

## **Meeting of the Development Control Committee**

**Monday 13th September 2021 at 6.00pm**  
**In the Council Chamber at the Council House, Priory Road,**  
**Dudley**

### **Agenda - Public Session**

**(Meeting open to the public and press)**

1. Chair's Announcement.

Let me first inform you that this is a Committee Meeting of the Council, members of the public are here to observe the proceedings and should not make contributions to the decision-making process.

Applications are taken in numerical order with any site visit reports first, followed by applications with public speaking, then the remainder of the agenda. Officers have explained the public speaking procedures with all those present who are addressing the committee. Will speakers please make sure that they do not over-run their 3 minutes.

There will be no questioning by Members of objectors, applicants or agents, who will not be able to speak again.

All those attending this Committee should be aware that additional papers known as the "Pre-Committee Notes" are available to view on the Council's Committee Management Information System (CMIS). These contain amendments, additional representations received, etc, and should be read in conjunction with the main agenda to which they relate. They are fully taken into account before decisions are made.

2. Apologies for absence.

3. To report the appointment of any substitute members serving for this meeting of the Committee.

4. To receive any declarations of interest under the Members' Code of Conduct.



5. To confirm and sign the minutes of the meeting held on 18th August 2021 as a correct record.
6. Site Visit
  - (a) Planning Application No. P21/0178 – 11 Hagley Road, Stourbridge - Change of use from Hair Salon (E) to Hot Food Takeaway (sui generis) with alterations to elevations to include extract flue & fresh air intake grills and new shop front and door – Pages 1 – 21
7. Plans and Applications to Develop
  - (a) Planning Application No. P21/0177 – 15 Sandy Road, Stourbridge – Two storey front, side and rear extensions with Juliet balconies to the rear, single storey side and rear extensions, front porch, modifications to the roof to increase the height and create new front and rear dormer windows, and rendering to the sides and rear of the dwelling, cladding to part of the rear extension (following demolition of existing garage and WC) Pages 22 – 34
  - (b) Planning Application No. P21/0533 – 1 Lodge Close, Halesowen – Two storey side extension (following demolition of existing snug and utility) – Pages 35 – 46
  - (c) Planning Application No. P21/1035 – 86 Lawnswood Road, Wordsley, Stourbridge – Change of Use from washeteria to hot food takeaway (Sui Generis) with new shop front and extraction system (Resubmission of refused application P21/0492) – Pages 47 – 62
  - (d) Planning Application No. P21/1063 – Land at the junction of Steppingstone Street and Greystone Passage, Dudley – Erection of 1 no. dwelling with associated works – Pages – 63 – 78
  - (e) Planning Application No. P21/1104 – 36 Sandy Road, Norton, Stourbridge – Single storey side and rear extensions (following demolition of existing garage), two storey rear extension and loft conversion with side dormer to form habitable use and elevational changes to include new juliet balcony to rear and loft – Pages 79 – 94
  - (f) Planning Application No. P21/1326 – Hilton Lodge, High Park Crescent, Sedgley, Dudley - Change of use from residential dwelling (C3) to residential care home for children (C2) with a first floor extension and some external alterations – Pages 95 – 107

- (g) Planning Application No. P21/1396 – Fairfield Road, Hurst Green, Halesowen - Telecommunications development comprising of the installation of one 15m Phase 8 Monopole C/W wrapround Cabinet at base and associated ancillary works – Pages 108 – 123
- (h) Planning Application No. P21/1486 – 36 St Marks Road, Dudley – Single storey rear extension – Pages 124 – 131
8. Adoption of the Revised Dudley Borough Local List – Pages 132 – 178
9. To consider any questions from Members to the Chair where two clear days' notice has been given to the Monitoring Officer (Council Procedure Rule 11.8).



**Chief Executive**

**Dated: 3rd September, 2021**

**Distribution:**

Councillor A Goddard (Chair)

Councillor D Harley (Vice-Chair)

Councillors D Corfield, M Hanif, S Mughal, C Neale, W Sullivan, E Taylor and M Westwood.

## **Please note the following concerning meetings at Dudley Council House:**

### **Covid-19 Secure Working**

#### **Hands**

- Hand sanitiser and antibacterial wipes are available at various convenient locations. Please ensure you sanitise your hands when arriving and leaving the building. Hand washing facilities are also available on site.

#### **Face**

- All persons entering or working in the Council House must wear face masks when moving around the building. Please remember to bring and use your own face masks. Face masks may be safely removed when you are seated in the meeting.

#### **Space**

- Seating in the meeting rooms is arranged to allow for safe distancing. You must only use the designated seating. Remember to maintain safe distancing at all times during your visit.
- Seating in the public gallery is currently restricted and will be allocated on a 'first come' basis.
- All persons must observe the signage in place throughout the Council House to ensure safety.

#### **If you are unwell**

- Do not attend the Council House if you feel unwell; if you have tested positive for Covid-19; if you are self-isolating or if you suspect that you are symptomatic.
- You are advised to undertake a lateral flow test 48 hours before attending. If the test is positive, do not attend the meeting.
- 

#### **Toilets**

- Toilet facilities are available on site and are subject to the Covid-19 secure measures that are in place. The toilets have hand washing facilities.

#### **No smoking**

- There is no smoking on the Council House premises in line with national legislation. It is an offence to smoke in or on the premises. You cannot use e-cigarettes and/or similar vaping devices.

*Continued...*



## **In Case of Emergency**

- In the event of the alarms sounding, please leave the building by the nearest exit. There are Officers who will assist you in the event of this happening, please follow their instructions.

## **Submitting Apologies for Absence**

- Elected Members can submit apologies by contacting Democratic Services (see our contact details below). Members wishing to appoint a substitute should notify Democratic Services as soon as possible in advance of the meeting. Any substitute Members must be eligible to serve on the meeting in question (for example, he/she must have received the training required by the Council).

## **Private and Confidential Information**

- Any agendas containing reports with 'exempt' information should be treated as private and confidential. It is your responsibility to ensure that information containing private and personal data is kept safe and secure at all times. Confidential papers should be handed to Democratic Services for secure disposal. If you choose to retain the documents you should ensure that the information is securely stored and destroyed within six months.

## **General**

- Public Wi-Fi is available in the Council House.
- The use of mobile devices or electronic facilities is permitted for the purposes of recording/reporting during the public session of the meeting. The use of any such devices must not disrupt the meeting – Please turn off any ringtones or set your devices to silent.
- Information about the Council and our meetings can be viewed on the website [www.dudley.gov.uk](http://www.dudley.gov.uk)

## **If you need advice or assistance**

- If you (or anyone you know) requires assistance to access the venue, or if you have any other queries, please contact Democratic Services - Telephone 01384 815238 or E-mail [Democratic.Services@dudley.gov.uk](mailto:Democratic.Services@dudley.gov.uk)



**Minutes of the Development Control Committee  
Wednesday 18th August 2021 at 6.00 pm  
In the Council Chamber, Council House, Dudley**

**Present:**

Councillor D Harley (Vice-Chair in the Chair)  
Councillors K Ahmed, J Clinton, D Corfield, S Mughal, D Stanley, W Sullivan, E Taylor and M Westwood.

**Officers:** -

J Hindley - Project Engineer, S Hollands – Senior Planning Officer, C Mellor – Planning Manager, P Mountford – Head of Planning and Regeneration, P Reed - Principal Planning Officer, R Showell – Contaminated Land Manager (Directorate of Regeneration and Enterprise), I Grove – Principal Environmental Health Officer (Directorate of Public Health and Wellbeing), G Breakwell – Solicitor and K Griffiths – Democratic Services Officer (Directorate of Finance and Legal).

**Also in Attendance:** -

P Martin – Inward Investment and Business Support Officer - Observing

30 members of the public

---

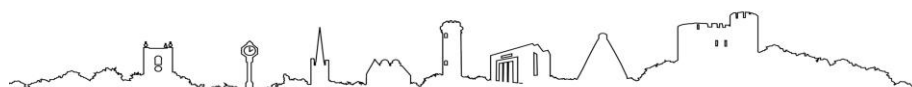
15. **Apologies for Absence**

Apologies for absence from the meeting were submitted on behalf of Councillors A Goddard, M Hanif and C Neale.

---

16. **Appointment of Substitute Members**

It was reported that Councillors D Stanley, K Ahmed and J Clinton had been appointed as substitute Members for Councillors A Goddard, M Hanif and C Neale respectively, for this meeting of the Committee only.



---

17. **Declarations of Interest**

No Member made a declaration of interest in accordance with the Members' Code of Conduct in respect of any matter to be considered at this meeting.

---

18. **Minutes**

**Resolved**

That the minutes of the meeting held on 14<sup>th</sup> July 2021 be approved as a correct record and signed.

---

19. **Change in Order of Business**

Pursuant to Council Procedure Rule 13(c) it was: -

**Resolved**

That the order of business be varied and the agenda items be considered in the order set out in the minutes below.

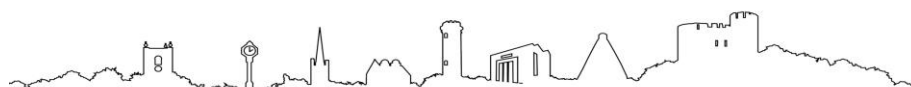
---

20. **Plans and Applications to Develop**

A report of the Director of Regeneration and Enterprise was submitted on the following plans and applications to develop. Where appropriate, details of the plans and applications were displayed by electronic means at the meeting. In addition to the reports submitted, notes known as Pre-Committee notes had also been circulated updating certain information given in the reports submitted. The content of the notes were taken into account in respect of the applications to which they referred.

The following persons were in attendance at the meeting, and spoke on the planning applications as indicated: -

<b><u>Application No.</u></b>	<b><u>Objectors/Supporters who wished to speak</u></b>	<b><u>Agent/Applicant who wished to speak</u></b>
P20/1306	Councillor A Aston (Objector) Mrs M Holden (Objector)	Ms R Bolger (On behalf of the Applicant)
P21/0178	Mr A Knight (Objector)	Mr M Walton (On behalf of the Applicant)
P21/1010	Councillor P Harley (Supporter)	Mr J Jowitt (On behalf of the Applicant)



(a) **Planning Application No. P20/1306 – Land at Bourne Street and Cedar Avenue, Coseley – Erection of 72 dwellings with associated open space, infrastructure and associated works**

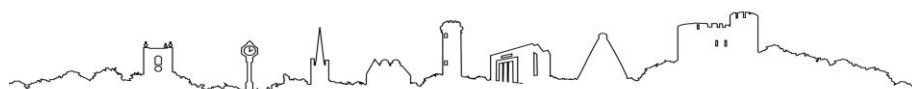
**Resolved**

That the application be approved subject to conditions numbered 1, 4 to 9 (Inclusive), 11 to 25 (inclusive), 27 to 32 (inclusive), 34, 36, 38 to 40 (inclusive), as set out in the report submitted, amended conditions 2, 3, 10, 26, 33, 35, 37 and additional conditions numbered 41 to 43, as set out below: -

2. SKM135-BTP-01 Rev F replaced by SKM135-BTP-01 Rev G.
3. SKM135-PL-01 Rev V replaced by SKM135-PL-01 Rev W.
10. SKM132-BTP-01 Rev D replaced by SKM135-BTP-01 Rev G.
26. Notwithstanding the details contained within the ecological assessment, no development shall commence (excluding site clearance) until full details of nature conservation mitigation and enhancement including the management of the nature conservation mitigation areas to the west, north and east of the site have been submitted to and approved in writing by the Local Planning Authority. The approved nature conservation mitigation and enhancement shall thereafter be provided in accordance with a timetable to be agreed in writing by the Local Planning Authority.
33. Following implementation and completion of the approved remediation scheme as required by condition 32 above and prior to the first occupation of the development or an individual dwelling, a verification report shall be submitted to and approved in writing by the Local Planning Authority to confirm completion of the remediation scheme in accordance with approved details.



35. Following the investigation and remediation of those areas required by condition 34 above, remediation of the site must be undertaken in complete accordance with the Remediation Strategy as detailed within the 'Geo-Environmental Assessment Report and Remediation Strategy' by Travis Baker Geo-Environmental Ltd, dated 27 May 2021 unless otherwise agreed in writing by the Local Planning Authority. Furthermore, no part of the development shall be brought into use or individual dwelling first occupied until the relevant verification report(s) have been submitted to and approved in writing by the Local Planning Authority to confirm completion of the remediation scheme in accordance with approved details.
37. Notwithstanding the details contained within the ecological assessment, no development shall commence (excluding site clearance) until full details of nature conservation mitigation and enhancement including the management of the nature conservation mitigation areas to the west, north and east of the site have been submitted to and approved in writing by the Local Planning Authority. The approved nature conservation mitigation and enhancement shall thereafter be provided in accordance with a timetable to be agreed in writing by the Local Planning Authority.
41. No infiltration of surface water drainage into the ground is permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters.  
REASON: To ensure the protection of Controlled Waters and to comply with BCCS Policy ENV5. (EA)
42. No development shall commence (excluding site clearance and land reclamation) until details of the design, materials and colour(s), of the retaining walls hereby approved on the site have been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be completed in accordance with the approved details prior to occupation and the walls shall be retained and maintained as approved for the lifetime of the development.  
REASON: In the interests of the visual amenities of the site and the surrounding area and to comply with Borough Development Strategy 2017 Policy S6 Urban Design and Policy L1 Housing Development, extensions and alterations to existing dwellings and Policy D2 Incompatible Land Uses (in part).



43. Demolition or construction works shall not take place outside 1800 hours to 0700 hours Mondays to Fridays and 1700 hours to 0800 hours on Saturdays nor at any time on Sundays or Public Holidays unless otherwise agreed in writing by the Local Planning Authority.

REASON: To protect the amenities of nearby residents in accordance with BCCS Policy ENV1 and DBDS Policy D5.

(b) **Planning Application No. P21/0178 – 11 Hagley Road, Stourbridge – Change of use from Hair Salon (E) to Hot Food Takeaway (sui generis) with alterations to elevations to include extract flue, fresh air intake grill and new shop front and door**

In considering the report, Members took into account the concerns raised by a local Ward Councillor and objector as outlined in the report and as reported at the meeting, in particular, the lack of parking facilities to support collections and deliveries associated with the proposed use of the premises. Although Officers provided a separate presentation on the concerns raised confirming that a private car park was located to the rear of the premises and sufficient on street parking was available in the vicinity of the area, Members requested that a site visit be arranged in order for them to assess the issues raised prior to a decision being made.

**Resolved**

That the application be deferred for a site visit.

---

(c) **Planning Application No. P21/1010 – 52 Mount Pleasant, Kingswinford – Two storey side/rear extensions, single storey rear extension and single storey side extension to create garage (Retrospective)**

In considering the report, Members took into account the comments provided by a local Ward Councillor and the Agent on behalf of the applicant as outlined in the report and as reported at the meeting, in particular, the inaccurate information provided to the applicant during the time of purchase, that the proposals would enhance the area and that there would be no impact on the character of neighbouring properties or amenities.

**Resolved**

That the application be approved as it was considered that the proposals enhance the area and that there would be no impact on the character of the area or the amenities of neighbouring properties.

