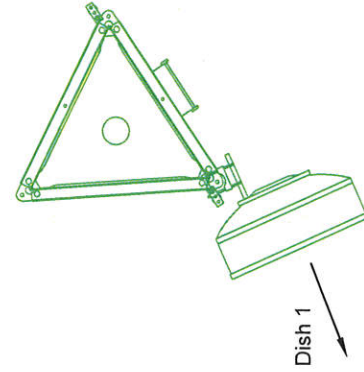
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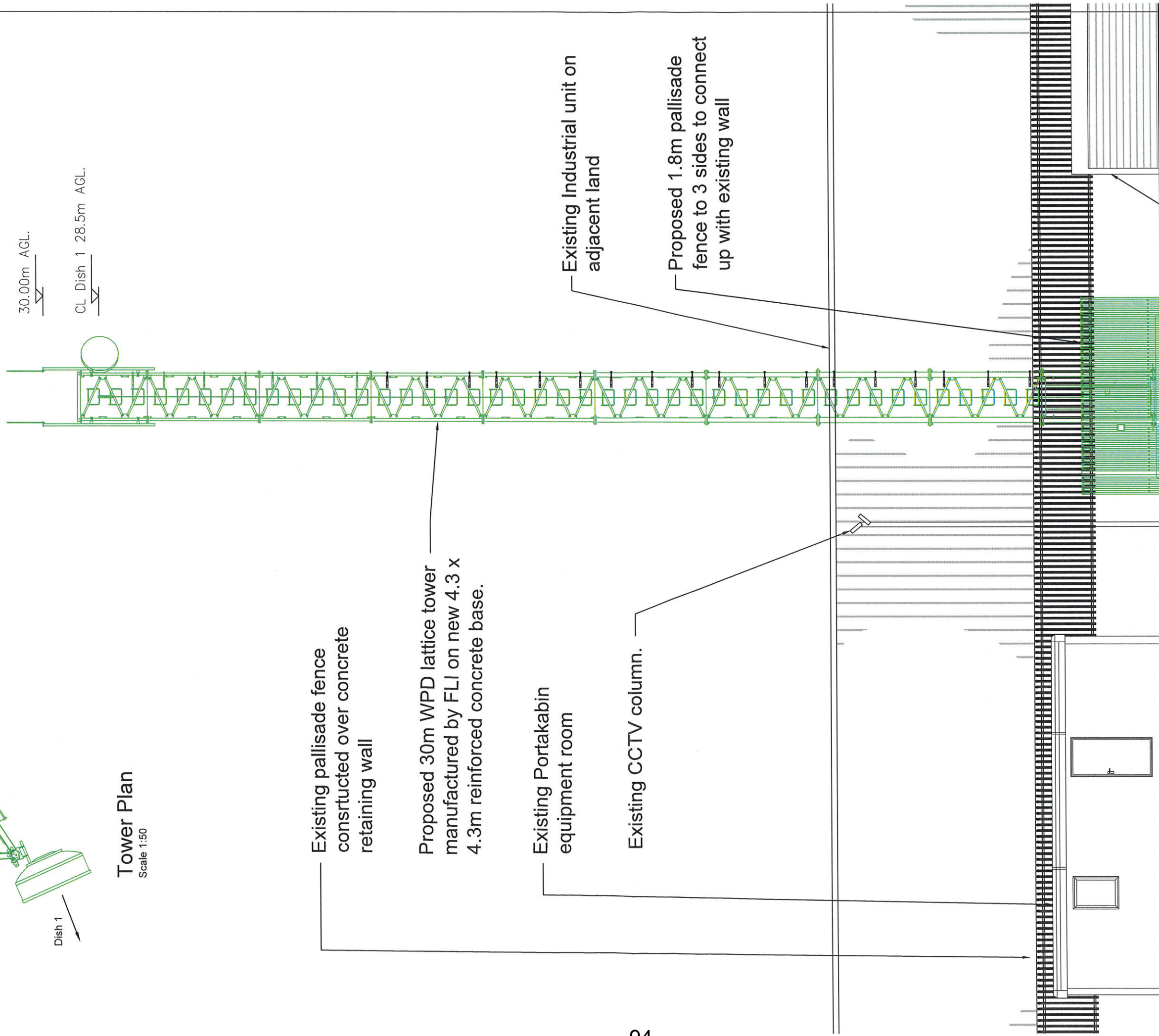
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A	12/08/14	First Issue		SMP	SMP
REV.	DATE	DESCRIPTION		CHK	APP
WESTERN POWER DISTRIBUTION					
SEVENTY-TWO					
94 Station Road, Soham, Cambs. CB7 5DZ. email: info@72-2.co.uk phone: 07889400419					
Site: HALESOWEN OFF A458 & DUDLEY ROAD HALESOWEN, WEST MIDLANDS B63 3LS					
Title: SITE LOCATION					
Purpose of Issue: PLANNING					
Drawing no. HAL/001					
Issue:	Scale:	AS SHOWN		Checked:	SMP
A	Dr:	SMP	Date: 12/08/14	Approv:	JG
Consultant ref no:		Date: 12/08/14			