---

(d) **Planning Application No. P20/1801 – Pegasus Grab Hire, Bott Lane, Lye, Stourbridge – The continued use of land as an aggregate sorting and recycling facility and the installation of new aggregate washing facility (Retrospective)**

In considering the report, Members welcomed the planning application for the continued use of the site. Although Members acknowledged that the site was designated for residential development, they felt that approval of the planning application should be extended to a five year term instead of three years as outlined in the report to allow additional time to secure an alternative site and provide employment security as well as safeguarding the area for future residential opportunities.

**Resolved**

That the application be approved subject to conditions numbered 2 to 11 (inclusive), as set out in the report submitted and amended condition 1, as set out below: -

1. The development/use hereby permitted shall cease on or before 1 September, 2026 and the site reinstated to its previous condition within 8 weeks of development/use ceasing.  
REASON: The development must be of a temporary nature as its long term retention would be inappropriate relative to the Black Country Core Strategy Policies CSP2 and RC13 and DBDS Policies D2, D5 and D6, as its long term retention would prejudice the residential based regeneration of the wider Lye area.

---

(e) **Planning Application No. P21/0533 – 1 Lodge Close, Halesowen – two storey side extension (following demolition of existing snug and utility)**

Members were informed that the above planning application had been withdrawn.

The meeting ended at 8.00 pm

CHAIR

## **PLANNING APPLICATION NUMBER:P21/0178**

Type of approval sought	Full Planning Permission
Ward	Wollaston and Stourbridge Town Ward
Agent	Keith Mellor, Tetrattech
Case Officer	Stephanie Hollands
Location:	<b>11, HAGLEY ROAD, STOURBRIDGE, DY8 1QH.</b>
Proposal	<b>CHANGE OF USE FROM HAIR SALON (E) TO HOT FOOD TAKEAWAY (SUI GENERIS) WITH ALTERATIONS TO ELEVATIONS TO INCLUDE EXTRACT FLUE &amp; FRESH AIR INTAKE GRILLS AND NEW SHOP FRONT AND DOOR.</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

### **SITE AND SURROUNDINGS**

1. The application site comprises a three-storey building of flat roof design, at 11 Hagley Road, Stourbridge, DY8 1QH. The premises are located to the northern end of a block of what appears to have previously been 6 identical three storey buildings within the urban area of Stourbridge. An enclosed yard area is located to the rear.
2. The premises were most recently in use as a hair salon (Use Class E(a)) to the ground floor with a two-storey self-contained 3-bedroom apartment above. The premises are currently vacant at ground floor.
3. The western frontage of the property is located directly to the back of pavement, to the northern edge lies an access driveway leading to a large parking area to the rear, a large stand-alone building of high visual aesthetics is located to the north beyond the access drive, and further commercial units are located adjoined to the south. To the adjacent western edge of Hagley Road lie further commercial businesses.

4. Other uses immediately surrounding the area encompasses a wide variety of commercial uses, including an estate agent adjoined, a fitness centre, funeral directors, public house, solicitors, physiotherapy practice, children's day nursery, motor vehicles showrooms and function suits.
5. In terms of parking facilities, no parking is permitted directly to the front of the premises on Hagley Road to either of the eastern or western edges, however parking is permitted a short distance to the south on the eastern edge of the road, restricted to 2 hours between 7am and 7pm. To the rear of the site via the adjoined access drive off Hagley Road lies a large surface level car park and further large surface car parks are located to the rear east off Church Street and to the west on Union Street.
6. The building is not listed and is not located within a Conservation Area.
7. The subject of this application No.11 Hagley Road, Stourbridge is a three-storey late 18<sup>th</sup>/early 19<sup>th</sup> century end of terrace building identified within the Stourbridge Area Action Plan (AAP) to be a building of 'Medium Positive Contribution'. It is located within Character Zone 10 'Stourbridge Historic Core' which is also identified in the AAP to be an 'Area of High Historic Townscape Value (HTV 37)'.
8. Located immediately to the north of the application site are three designated heritage assets:
  - a pair of Grade II listed K6 Telephone boxes recorded on the Council's Historic Environment Record (HER) as HER No.1714 and
  - the Grade II listed former Country Court – HER 1699.
  - the Grade II listed former Stourbridge Library and Technical college – HER 1700

## PROPOSAL

9. This application seeks consent for change of use from hair salon (E) to hot food takeaway (sui generis).

10. The proposal also includes minor external alterations to the building to accommodate the proposed use, including the location of an extract flue and fresh air intake grill to the north western side elevation and new shop front and door, decorated to RAL9005.
11. The proposal seeks operating hours of 11:00 to 23:00 seven days per week.
12. The extraction system has been specifically designed to Papa John's specifications and details can be found in the submitted 'Supporting Information on the Proposed Extraction System and Plant' document. The design reflects the nature of the cooking operation where all products are oven cooked using conveyor ovens only. The baking (rather than frying) of food limits the odours associated with the use. The extraction system will remove heat produced during the process and air supply system would remove oven fumes and ventilate the premises.
13. Papa John's (GB) Ltd have a centrally controlled logistics operation to deliver the fresh dough and other products necessary to meet the business needs of each store. The delivery model is company-wide and based on three deliveries per week; two food deliveries from the main distribution centre, using fixed-bed ten tonne delivery vehicles; and one by the drinks supply partner, Coca Cola, utilising a 7.5 tonne non-articulated delivery vehicle. Food deliveries would be made on regular days to maintain stock levels in the store. Deliveries would be received to the rear of the unit. Delivery vehicles need only be present at the site for approximately 20 minutes.
14. A Planning Statement with a further addendum has been submitted in support of this application, which also includes a Noise Management Plan.

## PLANNING HISTORY

15.

<b>APPLICATION No.</b>	<b>PROPOSAL</b>	<b>DECISION</b>	<b>DATE</b>
P06/2238	Display 1 no. revolving barber pole	Approved with conditions	19/01/2007
P05/2188	Proposed change of use from office (A2) to hot food takeaway (A5).	Refused	01/12/2005
99/51863	INTERNALLY ILLUMINATED FASCIA SIGNS, ONE TO THE FRONT AND ONE TO THE SIDE AND INTERNALLY ILLUMINATED PROJECTING SIGN.	Approved with conditions	31/01/2000

P05/2188 Reasons for refusal:

- The proposed change of use would appear inappropriate in the context of the surrounding professional organisations and would have an adverse impact on the general amenity of the surrounding area, by reason of additional rubbish, litter and cooking odours generated by the A5 use and customers using the facility. It would therefore contravene Policies DD1 (Urban Design), CR12 (Retail A3 Uses and Amusement Arcades) of the adopted Dudley Unitary Development Plan and Planning Guidance Note 28 (Hot Food Takeaways).
- The proposed fume extraction system would be visible within the street scene and would, therefore, have a detrimental impact on the setting of the nearby listed building. It would therefore be contrary to policy HE5 (Buildings of Historic Importance) and Planning Guidance PPG15 (Planning and the Historic Environment).
- The development would be likely to attract short term on-street parking generated by car-borne customers of the development that would be detrimental to the safe and efficient operation of the public highway, it would therefore be contrary to Policy

DD6 (Access and Transport Infrastructure) of the Revised Dudley Unitary Development Plan.

## PUBLIC CONSULTATION

16. The application was advertised by way of a site and press notices being displayed and direct neighbour notification. Eleven letters of objection have been received from local occupiers with the following concerns summarised below:

- No off-road parking/unauthorised parking/obstruct access/danger to road users/overloading private car park/security
- No accessible space for refuse containers
- Litter/waste/refuse storage
- Deliveries/no availability of safe loading area
- Previous refusal
- Not sitting comfortably with existing uses
- Unsightly building
- Not located in a town centre retail area
- Infestations, noise, potential rodent problems and health and safety reasons
- Issue of public health and public nuisance
- Adversely affect the siting and structure of Listed structures
- Out of character with the area
- Unpleasant smells
- Existing pizza shops on the high street
- Numerous empty shops within the town centre

17. Following re-consultation on the amended plans (addressing Historic Environment's concerns), which expired on 16<sup>th</sup> July 2021 six objections have now been received from local occupiers objecting to the application with the following comments summarized below:

- Access issues
- Potentially dangerous
- Location of bins and air conditioning inductor



- Rat and mice problems/vermin
- Use can be accommodated with the town centre in empty shops
- Parking and services
- Nuisance
- Out of character
- Inconsiderate parking
- Existing pizza places in Stourbridge, not necessary
- Waste rubbish
- Grade II listed buildings

## OTHER CONSULTATION

18. Highways: No objections and recommend approval.
19. Environmental Safety and Health Team: Recommend that conditions be attached to any approval relating to air quality and noise.
20. Planning Policy Team: No objections in principle.
21. Historic Environment: Recommended on-balance that the application be recommended for approval subject to conditions.

## RELEVANT PLANNING POLICY

22. Legislation  
Sections 66(1) and 72(1) of the *Planning (Listed Buildings and Conservation Areas) Act 1990*
23. National Planning Guidance  
Technical Guidance to the National Planning Policy Framework (2012)  
Community Infrastructure Levy Regulations (as amended) (2014)

National Planning Policy Framework (NPPF, Feb 2019) – specifically Chapter 16,  
*Conserving and enhancing the historic environment*

NPPF Planning Practice Guidance (PPG)

Historic England Good Practice Advice notes (GPAs)

- GPA 2: Managing Significance in Decision-Taking (2015)
- GPA 3: The Setting of Heritage Assets (2017)

Historic England Advice Notes (HEANs)

- HEAN 2: Making Changes to Heritage Assets (Feb 2016)
- HEAN 12: Statements of Heritage Significance (Oct 2019)

24. Black Country Core Strategy (2011)

- DEL1 Infrastructure Provision
- ENV2 Historic Character and Local Distinctiveness
- ENV 3 Design Quality
- CSP3 Environmental Infrastructure
- CSP4 Place Making
- CSP5 Transport Strategy
- CEN6 Meeting Local Needs for Shopping and Services
- TRAN2 Managing Transport Impacts of New Development
- TRAN5 Influencing the Demand for Travel and Travel Choices
- CSP1 The Growth Network
- CSP2 Development Outside the Growth Network

25. The Dudley Borough Development Strategy (2016)

- S1 – Presumption in favour of Sustainable Development
- S2 - Planning for a Healthy Borough
- S6 - Urban Design
- S8 - Conservation and Enhancement of Local Character and Distinctiveness
- S9 - Conservation Areas
- S10 - Listed Buildings

- S11 - Buildings of Local Historic or Architectural Importance
- S12 - Areas of High Historic Townscape Value (AHHTV)
- S15 - Heritage Assets of archaeological interest, Scheduled Ancient Monuments and Archaeological Priority Areas (APA)
- S17 – Access and Impact of Development on the Transport Network
- D1 – Access for All
- D2 – Incompatible Land Uses
- D5 – Noise Pollution
- D9 – Hot Food Takeaways
- D12 – Control of Advertisements
- L12 Shop Front Security

26. Stourbridge Area Action Plan (Oct 2013)

- Policy 21 - Conservation and enhancement of local character and distinctiveness in Stourbridge)
- Policy 22 - Areas of high historic townscape value (AHHTV)
- Policy 24 - Archaeological Priority Areas (APA)

27. Supplementary Planning Documents

- Access for All Supplementary Planning Document
- CIL Charging Schedule (2015) (updated 2017)
- Parking Standards Supplementary Planning Document (2016)
- Planning for Health SPD (2013)
- PGN 5 – Retail frontages
- Historic Environment SPD (2017)
- Shopfront & Advertisement SPD (2017)

28. Urban Historic Landscape Characterisation (UHLC)

- Black Country HLC (2009)
- Borough-wide UHLC (2016)
- Stourbridge UHLC (Aug 2011)

29. West Midlands Combined Authority Guidance

- West Midlands Design Charter

<https://www.wmca.org.uk/media/3647/wmdesigncharter.pdf>

## ASSESSMENT

30. The key issues in determination of this application are:

- Principle/Policy
- Design and appearance
- Amenity issues
- Highway safety
- Financial Material Considerations

### Principle/Policy

31. The site is located within an Area of High Historic Townscape Value, within the Stourbridge AAP area, and lies approx. 100m from Stourbridge Town Centre.

32. The application proposes to convert the unit for a hairdressers (Class E) to a hot food takeaway (Sui Generis), As the site is located within SAAP Boundary Policy 9 [hot food takeaway] needs to be considered, this focuses primarily on hot food takeaways within the town centre, but does state that hot food takeaways should not result in bunching. Additionally, DBDS policy D9 [hot food takeaways] states for sites which are not located within the town centre or within a protected frontage:

*'Elsewhere hot food takeaways will be permitted where they do not create or exacerbated a concentration (typically 3 or 4) those uses.'*

33. While there are a number of hot food takeaways located within the town centre. From google street view (oct. 2020) there does not appear to be any hot food takeaways located in any of the adjacent units or in the immediate vicinity.

34. Additionally, SAAP Policy 9 states that proposals for hot food takeaways should not have an adverse impact on amenity and highway safety and any associated equipment should not be visually dominant within the townscape.

35. DBDS Policy D9 also states:

*'In all Locations, planning permission for hot food takeaways will only be granted where in additional to the above considerations, there would not be an adverse impact on public or highway safety'*

36. It is therefore considered that for the proposed development to be considered acceptable in terms of SAAP Policy 9 and DBDS Policy D9, it must be demonstrated that the development would not result in highway safety problems, and would be acceptable in terms of the impact on residential uses, such as the residential flat above the site.

37. The site is also located within an AHHTV, therefore any external changes will need to be sympathetic to the surrounding streetscape, in line with Stourbridge AAP Policy 22 [Areas of High Historic Townscape Value].

#### Design

38. The development would bring a vacant unit back into use which in turn would enhance the existing positive characteristics of the locality including public realm. As such the development would not have any detrimental impact on the overall character of the surrounding area.

39. The application site is located within a row of commercial properties with residential properties nearby. The new shop front would have no adverse impact on outlook, daylight provision or privacy for these nearby occupiers of those residential properties.

40. The the location of the extract flue and fresh air intake grills to the north western side elevation would not be highly visible from the street scene. As such it is not considered there would be any detrimental impact to the visual amenity of the surrounding area.

41. Historic Environment have noted and welcomed that the applicant has made amendments to the scheme, (Addendum to the planning statement dated 28/07/21) and to the amended floor plans and elevations. This information was been provided in order to address original concerns raised by Historic Environment.
42. The additional information provided, coupled with the imposition of suitably worded conditions is considered to be sufficient in order to overcome the original concerns raised by Historic Environment.

#### Amenity issues

43. The application site is located at the end of a row of commercial properties in a mixed-use commercial/residential area along this part of Hagley Road.
44. The Environmental Safety and Health Team do not object the proposed development and suggest a number of safeguarding conditions to limit noise and air pollution.
45. The Environmental Safety and Health Team note the applicant has submitted a kitchen ventilation scheme in support of the application. It should be noted that this scheme relates to the actual intended cooking operations as a pizza takeaway. The odour potential of different types of cooking are clear and which would necessitate varying levels of control to control kitchen odours. It is accepted that the proposed scheme is acceptable at controlling the odours from this pizza establishment although The Environmental Safety and Health Team are not satisfied that it is suitable and adequate for general unrestricted takeaway usage.
46. Subject to the above-mentioned conditions, it is not considered that the proposed uses would have any detrimental impact on the amenity of surrounding residential occupiers in the vicinity. The use is appropriate for a parade of local shops such as this and the proposal accords with local and national planning policy.

### Highway safety

47. The Applicant has clarified the waste storage location and also that no branded vehicles will remain at the premises overnight. Both items may have created obstruction of the shared side access or the public footway at the front of the building.
48. The proposed scheme is therefore consistent with the requirements of Policies TRAN2, and CSP5 of the adopted BCCS and the Parking Standards SPD (2017).
49. With regards to the recommended condition by the Environmental Safety and Health Team in relation to electric vehicle charging points, as there is no on-site parking provision this condition is not appropriate in this instance.

### Financial Material Considerations

50. Section (124) of the Localism Act states that: Local planning authorities are to have regard to material considerations in dealing with applications including any local finance considerations, so far as material to the application. A 'local finance consideration' may be taken to cover the payment of New Homes Bonus, or sums that a relevant authority has received, or will or could receive, in payment of the Community Infrastructure Levy (CIL). The section does not change the law in any way. It is not a new basis for planning policy and it remains unlawful for planning permissions to be 'bought'.
51. The proposal is not liable for CIL for the following reason(s):
  - less than 100 square metres of CIL Liable retail floor space

## **CONCLUSION**

52. The principle of the proposed use in this location is considered acceptable and would bring a vacant unit back into use. The proposal respects the historic character and distinctiveness of the area making a positive contribution to place making through high quality design with appropriate conditions imposed. There would be no detrimental impact on residential amenity of nearby occupiers. It is also considered

that there would be no detrimental impact on highway safety. The proposal would therefore comply with Core Strategy and Development Strategy Policies.

## RECOMMENDATION

53. It is recommended that the application be APPROVED subject to the following conditions:

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
REASON: To comply with Section 91(1) of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the following approved plans unless otherwise agreed in writing by the local planning authority: Addendum to planning statement dated 28/07/21 and Drawing Nos 20108-11 REVISION B, 20108-12 REVISION B, 20108-03 REVISION A, 20108-02 REVISION A and 20108-01.  
REASON: For the avoidance of doubt and to safeguard the quality and visual appearance of the host property and of the Stourbridge Historic Core Area of High Historic Townscape Value (AHHTV) in accordance with Policy S12 (Areas of High Historic Townscape Value) of the adopted Dudley Borough Development Strategy and Policy 21 (Conservation and enhancement of local character and distinctiveness in Stourbridge) and Policy 22 (Areas of High Historic Townscape Value) of the Stourbridge Area Action Plan.
3. Notwithstanding the details shown in the submitted plans and provided in the addendum development shall not begin until full details/samples of the type, texture and colour of all materials to be used in external elevations have been submitted to and approved in writing by the Local Planning Authority.  
REASON: To safeguard the quality and visual appearance of the host property and of the Stourbridge Historic Core Area of High Historic Townscape Value (AHHTV) in accordance with Policy S12 (Areas of High Historic Townscape Value) of the adopted Dudley Borough Development Strategy and Policy 21 (Conservation and enhancement of local character and distinctiveness in Stourbridge) and Policy 22 (Areas of High Historic Townscape Value) of the Stourbridge Area Action Plan.
4. In order to minimise the impact of the development on local air quality, any gas boilers provided within the development must meet a dry NOx emission concentration rate of <40mg/kWh.  
REASON: To safeguard the air quality of the Borough which is an Air Quality Management Area in compliance with the Black Country Core Strategy Policy ENV8 and the adopted Air Quality SPD.



5. Should the type of food being cooked at the premises alter in any way from that of a pizza takeaway, a revised scheme containing full details of arrangements for internal air extraction, odour control, and discharge to atmosphere from cooking operations, shall be submitted to and approved in writing by the Local Planning Authority. The works detailed in the approved scheme shall be installed in their entirety before the use hereby permitted is commenced. The equipment shall thereafter be maintained in accordance with the manufacturer's instructions and operated at all times when cooking is being carried out unless otherwise agreed beforehand in writing with the Local Planning Authority.  
REASON: To protect the amenities of nearby residents and comply with Borough Development Strategy 2017 Policy L1 Housing Development, extensions and alterations to existing dwellings  
Policy D2 Incompatible Land Uses (in part)
6. The premises shall not be open to the public, nor shall deliveries from the premises be made, before the hours of 11:00 nor after 23:00 on any day.  
REASON: To protect the amenities of nearby residents in accordance with Borough Development Strategy 2017 Policy D5 Noise Pollution and Policy L1 Housing Development, extensions and alterations to existing dwellings  
Policy D2 Incompatible Land Uses (in part).
7. The rating level of sound emitted from any fixed plant and/or machinery associated with the development (including the discharge of cooking fume from a flue) shall not exceed background sound levels by more than 5dB(A) between the hours of 0700-2300 (taken as a 15 minute LA90 at the nearest sound sensitive premises) and shall not exceed the background sound level between 2300-0700 (taken as a 15 minute LA90 at the nearest sound sensitive premises). All measurements shall be made in accordance with the methodology of BS 4142 (2014) (Methods for rating and assessing industrial and commercial sound) and/or its subsequent amendments.  
Where access to the nearest sound sensitive property is not possible, measurements shall be undertaken at an appropriate location and corrected to establish the noise levels at the nearest sound sensitive property.  
Any deviations from the LA90 time interval stipulated above shall be agreed in writing with the local planning authority.  
REASON: To protect the amenities of nearby residents in accordance with Borough Development Strategy 2017 Policy D5 Noise Pollution and Policy L1 Housing Development, extensions and alterations to existing dwellings  
Policy D2 Incompatible Land Uses (in part).
8. The scheme submitted for internal air extraction, odour control, and discharge to atmosphere from cooking operations, is approved in writing by the Local Planning Authority. The works detailed in the approved scheme shall be installed in their entirety before the use hereby permitted is commenced. The equipment shall thereafter be maintained in accordance with the manufacturer's instructions and operated at all times when cooking is being carried out unless otherwise agreed beforehand in writing with the Local Planning Authority.  
REASON: In the interests of air quality and the amenities of surrounding premises in accordance with BCCS Policy ENV8 - Air Quality and Borough Development Strategy 2017 Policy S5 Minimising Flood Risk and Sustainable Drainage Systems (SuDS).

9. Notwithstanding the details shown on the submitted plans, development shall not commence until large scale architectural drawings of the proposed new shop front and proposed entrance doors to be used in the external elevations and their colour, finish and materials have been submitted to and approved in writing by the Local Planning Authority. The work will be undertaken in accordance with the addendum to the planning statement dated 28th July 2021 and Large scale architectural drawings at 1:1, 1:2 or 1:5 of the sections and profiles of jambs, heads, sills, glazing bars, fascia's, pilasters, stallriser and headings together with their relationships to masonry apertures shall be provided. Development shall proceed in accordance with the agreed details and be retained for the lifetime of the development.

The external windows, shop front, doors and associated features installed on the building shall be in accordance with the approved details and shall not be replaced, except in accordance with the same approved details and without the prior written agreement of the local planning authority. The shopfronts and doors shall be of timber construction.

REASON: To safeguard the quality and visual appearance of the host property and of the Stourbridge Historic Core Area of High Historic Townscape Value (AHHTV) in accordance with Policy S12 (Areas of High Historic Townscape Value) of the adopted Dudley Borough Development Strategy and Policy 21 (Conservation and enhancement of local character and distinctiveness in Stourbridge) and Policy 22 (Areas of High Historic Townscape Value) of the Stourbridge Area Action Plan and to ensure the shopfront is 'secured by design' and accessible for all in accordance with Policy L12 (Shop Front Security), Policy D1 (Access for All) of the Dudley Borough Development Strategy and in accordance with the adopted Shopfront & Advertisement SPD (2017).

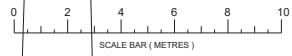
10. The change of use hereby approved shall not come into use until the existing shopfront and side entrance has been replaced and the new shopfront and side entrance installed in strict accordance with the details approved under condition 9 above.

REASON: To safeguard the quality and visual appearance of the host property and of the Stourbridge Historic Core Area of High Historic Townscape Value (AHHTV) in accordance with Policy S12 (Areas of High Historic Townscape Value) of the adopted Dudley Borough Development Strategy and Policy 21 (Conservation and enhancement of local character and distinctiveness in Stourbridge) and Policy 22 (Areas of High Historic Townscape Value) of the Stourbridge Area Action Plan.

11. Notwithstanding the details shown on the submitted plans development shall not begin until details have been submitted to and approved in writing by the Local Planning Authority of the final location of all vent pipes, flues, air intake and extraction equipment terminals and details provided of their exact design, colour and finish in order to demonstrate that they will not have a detrimental impact on the host building or on the Stourbridge Historic Core AHHTV. The scheme shall be implemented in accordance with the approved details and retained for the lifetime of the development.

REASON: To safeguard the quality and visual appearance of the host property and of the Stourbridge Historic Core Area of High Historic Townscape Value (AHHTV) in accordance with Policy S12 (Areas of High Historic Townscape Value) of the adopted Dudley Borough Development Strategy and Policy 21

(Conservation and enhancement of local character and distinctiveness in Stourbridge) and Policy 22 (Areas of High Historic Townscape Value) of the Stourbridge Area Action Plan.



Hotel

TCBs

11

13

El Sub Sta

CAR PARK

CAR PARK

HAGLEY ROAD

BLOCK PLAN  
1:200@A3



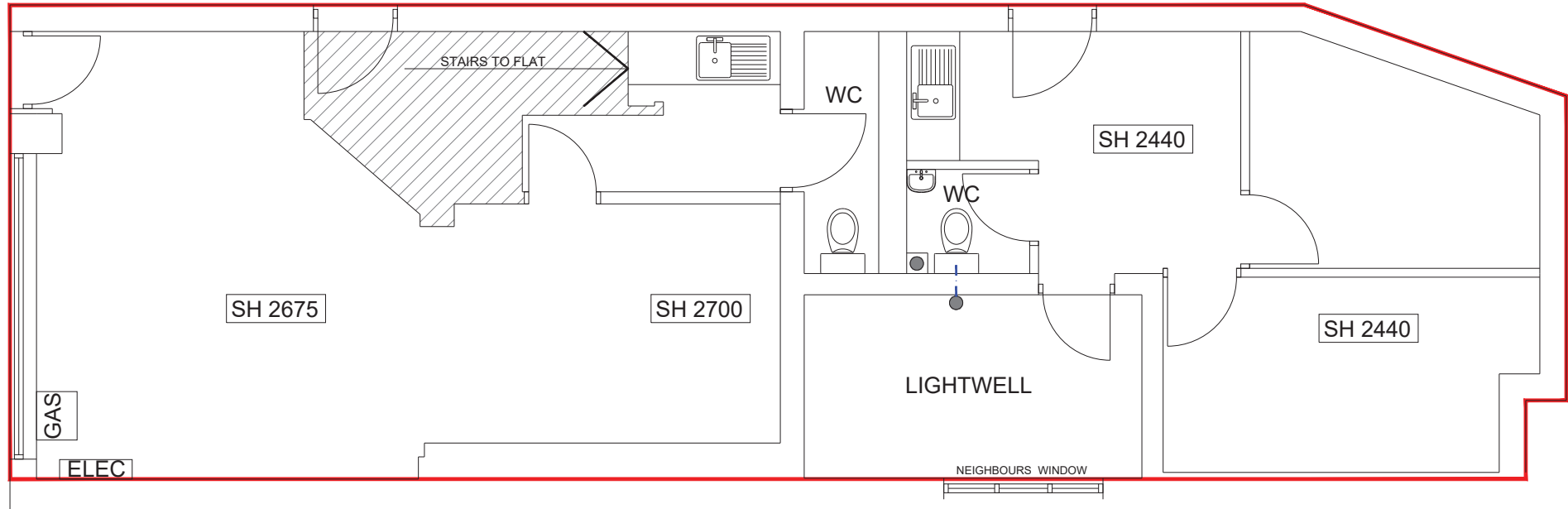
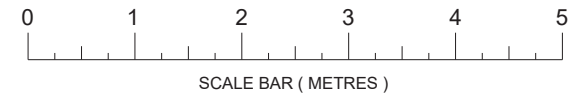
© Crown copyright and database right 2021  
Ordnance Survey licence 100048927  
Reproduction in whole or in part is prohibited  
without the prior permission of Ordnance Survey



LOCATION PLAN  
1:1250@A3

REV	AMENDMENT	DATE	CHKD
<b>MA DESIGN</b> MARTIN ANTHONY DESIGN LIMITED			
CLIENT -			
PROJECT 11 HAGLEY ROAD STOURBRIDGE DY8 1QH			
DRAWING TITLE LOCATION & BLOCK PLAN			
SCALE 1:200@A3 1:1250@A3	DRAWN BY MAS	CHECKED -	DATE JAN'20
DRAWING NUMBER 20108-01		REVISION -	

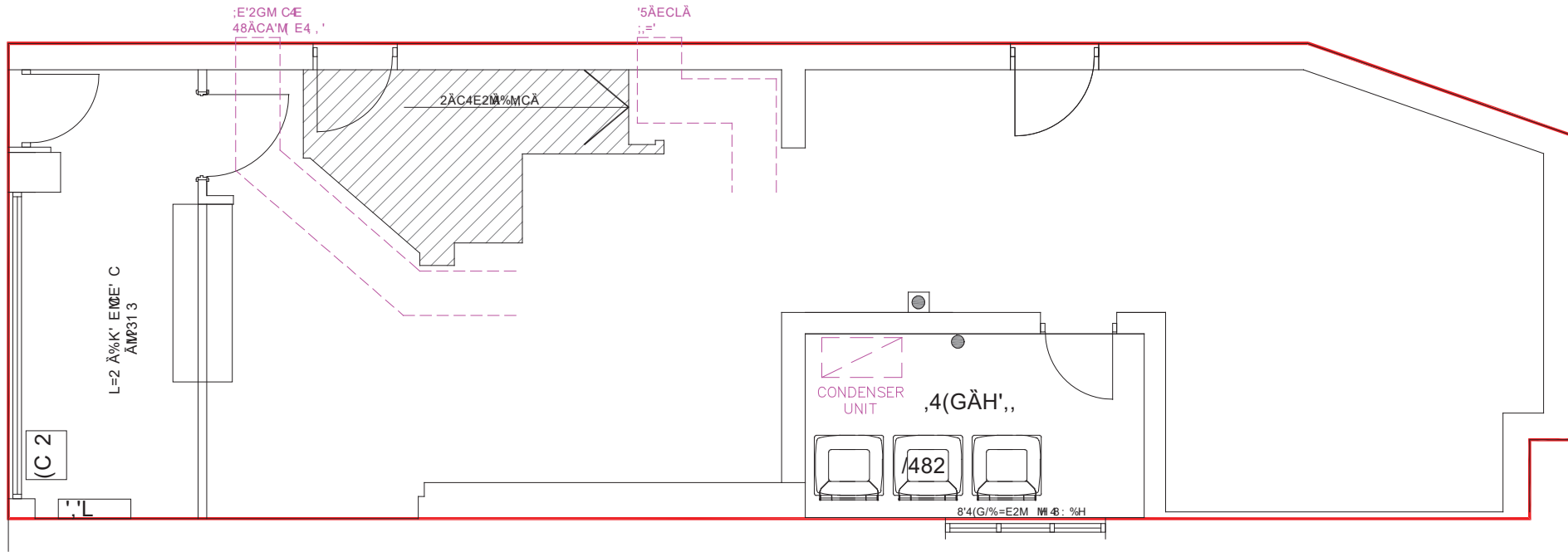
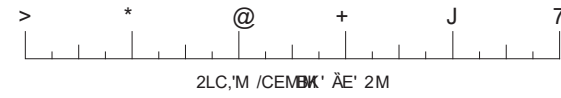
# EXISTING PLANS 1:50@A3