Dish No	Size Ø	Height (AGL)	Far end site	Bearing
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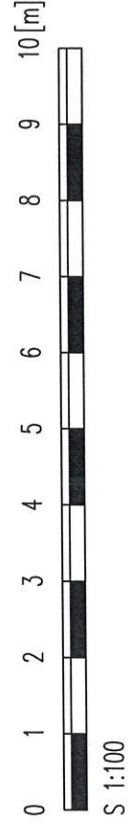


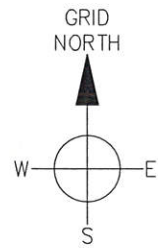
Tower Plan
Scale 1:50



South West Elevation
Scale 1:100

REV.	DATE	DESCRIPTION	CHK	APP
A	12/08/14	First Issue	SMP	SMP
WESTERN POWER DISTRIBUTION SEVENTY-TWO 94 Station Road, Soham, Cambs. CB7 5DZ. email: info@70-2.co.uk phone: 07889400419				
Site: HALESOWEN OFF A458 & DUDLEY ROAD HALESOWEN, WEST MIDLANDS B63 3LS				
Title: SOUTH WEST ELEVATION				
Purpose of Issue: PLANNING				
Drawing no. HAL/003				
Issue:	Scale:	AS SHOWN	Checked:	SMP
Dir:	SMP	Date: 12/08/14	Approved:	JC
Consultant ref no:				





Existing prefab concrete storage garages

Stone Service Yard

Proposed 1.8m pallisade fence to 3 sides to connect up with existing wall

Existing pallisade fence constructed over concrete retaining wall

Proposed 30m WPD lattice tower manufactured by FLI on new 4.3 x 4.3m reinforced concrete base.

Proposed duct from tower to chamber

Existing CCTV column.

Proposed fibre access chamber

Proposed fibre duct into existing building

Existing Portakabin equipment room

Tarmac Access Road

Existing pallisade fence constructed over masonry retaining wall

0 1 2 3 4 5 6 7 8 9 10 [m]

S 1:100

95

A	12/08/14	First Issue		SMP	SMP
REV.	DATE	DESCRIPTION		CHK	APP
WESTERN POWER DISTRIBUTION					
SEVENTY-TWO					
94 Station Road, Soham, Cambs. CB7 5DZ. email: info@70-2.co.uk phone: 07889400419					
Site: HALESOWEN OFF A458 & DUDLEY ROAD HALESOWEN, WEST MIDLANDS B63 3LS					
Title: SITE PLAN					
Purpose of Issue: PLANNING					
Drawing no. HAL/002					
Issue: A	Scale: AS SHOWN	Checked: SMP	Date: 12/08/14	Approved: JG	Date: 12/08/14
Consultant ref no:					

ORIGINAL SIZE - A2

PLANNING APPLICATION NUMBER: P15/0398

Type of approval sought	Tree Preservation Order
Ward	St Thomas's
Applicant	Mr & Mrs M. Poulton
Location:	1, MILES GROVE, DUDLEY, DY2 7TT
Proposal	PART A: FELL 1 SYCAMORE TREE (T1): PART B: FELL 2 SYCAMORE TREES (T2 & T3)
Recommendation Summary:	PART APPROVE & PART REFUSE (SPLIT DEC'N)

SITE AND SURROUNDINGS

1. The trees subject to this application are three mature sycamore trees that are located within the cartilage of 1 Miles Grove. There are two trees in the front garden and one in the rear garden.
2. The trees are all visible from the adjacent Oakham Road, and are all considered to provide a significant amount of amenity to the surrounding area.
3. The trees are protected as Tree 1, Tree 2 and Tree 4 of TPO 124 that was served in 1982, prior to the development of the houses in Miles Grove.

PROPOSAL

4. Summary of proposals for the works as written on application form is as follows:
 - Part A: Fell 1 Sycamore tree (T1):
 - Part B: Fell 2 Sycamore Trees (T2 & T3)
5. The trees have been marked on the attached plan.