**EXISTING GROUND FLOOR**  
66 sq.m / 710sq.ft.

CH - SUSPENDED CEILING HEIGHT SH - STRUCTURAL / SOFFIT HEIGHT BH - BEAM HEIGHT			
A	DRAWING REVISED	19.01.21	MAS
REV	AMENDMENT	DATE	CHKD
<b>MA DESIGN</b> MARTIN ANTHONY DESIGN LIMITED			
CLIENT -			
PROJECT 11 HAGLEY ROAD STOURBRIDGE DY8 1QH			
DRAWING TITLE EXISTING GROUND FLOOR PLAN			
SCALE 1:50@A3	DRAWN BY MAS	CHECKED -	DATE NOV/20
DRAWING NUMBER 20108-02		REVISION A	

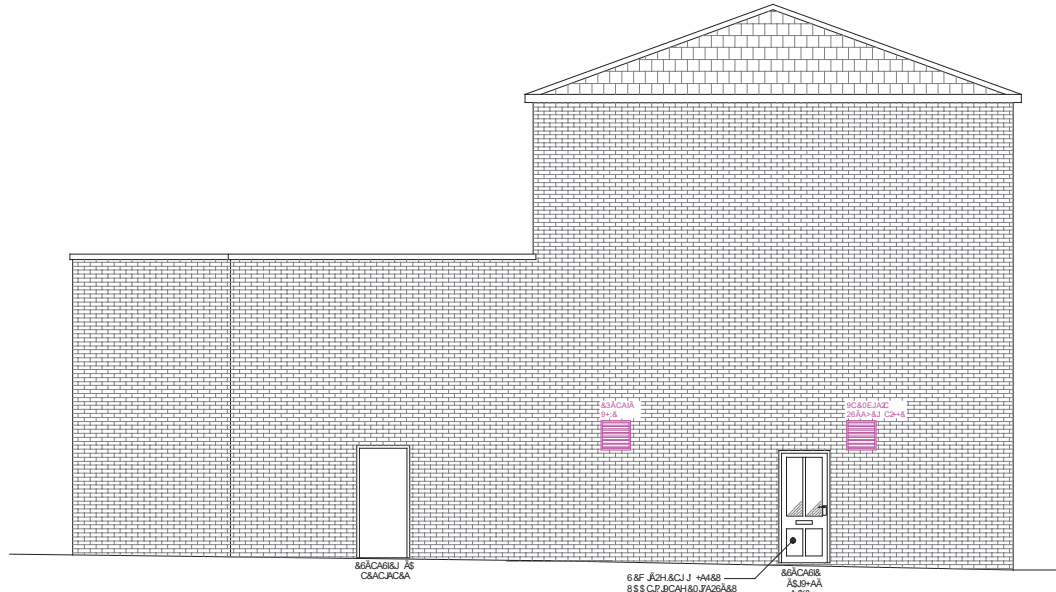
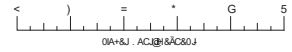
9E%9%2':M ; ,%%EM,C8M\*<7>#C+



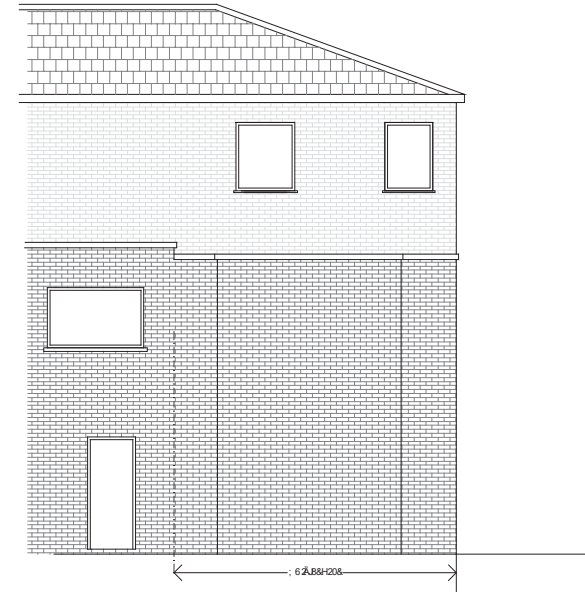
9E%9%2':M(E%=8:M ; , %%E  
 D7M?31 MÄ>DI?3"63

L GÄHÄ-29'8":M L' 4-Ä ( NÄ' 4 GÄ 2 GÄÄÄE=LÄ=EC, MÄ%, 4ÄMÄ4(GÄ / GÄMCKM G' 4 GÄ			
ECHÄI MÄKÄ EÄIÄI MÄKÄ		ÄÄÄÄ ÄÄÄÄ	KC2 KC2
E'Ä	ÄÄÄÄÄ		ÄÄ
<b>MA DESIGN</b> MARTIN ANTHONY DESIGN LIMITED			
ÄÄÄÄ F			
ÄÄÄÄ "MÄCÄ", SÄÄÄÄÄ 2ÄÄÄÄÄÄÄÄÄ SÄMÄGÄ			
ÄÄÄÄ 9E%9%2':M 9, C8			
ÄÄÄ *ÄÄÄÄÄ	EÄÄÄÄÄ KC2	LÄÄÄÄÄ F	ÄÄÄÄÄ ICS-ÄÄ
EÄÄÄÄÄÄÄÄÄ ÄÄÄÄÄÄÄÄÄÄ	ÄÄÄÄÄÄÄÄÄÄ /		

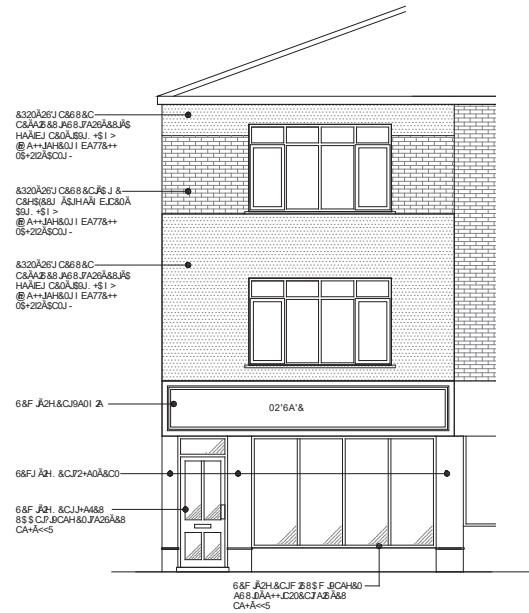
&+&(AÄ2\$60J ):)<<"A\*



7C\$7\$0&8J 028&&+(AÄ2\$6  
6\$CÄEJF &0Ä



7C\$7\$0&8J C&AC.&+(AÄ2\$6  
&A0Ä

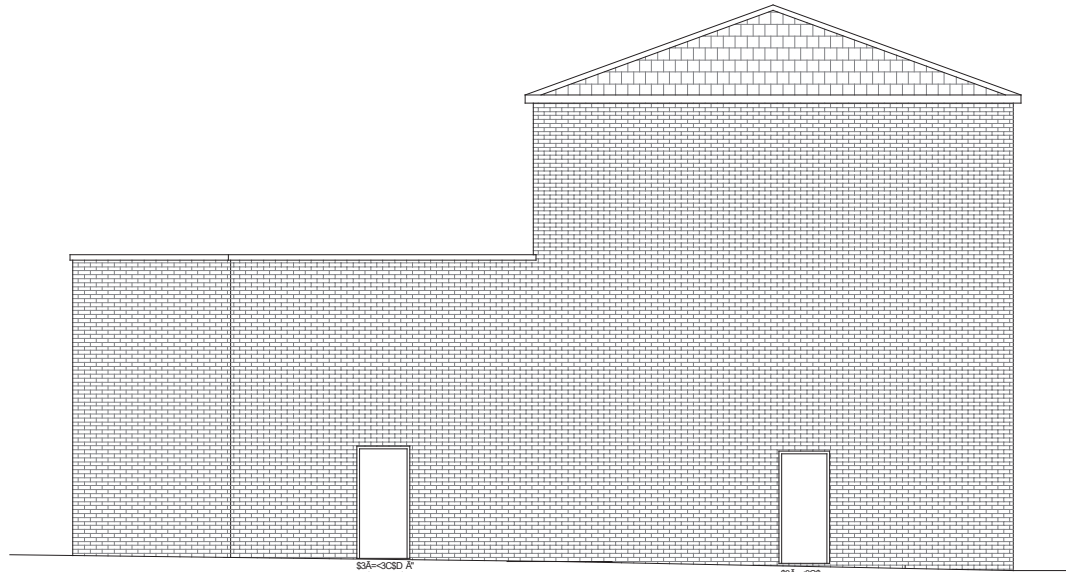
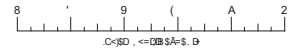


7C\$7\$0&8J 9C\$6ÄJ&+(AÄ2\$6  
F&0Ä

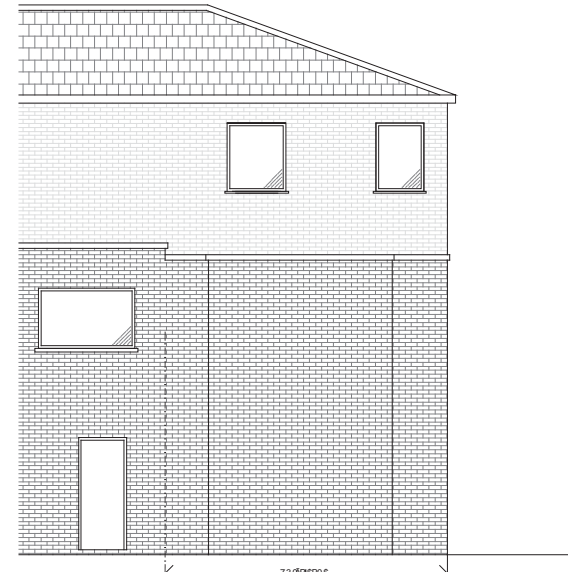
% Ä1  
0&&J02'6A'ÄJ 1\$6ÄCAIÄ\$C0J 8 CAF 2' 0  
9\$CJ02'6A'ÄJ8 &ÄA2-0

8 CAF 2' ÄK208	8 CAF 2' ÄK208	8181+)	HÄ0
8 CAF 2' ÄK208	8 CAF 2' ÄK208	8181+)	HÄ0
CAI	ÄH88888Ä	8ÄÄ	1 E+8
<b>MA DESIGN</b> MARTIN ANTHONY DESIGN LIMITED			
*51LA D			
8JÄHÄ J)J EA' +8H.CS Ä8 0Ä.S.C.28'Ä 8H/J J)5E			
J) J' 8C' Ä8ÄH 7C\$7\$0&8J &+(AÄ2\$60			
0ÄÄ	8CAFÄJ #	1 E8+ 88	8ÄÄ
J) <<"A*	HÄ0	D	1 Ä8 J)
8CAF201 6. H. ÄC		CÄ20288	
=<-(D))			

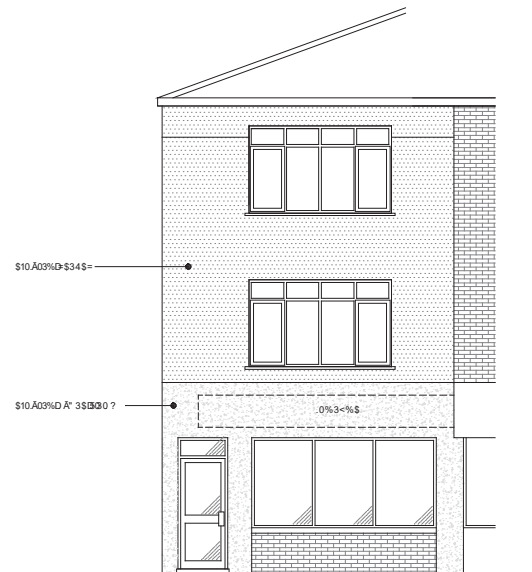
\$)\$\$&<Ä0"3.D '6'88 <(



\$10.Ä03 %D4 \$B)\$\$&<Ä0"3  
3"=Ä?



\$10.Ä03 %B\$<=D\$)\$\$&<Ä0"3  
\$<.Ä



\$10.Ä03%D\$34\$=

\$10.Ä03%D Ä 3SÄ00 ?

\$ 10 ÄB %B = " 3 ÄB)\$\$&<Ä0"3  
@\$Ä

	4+@03 10850 \$4	A23V	B+
+S6	+B3483A	4+Ä6	C1 4
<b>MA DESIGN</b> MARTIN ANTHONY DESIGN LIMITED			
#51LA >			
#1A1A D 7 <=) S1 B" <4 Ä7"= =04%S 4L-D W?			
*) 1" B" ASAM \$10 ÄB %B)\$\$&<Ä0"3.			
C=8 0'88 <(	4+@03.1 B<.	C15C \$4 >	4+Ä6 Ä<3"98
4+@03 7.8. 5+		-80 0'3	<
98'8->8(			



## PLANNING APPLICATION NUMBER:P21/0177

Type of approval sought	Full Planning Permission
Ward	Norton Ward
Agent	Miss S. Tomlinson
Case Officer	Imogen Hopkin
Location:	<b>15, SANDY ROAD, STOURBRIDGE, WEST MIDLANDS, DY8 3AJ</b>
Proposal	<b>TWO STOREY FRONT, SIDE AND REAR EXTENSIONS WITH JULIET BALCONIES TO THE REAR, SINGLE STOREY SIDE AND REAR EXTENSIONS, FRONT PORCH, MODIFICATIONS TO THE ROOF TO INCREASE THE HEIGHT AND CREATE NEW FRONT AND REAR DORMER WINDOWS, AND RENDERING TO THE SIDES AND REAR OF THE DWELLING, CLADDING TO PART OF THE REAR EXTENSION (FOLLOWING DEMOLITION OF EXISTING GARAGE AND WC)</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

### **Addendum to Report**

On 12<sup>th</sup> August 2021 this application was referred to be determined at Planning Committee by the Vice Chair of the Development Control Committee, which will take place on the 13<sup>th</sup> September 2021.

### SITE AND SURROUNDINGS

1. The application site refers to a north-west facing detached dormer bungalow located along Sandy Road, Stourbridge. The dwelling is characterised by a pale brown brick and a high slate roof with a front gable feature and a front dormer. The rear of the property has a larger front projecting gable, a single storey rear aspect and side/rear dormers. The dwelling has a single storey side garage that has a width of 7m and lies 1m from the common boundary for the length of the garage, around 9.35m. The dwelling benefits from a generous rear garden that has an average width of 30m and an average length of 42m. The parking area to the front of the

dwelling has two accesses and is around 18.5m wide and 20m from the edge of the pavement.

2. The neighbouring dwelling to the north is No. 11 Sandy Road, a two storey detached dwelling with a pyramid hipped roof and smaller front projecting gable that is sited at a higher level than the application site by approximately 0.5m. This dwelling benefits from a two storey rear extension, a single storey rear conservatory and a side/rear garage and shed located along the common boundary with the application site parallel to the garage of the application site. The garage has a side facing window on each side, one of which faces the application site. This property has a first floor side facing window that serves a landing and a rear first floor window that serves a bedroom. There are two ground floor side facing windows that serves a kitchen and an obscure glazed window adjacent. The boundary treatment between this dwelling and the application site is a 1.8m high close boarded fence, and there is some hedging to the side of the application site that can be seen from above the fence.
3. The neighbouring dwelling to the south is No. 17 Sandy Road, a large two storey detached dwellinghouse characterised by a hipped roof with a front projecting hipped roof. This dwelling benefits from a number of extensions to the side and rear, including a rear balcony over the single storey rear extension. This property benefits from a similar sized garden to the application site.
4. Sandy Road is a residential street that is predominantly occupied by two storey dwellings. The wider streetscene is predominantly brick, although there are instances of render within the street. There is a mix of uniquely designed dwellings alongside small numbers of similarly designed properties.

## PROPOSAL

5. The application seeks permission for:
  - Two storey front, side and rear extensions

- Single storey side and rear extensions
- Increased roof height from 6.3m to 7.5m
- Juliet balconies to the rear
- Dormers to the front and rear
- Render to the sides and rear of the dwelling

6. Amended plans were received to carry out the below changes:

- Remove a rear balcony and replace with Juliet balcony
- Remove render from the front elevation
- Revise the front elevation, including reducing the size of the front porch
- Move the single storey side/rear extension from the side boundary introducing a minimum 2m gap and maximum gap of 5m

## HISTORY

7. Planning history:

<b>APPLICATION No.</b>	<b>PROPOSAL</b>	<b>DECISION</b>	<b>DATE</b>
CC/74/1237	Erection of extensions and alterations to existing dwelling.	Approved with Conditions	21/11/1974
SB/64/464	Detached semi-bungalow with double garage	Approved with Conditions	07/01/1964
SB/64/253	Three detached houses and garages	Refused	28/07/1964

## PUBLIC CONSULTATION

8. The application was initially advertised by way of 4 neighbour notification letters and a site notice at the site. 8 objections were received to the proposed scheme, two from adjoining neighbours, one directly opposite the site and one diagonally opposite the site. The other four objections were from the properties within the wider street. The objections raised the following concerns:

- Privacy, overlooking and ‘perception of overlooking’ concerns, primarily due to rear balcony
  - Design out of character with surrounding properties
  - Character of original house would be changed and result in a two storey dwelling
  - Adverse visual impact on the locality
  - Proposed extension would be overbearing on immediate neighbours
  - Loss of light and overshadowing
  - Extension forward of the building line
  - Extension too big for the width of the plot
  - Proposed materials out of character
  - Plant room would generate noise to occupiers
  - Noise and congestion of road could occur if this was built
  - No reference of the proposal in relation to neighbouring dwellings
9. A subsequent re-consultation was carried out to neighbours and objectors following receipt of revised plans, with responses required no later than the 17<sup>th</sup> June 2021. 5 objections were received that again raised the above points. In terms of the positions of the objectors, one was an adjoining neighbour, one was diagonally opposite, one was two doors down and the other two objections are from further down Sandy Road.
10. A further 21 day consultation was carried out due to clarify the specific description of the development, which expired on the 25<sup>th</sup> July 2021. There were no additional amended plans consulted upon and therefore, no responses were received and the two previous consultation periods are the key considerations for this application.

## OTHER CONSULTATION

11. No other consultation required.

## RELEVANT PLANNING POLICY

12. National Policy
- National Planning Policy Framework (2019)

13. Black Country Core Strategy (2011)
  - CSP4 Place Making
  - ENV2 Historic Character and Local Distinctiveness
  - ENV3 Design Quality
  
14. Dudley Borough Development Strategy
  - L1 Housing Development, Extensions and Alterations to Existing Dwelling
  - S6 Urban Design
  - S8 Local Character and Distinctiveness
  
15. Supplementary Planning Documents / Guidance
  - Parking Standards SPD (2017)
  - PGN 17. House Extension Design Guide
  - PGN 12 The 45 Degree Code

## ASSESSMENT

16. The proposed development must be assessed with regard to its design and whether it would be compatible with the existing dwelling and the character of the area. The potential impact on the amenity of nearby neighbours must also be assessed along with the relevant parking standard requirements.

The key issues are

- Design, Character and Appearance
- Neighbour Amenity
- Access and Parking

### Design, Character and Appearance

17. The proposed siting, scale, design and character of the extensions are considered to satisfactorily relate to the host dwellinghouse. The proposed development would amend the character of the house, although due to the unique housing within this road there would be no detrimental impact to the streetscene. The proposed

extensions maintain the building line of No. 17 Sandy Road and are set behind the building line of No. 11 Sandy Road.

18. The increase of the roof height by 1.2m is considered acceptable as there are existing rooms within the roof and this would therefore be a minor change, relative to the neighbouring two storey dwellings. Although the mass of the property will increase due to the extensions and height, it would not be harmful to the streetscene. An objector commented that the development would be too wide for the plot; however, the width of the single storey part as existing is wider than the proposed development. The additional single storey extension to the side and rear has been removed from the boundary, as the original single storey side had a splayed wall, whereas this development proposes a straight wall. While the rear part of the single storey projection is large with a length around 13m from the original rear wall, the application site benefits from a wide and long plot and therefore an extension such as this is not considered to be uncharacteristic.
19. The amendments to the front of the dwelling would result in a more sympathetic addition than originally proposed, including an appropriately designed front gable and front porch. The materials are proposed to be render to the sides and rear of the dwelling, which is considered to be acceptable, on balance, as they would be unlikely to be seen within the streetscene due to the set-back position of the dwelling. The render was removed from the front to maintain a traditional appearance, although it is noted there are rendered properties within the wider street. There is a portion of stone cladding to the rear extension which would not be seen from the street and would therefore be acceptable.
20. Dudley Borough Development Strategy Policy L1 states that extensions to residential dwellings will be allowed provided they do not adversely affect the character of the area or residential amenity. On assessment of the application is considered that all elements of the scheme outlined above would relate satisfactorily in design terms and there would be no demonstrable harm to the street scene or character and appearance of the area proposal therefore complies with

Dudley Borough Development strategy Policy L1 – Housing Development, Extensions and Alterations to Existing Dwellings.

Neighbour Amenity

21. The increase of the roof height by 1.2m and first floor side extension is not considered to result in a detrimental impact to neighbouring dwellings. The addition of the first floor is to the north of the site, and therefore adjacent to No. 11 Sandy Road. Due to the bend in the road, the position of the extension would be sited a minimum of 1m from the common boundary with No. 11 and a maximum of 5m from No. 11. Along the common boundary on the side of No. 11 Sandy Road is a garage and a shed, and therefore any overshadowing that may occur would be over these buildings that are non-habitable and therefore not sensitive. It is noted there are two windows within the garage, although these windows are unable to be safeguarded as they are non-habitable.
22. No. 11 Sandy Road has a side facing kitchen window that faces the side and is located approximately 2m from the common boundary. This window is sited in front of their existing garage and would not face side wall of the application site, as the extension does not project beyond the front wall of No. 11's garage. Some overshadowing may occur to this window due to the orientation of the properties, although it is not considered to be harmful enough to refuse the application, as side facing windows benefit from borrowed light.
23. The single storey rear projection is not considered to result in a detrimental impact by way of overshadowing or right to light of either neighbouring dwellings, as it is situated a minimum of 2m and maximum of 5m from the closest boundary, which is shared with No. 11 Sandy Road. Additionally, the height of the single storey aspect is a 3.2m flat roof which is a modest height that would not cause overshadowing, due to the distance from the common boundaries.
24. The proposal originally sought permission for rear balconies with the application. These were removed due to privacy concerns and replaced with Juliet balconies, which are appropriate in terms of neighbouring amenity as a Juliet balcony gives an

outlook aspect which is the same as a window. There are no first floor side facing windows proposed to the north elevation, and this will be conditioned to remain this way. There is a first floor side facing window to the south elevation that serves a bathroom and will be conditioned to be obscure glazed and top hung to ensure neighbour amenity.

25. Objectors raised noise regarding the plant room that would serve the proposed pool extension as a potential issue. The plant room is located a minimum of 4m from the common boundary from No. 11 Sandy Road and would not cause any concern in relation to noise disturbance.
26. It is noted that some of the objections to the 10 day consultation raised amenity concerns to the plans, although some of the properties were not from the immediate vicinity and would not be directly affected by this proposal.
27. Therefore, the proposed extensions would not have an adverse effect to the neighbouring occupiers in terms of the receipt of light, the 45 Degree Code, enjoyment, outlook, overshadowing and privacy, and comply with Dudley Borough Development Strategy Policy L1 – Housing Development, Extensions and Alterations to Existing Dwellings, and PGN 17, in relation to protecting the amenity of neighbouring occupiers.

#### Access and Parking

28. The property is situated within a residential street, and proposal does not raise any highway safety concerns as there will be adequate off street parking serving the dwelling.

## **CONCLUSION**

29. The proposed development would be of an appropriate design, scale and appearance that would not have an adverse impact upon the character of the area and would not be detrimental to residential amenity. The proposed development is in accordance with the relevant policies.

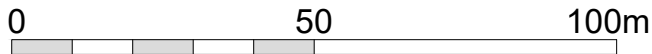
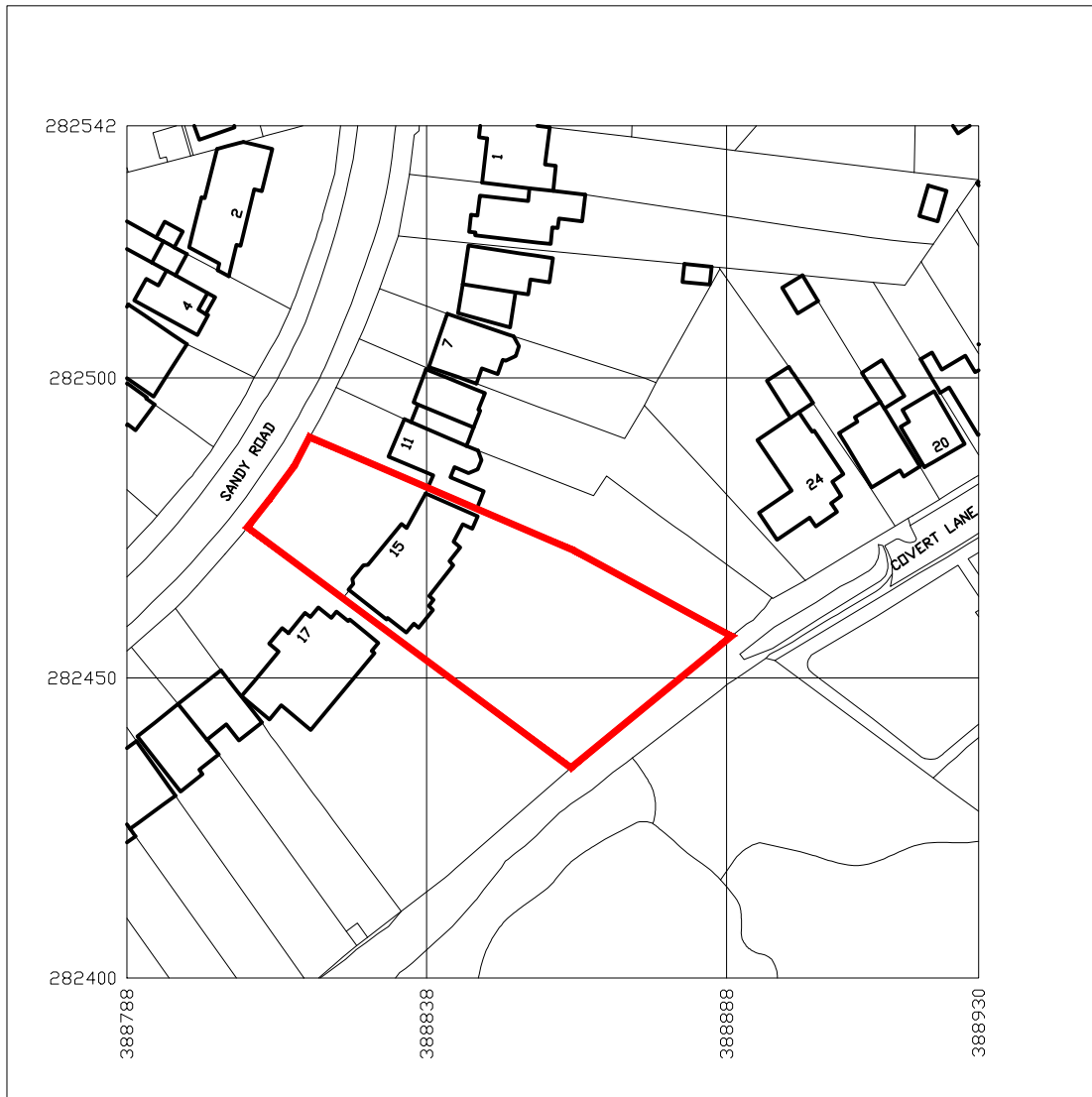


## RECOMMENDATION

It is recommended that the development be APPROVED subject to conditions.

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
REASON: To comply with Section 91 of the Town & Country Planning Act 1990, as amended by Section 51 of the Planning & Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: 106-OS, 106-05c, 106-06d, 106-07a  
REASON: For the avoidance of doubt and in the interests of proper planning.
3. No materials other than those indicated on the approved plans shall be used without the approval in writing of the Local Planning Authority.  
REASON: To ensure the satisfactory appearance of the development in accordance with BCCS Policy ENV2 - Historic Character and Local Distinctiveness and Borough Development Strategy 2017 Policy S6 Urban Design and Policy L1 Housing Development, extensions and alterations to existing dwellings  
Policy D2 Incompatible Land Uses (in part).
4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) the proposed first floor window to be installed in the south (side) elevation of the building shall be:
  - i) obscure glazed,
  - ii) and non-opening, unless the parts of the window which can be opened are top hinged and more than 1.7 metres above the floor of the room in which the window is installed.The windows shall be permanently maintained thereafter as obscure glazed and non-opening.  
REASON: In the interests of the privacy and amenity of surrounding residents and in accordance with Borough Development Strategy 2017 Policy L1 Housing Development, extensions and alterations to existing dwellings.
5. Notwithstanding the provisions of Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (Order) 2015 (England) (or any order revoking or re-enacting that order with or without modification) no additional openings shall be formed in the north (side) elevation of the dwelling without the prior written approval of the Local Planning Authority.  
REASON: In the interests of the privacy and amenity of surrounding residents and in accordance with Borough Development Strategy 2017 Policy L1 Housing Development, extensions and alterations to existing dwellings  
Policy D2 Incompatible Land Uses (in part).