HISTORY

6. There have been two previous Tree Preservation Order applications submitted on this site.

Application no.	Proposal	Decision	Date
84/51919	Remove 3 branches from Sycamore	Approved with conditions	15/11/84
P03/2108	Fell 1 Sycamore and prune 2 sycamore trees	Approved with conditions	02/02/04

PUBLIC CONSULTATION

7. No public representations have been received

ASSESSMENT

Tree(s) Appraisal

<i>Tree Structure</i>	Tree 1	Tree 2	Tree 3
Species	Sycamore	Sycamore	Sycamore
Height (m)	16	15	16
Spread (m)	14	9	12
DBH (mm)	700	500	600
Canopy Architecture	Good	Good	Good
Overall Form	Good / Moderate	Good / Moderate	Good
Age Class <i>Yng / EM / M / OM / V</i>	Mature	Mature	Mature

Structural Assessment

Trunk / Root Collar	Good		Good		Good	
Scaffold Limbs	Good		Good		Good	
Secondary Branches	Good		Good		Good	
% Deadwood	3%		3%		3%	
Root Defects	None Evident		None Evident		None Evident	
Root Disturbance	None Evident		None Evident		None Evident	
Other						
Failure Foreseeable <i>Imm / Likely / Possible</i>	Whole No	Part No	Whole No	Part No	Whole No	Part No

/ No						
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Vigour Assessment

Vascular Defects	None Evident	None Evident	None Evident
Foliage Defects	None Evident	None Evident	None Evident
Leaf Size	Not In Leaf	Not In Leaf	Not In Leaf
Foliage Density	Not In Leaf	Not In Leaf	Not In Leaf
Other			

Overall Assessment

Structure	Good	Good	Good
Vigour	Good	Good	Good
Overall Health	Good	Good	Good

Other Issues

Light Obstruction	Some	No	Yes
Physical Damage	Cracking to adjacent retaining wall	Historic infiltration of drains – no evidence submitted of any current problems	None evident
Surface Disruption	Significant root traces in driveway	None Evident	None Evident
Debris	Yes	Yes	Yes

Amenity Assessment

Visible	Yes	Yes	Yes
Prominence	High	High	High
Part of Wider Feature?	Yes	Yes	Yes
Characteristic of Area	Yes	Yes	Yes
Amenity Value	High	Moderate / High	High

Further Assessment

- The applicant has proposed to fell the trees as they consider them to be too large for the size of the property; the trees produce prolific amounts of seed and other seasonal debris which requires regular clearing to prevent problems with guttering etc; the trees are in potential influencing distance of the house; tree roots have blocked drain pipes on two occasions in the past; The roots have damaged the adjacent driveway, and still have the potential to get bigger.

9. On inspection the trees were found to be in a good condition with no major defects present. It is not considered that there are any grounds to fell the trees due to their condition.
10. Whilst it is accepted that the trees are relatively large in relation to the property, the relationship between the trees and the property is not dissimilar to a number of other properties in the area. It is not considered that their size and proximity is sufficiently excessive to prevent the reasonable enjoyment of the property, as such it is not considered that the trees should be felled on the grounds of their size in relation to the property.
11. The trees do still have some more growth potential, and may get larger, however it is considered that they have already attained a substantial majority of their eventual size, and as such the impacts on the property are unlikely to significantly increase. As such the felling of the tree should not be granted on these grounds.
12. Given the size and age of the trees, it is accepted that they will produce substantial amounts of seasonal debris, including seeds that will require clearing at various periods during the year. It is also accepted that when the seeds are deposited from the trees some may germinate. However the clearance of seasonal debris, including that which falls in to the guttering of properties is considered to form part of reasonable property maintenance, and is certainly not considered sufficient grounds to fell high value trees. This view point is regularly confirmed at appeal, where the Planning Inspectorate take the same view.
13. Where the applicant's refer to the trees being in potential influencing distance of the house it is taken that this is a reference to potential damage to the foundations. Whilst the trees are within the known range of recorded damage incidents for sycamore, this in itself does not suggest that the trees are likely to cause damage to the foundations, as tree related subsidence is dependent on a number of factors. Given the inherent unpredictability of tree related subsidence it is not considered that the felling of high amenity value trees can be justified on the grounds of proximity to the property alone.
14. Given the path of the drainage pipes, and the location of Tree 2, it is considered that the roots that were found within the drain would have come from this tree. Roots are unable to break into drains, but can exploit relatively small cracks. This is common with older terracotta section drains, as they are liable to frost damage and their cement joints are liable to fail as a result of natural ground movement.