(1:1250 Scale)  
(A4)

Produced on 19 January 2021 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. This map shows the area bounded by 388788,282400 388788,282542 388930,282542 388930,282400. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. Crown copyright 2021. Supplied by copla ltd trading as UKPlanningMaps.com a licensed Ordnance Survey partner (100054135).  
Data licenced for 1 year, expiring 19 January 2022. Unique plan reference: v2c/560532/759225



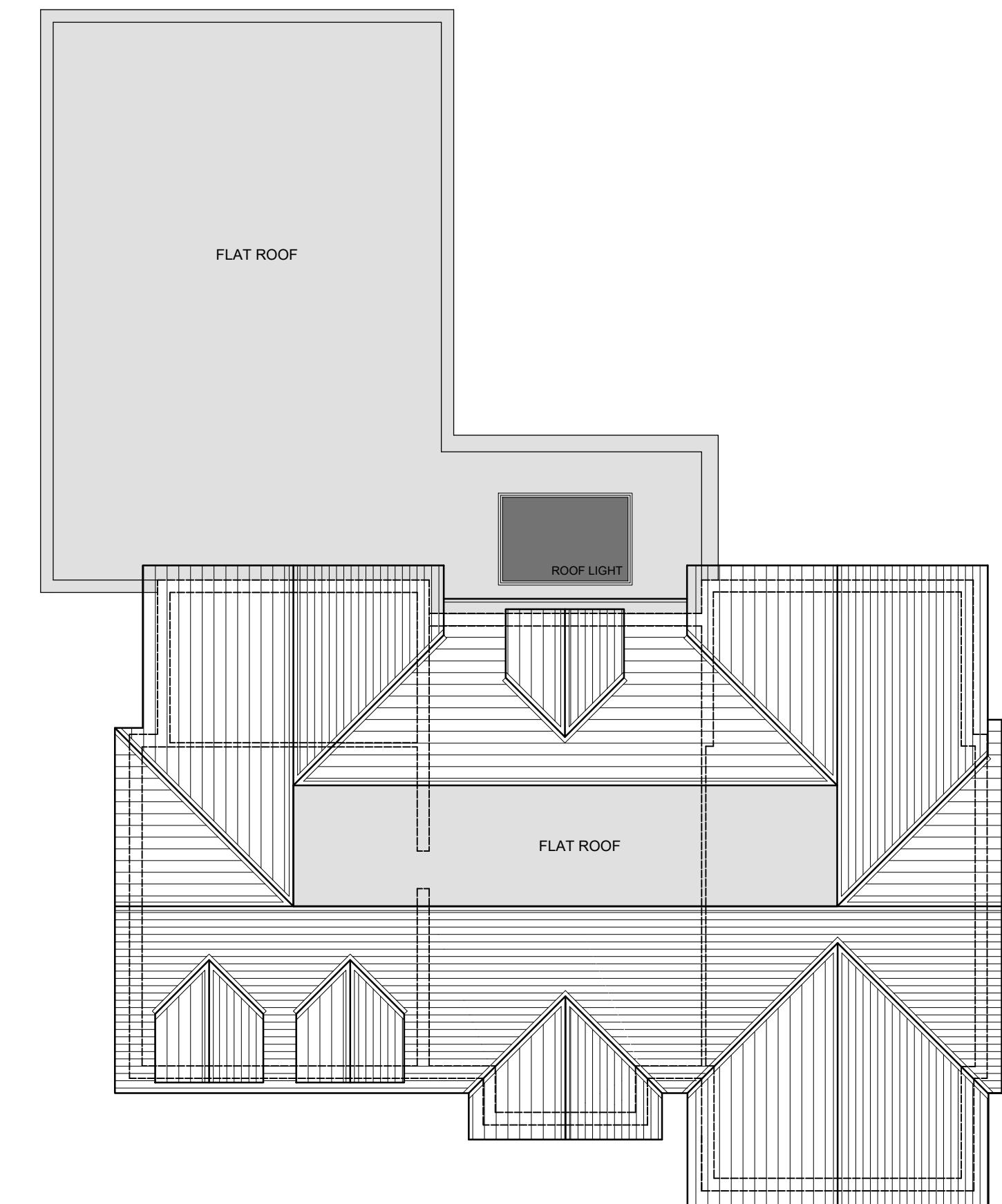
Project  
15 Sandy Road  
Stourbridge  
DY8 3AJ

Drawing No.	Scale.	Date
106-OS	1:1250	Jan. 2021



**SCHEME 02 - GROUND FLOOR PLAN**  
SCALE 1:50

SCALED DIMENSIONS SHOULD NOT BE TAKEN FROM THIS DRAWING, UNLESS FOR THE PURPOSES OF VERIFYING OR DETERMINING ANY PLANNING APPLICATION. CWC TO BE NOTIFIED OF DISCREPANCIES IN FIGURED DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS. THIS DRAWING IS COPYRIGHT.



**SCHEME 02 - ROOF PLAN**  
NTS

REV C: FURTHER AMENDMENTS TO GROUND FLOOR PLAN 24.05.2021  
REV B: AMENDED IN LINE WITH PLANNERS COMMENTS 10.04.2021  
REV A: AMENDED TO SUIT CLIENTS REQUIREMENTS 18.01.2021

**CONSTRUCTION**  
**CONSULTANCY** *TEAM*

Project  
15 Sandy Road  
Stourbridge  
DY8 3AJ

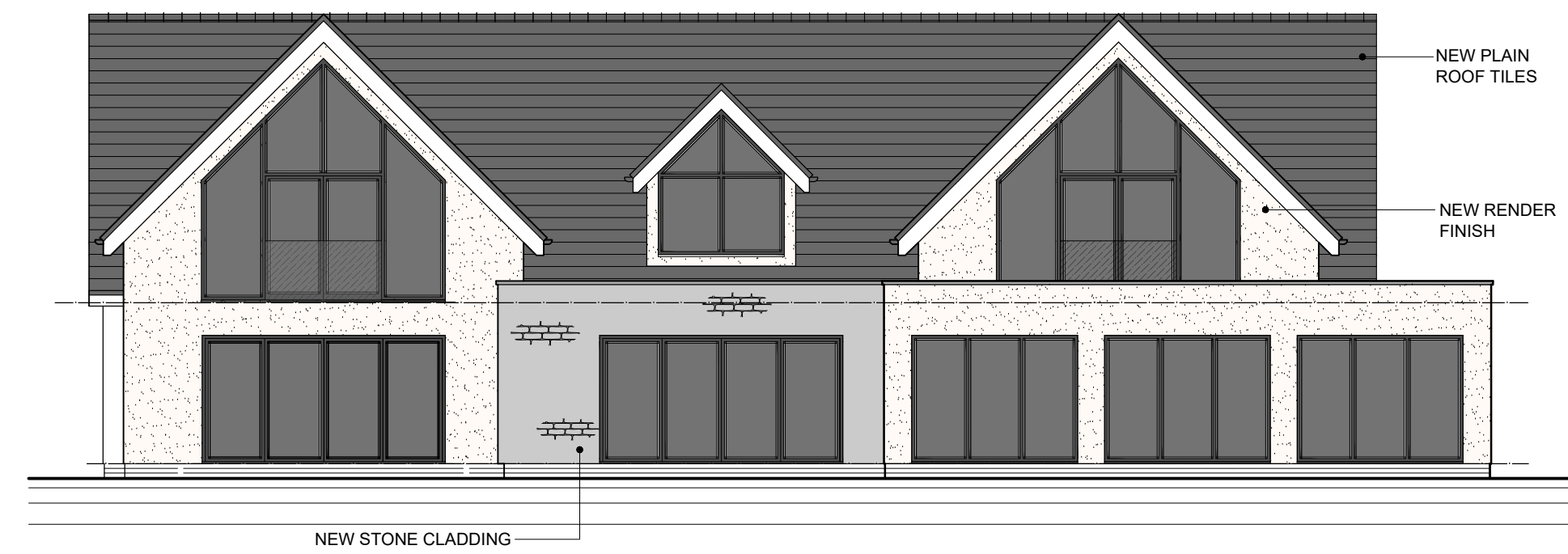
Drawing Title  
Scheme 02: Ground Floor Plan

Drawing No. 106-05c Scale 1:50 @A1 Date Dec. 2020

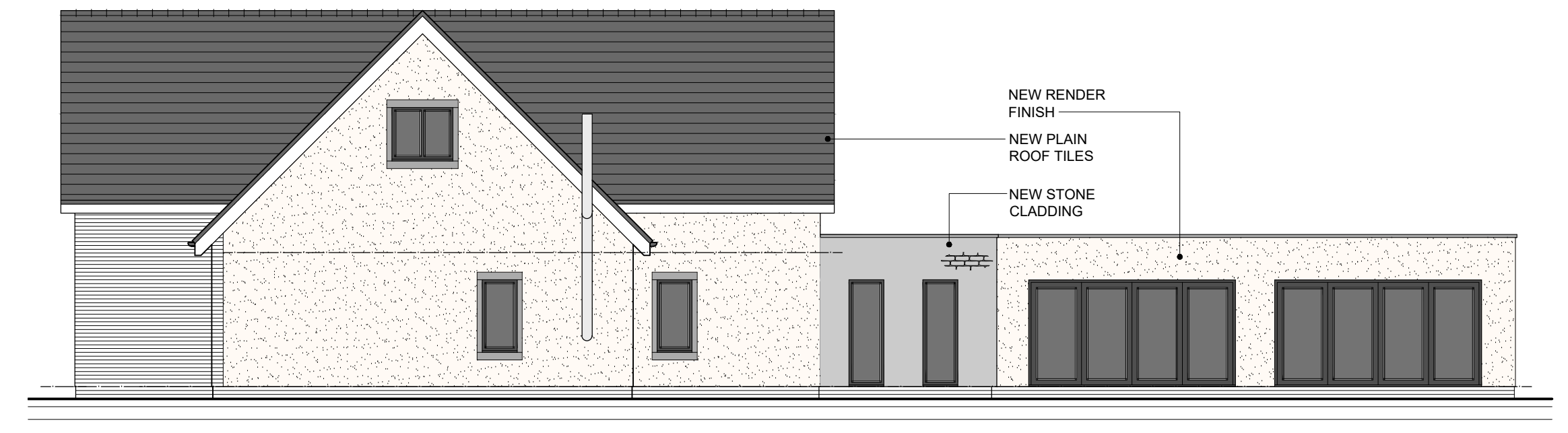
SCALED DIMENSIONS SHOULD NOT BE TAKEN FROM THIS DRAWING, UNLESS FOR THE PURPOSES OF VERIFYING OR DETERMINING ANY PLANNING APPLICATION, CWC TO BE NOTIFIED OF DISCREPANCIES IN FIGURED DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS. THIS DRAWING IS COPYRIGHT.



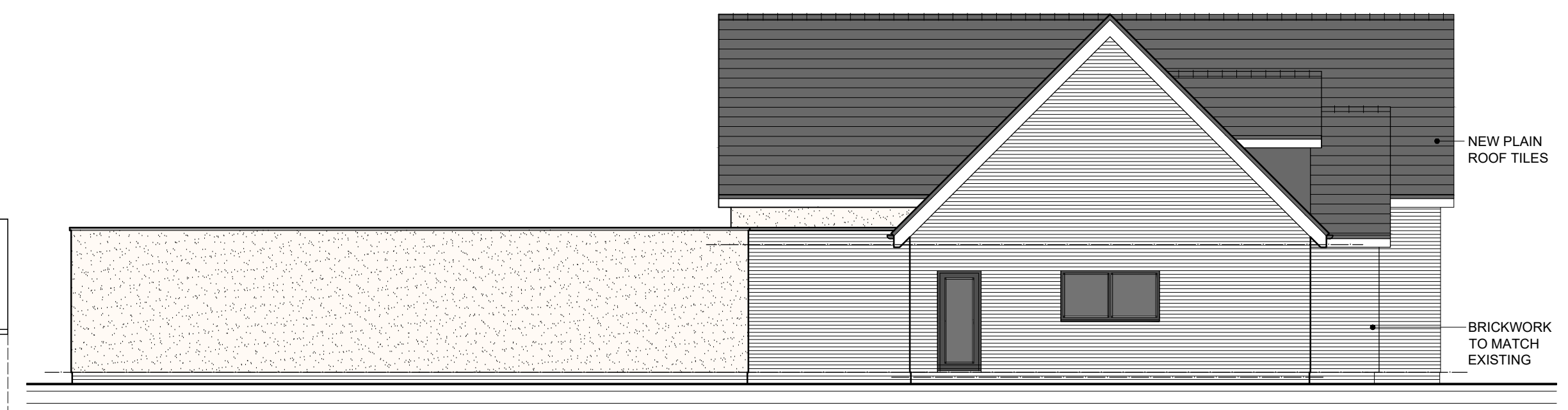
SCHEME 02 - FRONT ELEVATION  
SCALE 1:100



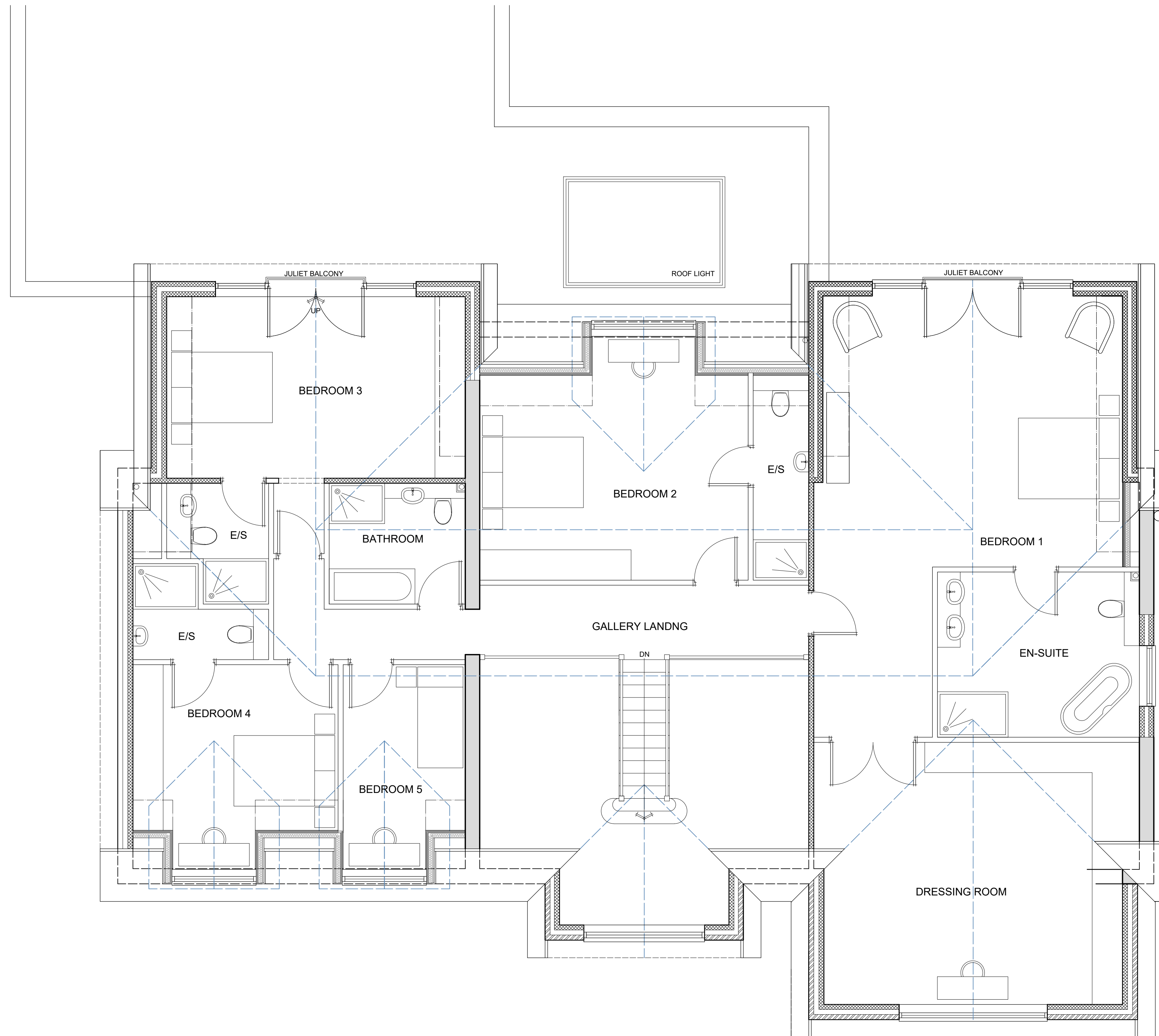
SCHEME 02 - REAR ELEVATION  
SCALE 1:100



SCHEME 02 - SIDE ELEVATION  
SCALE 1:100



SCHEME 02 - SIDE ELEVATION  
SCALE 1:100



SCHEME 02 - FIRST FLOOR PLAN  
SCALE 1:50

0 1 2 3 4 5m  
(1:50 Scale)

REV D: FURTHER AMENDMENTS TO ELEVATIONS 24.05.2021  
REV C: AMENDED IN LINE WITH PLANNERS COMMENTS 10.04.2021  
REV B: FIRST FLOOR SIDE WINDOW ADDED TO ELEVATION 05.02.2021  
REV A: AMENDED TO SUIT CLIENTS REQUIREMENTS 08.01.2021

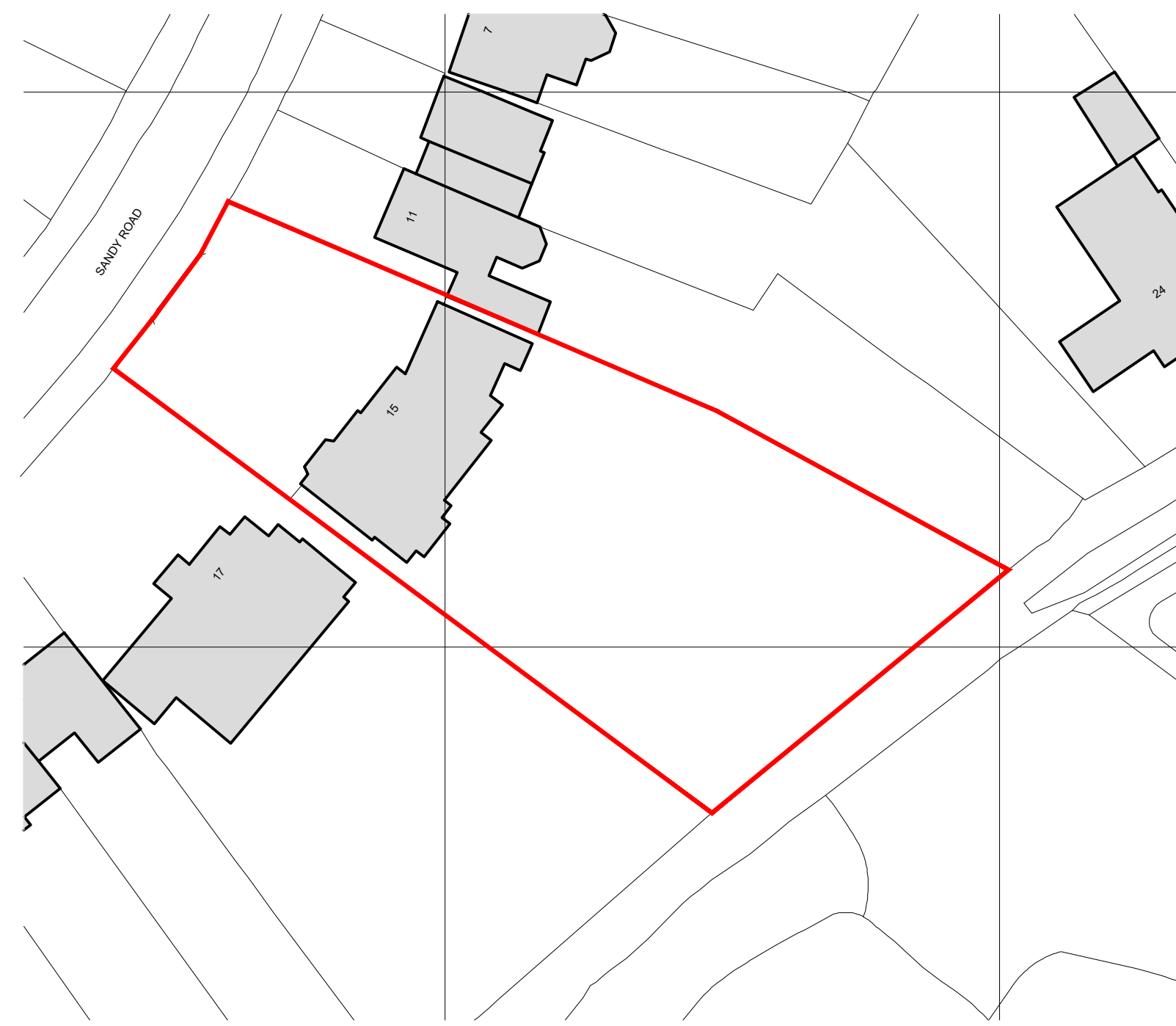
**CONSTRUCTIONWISE**  
CONSULTANCY

Project  
15 Sandy Road  
Stourbridge  
DY8 3AJ

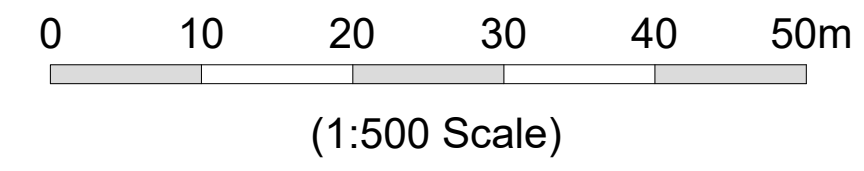
Drawing Title  
Scheme 02: First Floor Plan and Elevations

Drawing No. Scale Date  
106-06d 1:50/1:100 @A1 Dec. 2020

SCALED DIMENSIONS SHOULD NOT BE TAKEN FROM THIS DRAWING, UNLESS FOR THE PURPOSES OF VERIFYING OR DETERMINING ANY PLANNING APPLICATION, CWC TO BE NOTIFIED OF DISCREPANCIES IN FIGURED DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS. THIS DRAWING IS COPYRIGHT.



**EXISTING BLOCK PLAN**  
SCALE 1:500



**PROPOSED BLOCK PLAN**  
SCALE 1:500



**PROPOSED BLOCK PLAN**  
SCALE 1:250

REV A: ADDITIONAL PLAN ADDED 24.05.2021



Project  
15 Sandy Road  
Stourbridge  
DY8 3AJ

Drawing Title  
Existing and Proposed Block Plans

Drawing No. 106-07a Scale: As Noted @A1 Date: April 2021

## PLANNING APPLICATION NUMBER: P21/0533

Type of approval sought	Full Planning Permission
Ward	Halesowen South Ward
Agent	Mr M. Faulkner, TDF Design
Case Officer	Stephanie Hollands
Location:	<b>1, LODGE CLOSE, HALESOWEN, B62 0BG.</b>
Proposal	<b>TWO STOREY SIDE EXTENSION (FOLLOWING DEMOLITION OF EXISTING SNUG AND UTILITY).</b>
Recommendation Summary:	<b>REFUSE</b>

### SITE AND SURROUNDINGS

1. The application site is a detached property located on the corner plot of a cul de sac in a well-established residential area characterised by large detached houses within generous plots. The property to the south west, 2 Lodge Close, stands 2.75m back from the application site. The properties to the north of the application site, 1 and 3 Lapal Lane North are detached houses. 13 Lodge Close (opposite) is a detached bungalow.
  
2. Opposite the site, 13 Lodge Close is a detached bungalow which has a single storey side elevation set back 10.65m from the rear of the pavement.
  
3. 2 and 4 Lapal Lane North are set back 8.4m and 9.7m from the rear of the pavement respectively.
  
4. The property benefits from being previously extended to the side and rear with the erection of a garage and the erection of a boundary wall.

## PROPOSAL

5. This application seeks the approval of the demolition of existing snug and utility and erection of a two-storey side extension to create a 2<sup>nd</sup> lounge with an en-suite bedroom above.
6. The original dwelling stands at 14.8m wide and the proposed extension is 4.9m wide and 7.9m deep with subservience to the original front of the dwelling of 0.9m.

## PLANNING HISTORY

7.

Application	Proposal	Decision	Date
81/52060	Erection of garage	Approved, with conditions	22/10/81
80/50410	Erection of boundary wall	Approved, with conditions	13/03/80
P02/2213	Removal of requirement to comply with approved plans (79/1020) by not providing a visibility splay	Refused	17/03/03
P08/1473	Demolition of existing lounge and utility and erection of a two-storey side extension to create utility/kitchen and lounge with 2 no. en-suite and 1 no. bedroom above.	Refused	10/11/08
P09/1338	Two storey side extension (following demolition of utility and snug) (Resubmission of	Refused	20/11/2009

	refused application P08/1473)		
P12/0152	Single storey rear extension	Approved with Conditions	14/03/12
P12/0637	Single storey rear extension (Resubmission of approved application P12/0152)	Approved with Conditions	27/06/2012

8. P08/1473 reasons for refusal:

- The proposed development would by virtue of its design, scale and massing in relation to the original dwelling, dominate the existing property and appear as an obtrusive feature in the street scene, contrary to Policy DD4 of the Unitary Development Plan (2005) and Planning Guidance Note 17 – House Extension Design Guide.
- The proposed development would project beyond the building lines of neighbouring properties and erode the currently open character of the corner location thus having a detrimental impact on the visual amenity of the area contrary to Policy DD4 of the Unitary Development Plan (2005) and Planning Guidance Note 17 – House Extension Design Guide.

9. P09/1338 reasons for refusal:

- The proposed development would by virtue of its design, scale and massing in relation to the original dwelling appear as an obtrusive and unduly prominent feature in the street scene to the detriment of the character and amenities of the area, contrary to Policy DD4 of the Unitary Development Plan (2005) and Planning Guidance Note 17 – House Extension Design Guide.
- The proposed development would project beyond the established building lines of neighbouring properties and erode the currently open character of the corner location thus having a detrimental impact on the visual amenity of the area contrary to Policy DD4 of the Unitary Development Plan (2005) and Planning Guidance Note 17 – House Extension Design Guide.



## PUBLIC CONSULTATION

10. A total of 9 neighbours have been consulted and one response has been received from an occupier of Lapel Lane North. Concerns have been raised on the grounds of:
  - Size of the extension because it will project beyond the boundary wall and will therefore breach the visibility splay line.
11. Councillor Vickers has indicated support for the application, on the following grounds:
  - fits the local scene, is perfectly acceptable in building regulations and will be an asset to the area. Cllr Vickers has referred the application to Development Control committee in accordance with the Council's constitution.

## OTHER CONSULTATION

12. Head of Planning and Regeneration (Tree Protection): Further information required.

## RELEVANT PLANNING POLICY

13. National Planning Policy Framework (NPPF) 2019
14. Black Country Core Strategy (2011)
  - CSP4 Place making
  - ENV2 Historic Character and Local Distinctiveness
  - ENV3 Design Quality
15. Dudley Borough Development Strategy (2017)
  - S1 Presumption in favour of Sustainable Development
  - S6 Urban Design
  - L1 Housing Development, extensions and alterations to existing Dwellings
  - S22 Mature Trees and Woodland

16. Supplementary Planning Documents / Guidance

- PGN 12 - The 45 Degree Code.
- PGN 17 - House extension design guide
- Nature Conservation SPD

## ASSESSMENT

17. The proposed development must be assessed with regard to its design and whether it would be compatible with the existing dwelling and the character and appearance of the surrounding area. The potential impact on the amenity of nearby neighbours must also be assessed along with the relevant parking standard requirements.

18. The key issues are:

- Policy
- Design
- Neighbour amenity
- Trees
- Parking

### Policy

19. Policy ENV2 – Historic Character and Local Distinctiveness – of the Black Country Core Strategy outlines that development proposals will be required to preserve and enhance local character and those aspects of the historic environment together with their settings which are recognised as being of special historic, archaeological, architectural, landscape or townscape quality. The policy outlines that this includes areas of extensive lower density suburban developments of the mid-20th century including public housing and private developments of semi-detached and detached housing as being one which requires special attention.

20. Dudley Borough Development Strategy Policy S6 – Urban Design states that a proposed extension must make a positive contribution to the character and appearance of the area with appropriate massing and bulk.

21. Dudley Borough Development Strategy Policy S22 Mature Trees and Woodland states development which would adversely affect Ancient Woodland and Ancient Trees will not be permitted, and measures will be taken to restore these areas, and where appropriate, expand them with new complementary planting, particularly to encourage linked woodland areas. In addition, the Council will ensure that other woodland as well as ancient, notable or veteran trees are protected and will seek to encourage the appropriate management of existing trees and woodland, and additional tree planting. Where trees are affected by development, applicants will be required to provide full details of any impact. Proposals involving the loss of mature and semi-mature trees will normally be required to include replacement tree planting. The Council will require that native species of local provenance are used in planting and landscaping wherever possible. A list of suitable species can be found in Dudley Council's adopted Nature Conservation SPD.
22. Policy L1 Housing Development, Extensions and Alterations to Existing Dwellings of the Dudley Borough Development Strategy, amongst other things, outlines that extensions should be in scale and balance with the whole of the original building; and the design of which should be of an appropriate form, siting, scale, and mass, with the use of appropriate materials, which respect and are responsive to the context and character of the surrounding area. It further outlines that all extensions must not cause unacceptable harm to the amenities of the occupiers of neighbouring dwellings, including harm arising from loss of privacy, outlook and sunlight, taking into account factors such as levels, orientation and the separation of development.
23. Para. 2.1 of Planning Guidance Note No. 17 (PGN 17) – House Extension Design Guide states that “The Council seeks to ensure that house extensions and alterations: -
- Relate to the character of the original house in terms of scale, materials and design details.
  - Do not harm the occupiers of adjacent properties, i.e. daylight, outlook, privacy.

- Are of a high standard of design and layout and are compatible with the character of the surrounding area”.

24. Para. 4.4 of Planning Guidance Note No. 17 (PGN 17) – House Extension Design Guide states two storey extensions to corner properties will be required to take into account the visual impact upon the side road and not be unduly prominent nor out of character in the street scene.

### Design

25. The proposed side extension would not be appropriate in terms of design, scale and massing in relation to the existing dwelling. Although the proposal features a step back at the front of the property at both ground floor and first floor level it is considered that the extension as proposed would dominate the existing property due to the excessive width, which would not integrate with the original dwelling.
26. In addition to the issue of massing, it is also considered that due to the position of the application property and the high visibility of its front, side and rear elevations from Manor Lane, Lapal Lane North and Manor Abbey Road there would be a detrimental effect on the visual amenity of the area due to the prominence and siting of the inactive side elevation fronting Lapal Lane North. It is considered that any extension towards the boundary and forward of the established building line with Lapal Lane North would negatively impact on the openness of the corner plot to the detriment of the wider street scene.
27. The application property is located on a prominent corner plot and although there is an existing single storey side extension in this location, which has a notable lesser impact due to its size and scale, it is considered that the principle of two storey side extension in this location is not considered acceptable. This would be due to the proposed two storey extension creating a highly visible, overly prominent addition that would undermine the original design and proportions of the property and would dominate the corner setting, thereby, detracting from the wider street scene. Therefore, the proposal would fail to comply with planning policies, particularly

PGN17 which seeks to ensure extensions to existing dwellings are appropriate in scale and character to that of the host dwelling.