15. The lining of the drains that was previously undertaken usually prevents any recurrence of root ingress as there are no joints or cracks to be exploited. Given that no evidence has been submitted of any further root ingress it is not considered that the trees should be felled on these grounds.
16. It is accepted that Tree 1 has caused damage to the driveway, as can be seen by the various root traces that are located within the driveway. It was also noted that Tree 1 has damaged the boundary retaining wall. No damage was observed in close proximity to Tree 2.
17. Tarmac is particularly unforgiving of tree root damage, due to its relatively brittle nature. As such root action only becomes evident when damage occurs. Other surfaces such as block paving are more forgiving, as whilst they will not prevent the occurrence of damage they do, at least, normally offer an opportunity for repair and the re-laying of the driveway.
18. The damage caused by Tree 1 is considered to be the result of the access driveway that was created when the property was built being cut into the bank on which the tree stands. As such this brought the driveway into the existing root horizon and made root damage to the driveway much more likely. Whilst the installation of a more appropriate surface would help the situation, given the surfaces proximity to the roots of the tree damage is always going to be likely.
19. Given that the level of the driveway adjacent to tree 2 appears to be closer to the level of the natural ground level, it is considered that damage to this section of driveway is less likely.
20. Overall it is considered that whilst damage to the driveway caused by Tree 1 will always be likely, it is considered that with appropriate surfacing Tree 2 could be retained. Combined the damage to the drive by Tree 1 with the damage to the front retaining wall and it is considered that the felling of Tree 1 could be justified.
21. Having considered the grounds of the application it is not considered that a sufficient case has been made for the felling of Trees 2 or 3, but that due to the damage to the drive and the boundary wall, there is sufficient justification for fell Tree 1.
22. The removal of Tree 1 will have a detrimental impact on the amenity of the area, as this is the most prominent and valuable of the three trees. However it is considered that the impact on the public amenity is justified by virtue of the ongoing damage to the drive and retaining wall.

23. A replacement tree would normally be required in order to mitigate the impacts of the removal of a high value trees, in this case the applicants have specifically requested that no replacement trees are required due to the number of other trees in the garden.
24. However it is considered that a replacement tree should be required in the front to at least go some way to mitigating the impact on the amenity of the area. The replacement tree should be a smaller, more ornamental tree, that whilst will not grow as big as a sycamore will still provide some amenity to the area.
25. Overall it is considered that the proposed felling of Tree 1 is acceptable, but that the proposed works to Trees 2 & 3 have not been justified. As such it is recommended that the application is part approved and part refused.

CONCLUSION

26. It is considered that the proposed felling of Tree 1 has be justified by virtue of the ongoing damage that the tree is causing to the wall and the driveway, and the difficulties in an adequate and appropriate repair. The felling of Tree 1 will have a detrimental impact on the amenity of the area, and as such it is recommended that a replacement tree is required, albeit a smaller ornament species.
27. It is not considered that a sufficient case has been made to justify the further impact on the amenity of the area that would result from the felling of Trees 2 & 3.
28. As such it is recommended that that application be part approved (Tree 1) and part refused (Tree 2 & 3)

RECOMMENDATION

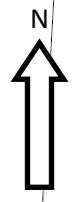
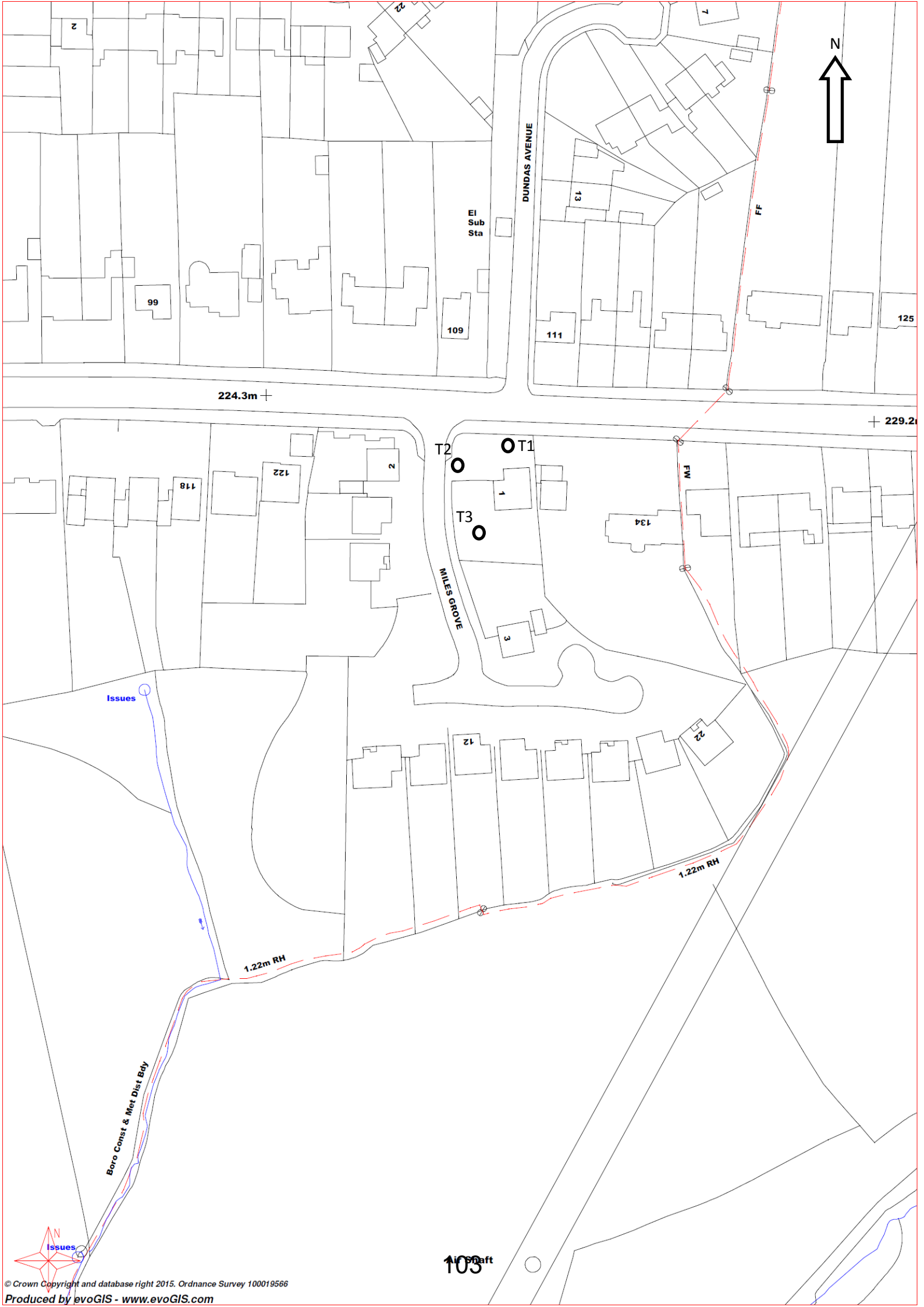
29. It is recommended that PART A of the application be refused and that PART B of the application is approved subject to the stated conditions.

Reason For Approval

30. The works recommended for approval are considered to be justified by virtue of the damage that the tree is causing to the driveway and the adjacent retaining wall. It is not considered that there is a proportionate and sustainable solution that would sufficiently repair the damage without caused unacceptable damage to the tree.

Conditions and/or reasons:

1. Notwithstanding any of the details on the submitted application forms, the works hereby approved are as follows:-
Schedule:
T1 - Sycamore (on boundary between front garden and Oakham Road) - Fell.
2. The tree works subject of this consent shall be carried out in accordance with British Standard BS 3998:2010 'Recommendations for Tree Work'.
3. A replacement Ornamental Hawthorn (*Crataegus laevigata* "Pauls Scarlet") tree shall be planted between the beginning of November and the end of March, within 1 year of felling (and replanted if necessary) and maintained until satisfactorily established. The replacement tree shall be located within the grassed area bordering onto Oakham Road. The size of the tree at planting shall be no less than 1.8 - 2.5 metres tall and the trees are to be prepared in the nursery as a 'Standard'. There shall be no alteration or deviation from the above specification without prior written approval from the Local Planning Authority. The 2 Sycamore trees (T2 on the boundary of the front garden and Miles Grove and T3 in the rear garden) are considered to provide a moderate to high and a high amount of amenity to the surrounding area and users of Oakham Road. It is not considered that the proposed felling of the trees has been sufficiently justified, and as such the detrimental impact that would result from the proposed works has not been justified.



DUNDAS AVENUE

EI Sub Sta

T2

T1

T3

MILES GROVE

Boro Const & Met Dist Bdy

224.3m

229.2m

1.22m RH

1.22m RH

103