28. It is also worth noting that since both previous refusals P08/1473 and P09/1338 of very similar proposals in terms of location, scale, mass and design the same relevant guidance remains in place (PGN 17 - House extension design guide).

#### Neighbouring amenity

29. The proposed scale and massing of the extension would have a detrimental impact on the character and visual amenity of Lodge Close, because it is considered that the projection of the side extension would be beyond that of the existing building lines of 13 Lodge Close and 2 and 4 Lapal Lane North therefore appearing as an incongruous and intrusive feature in the street scene that erodes the currently open character of the corner locations, contrary to the Council's Planning Guidance Note 17 – House Extension Design Guide and Policy L1 Housing Development, Extensions and Alterations to Existing Dwellings of the Dudley Borough Development Strategy.
30. The application property occupies a corner plot meaning there would be no direct negative impact in terms of outlook and 45 Degree Code Guidelines on the occupiers of neighbouring properties as a result of the proposed development.

#### Trees

31. The application site boundary to the side and rear on this prominent corner plot is lined with tree hedging and individual trees. Although not protected, there are existing trees within the vicinity of the proposed development. The constraints posed by the vegetation are not identified on the plans and the potential loss of these trees as part of the boundary treatment would have a detrimental impact on the application site, wider street scene and surrounding area contrary to Borough Development Strategy Policy S22.
32. The Tree Preservation Team have stated in the absence of constructive detail in order to assess the application from an arboricultural perspective, a detailed arboricultural assessment is required in accordance with BS5837:2012. The

submitted report should address what impact the proposal will have on the protected trees and provide details in terms of how the existing snug and utility area will be demolished, and the new extension will be constructed without having a negative and detrimental impact on the longevity of the trees and their contribution to the immediate and wider landscape aspect.

#### Parking

33. The existing garage and spaces on the driveway will remain to provide adequate car parking to the side of the property to comply with Council Policy Guidelines without having any detrimental impact on the wider street scene.

### CONCLUSION

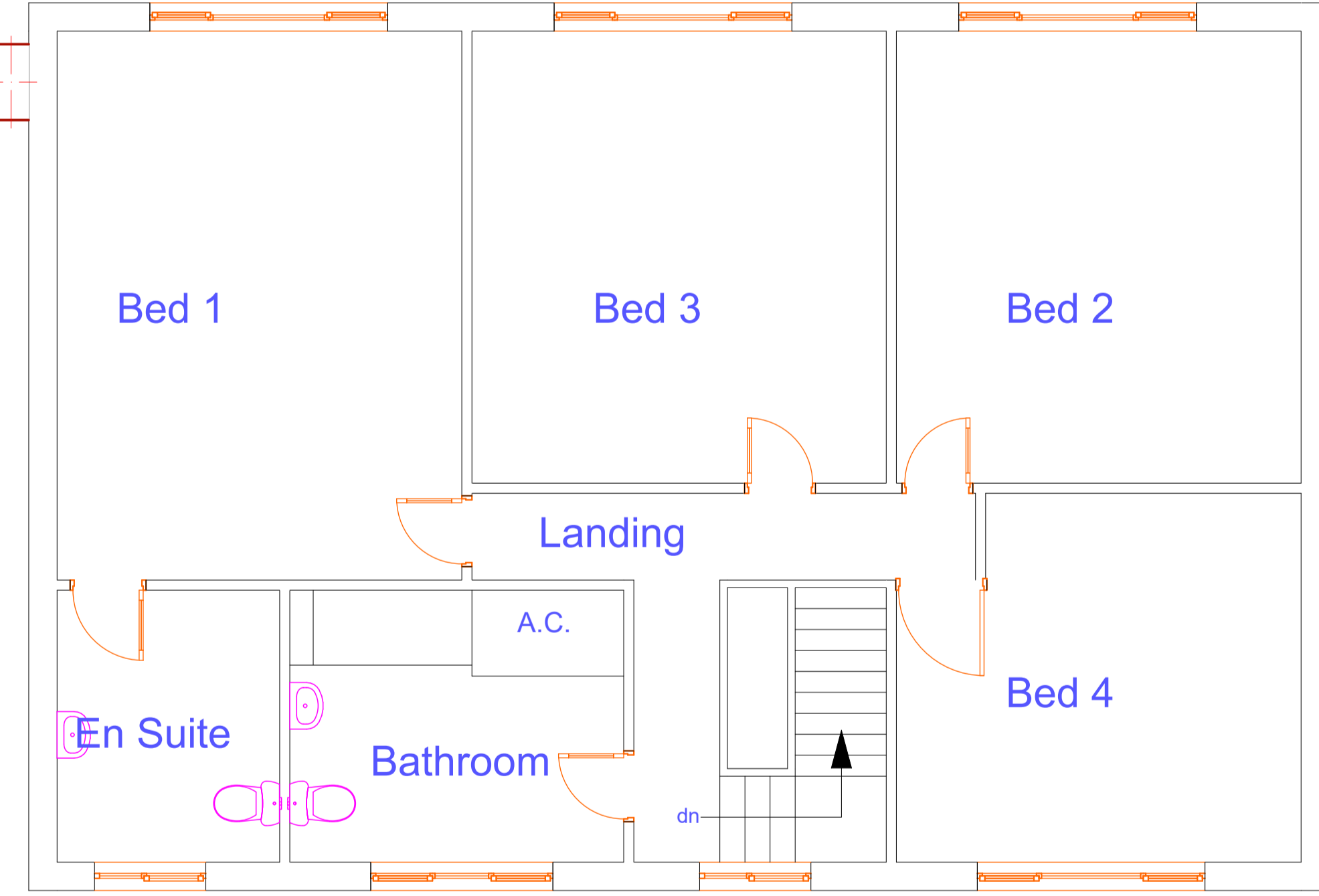
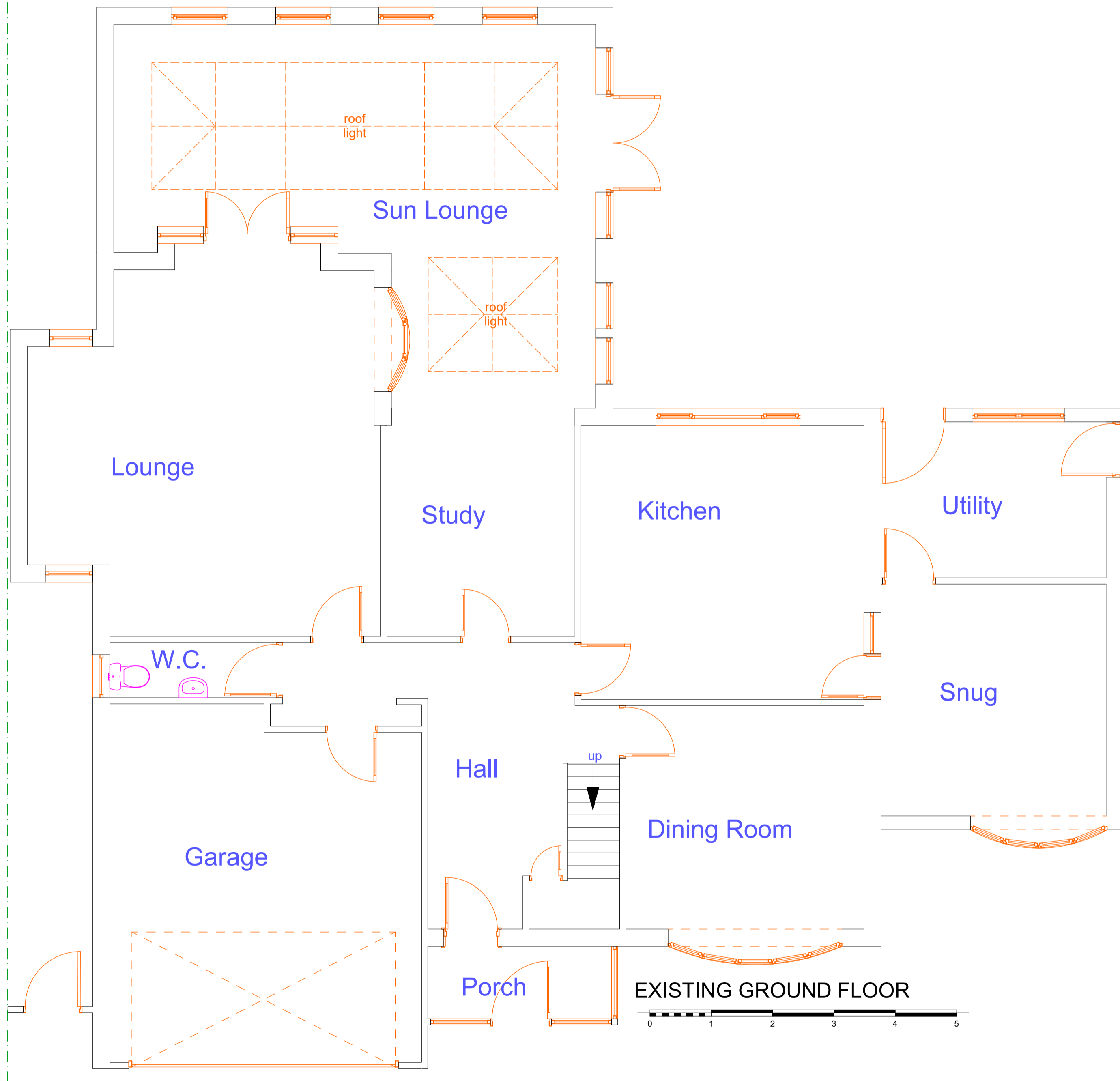
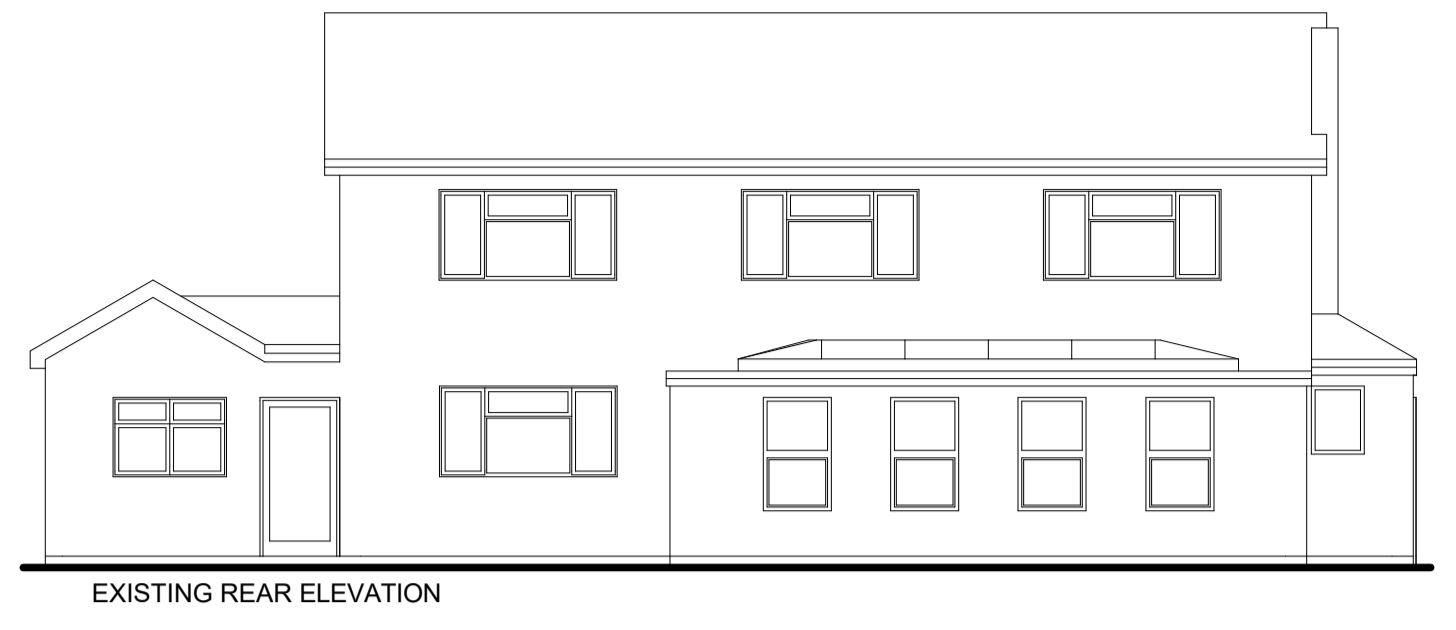
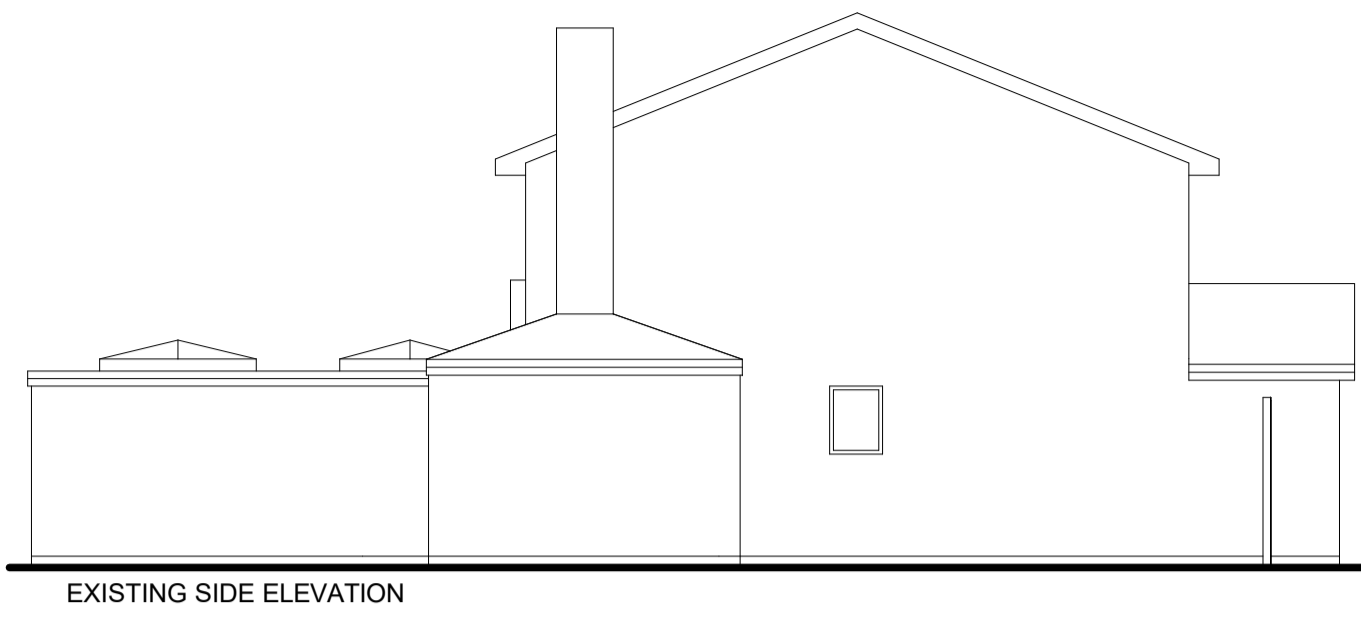
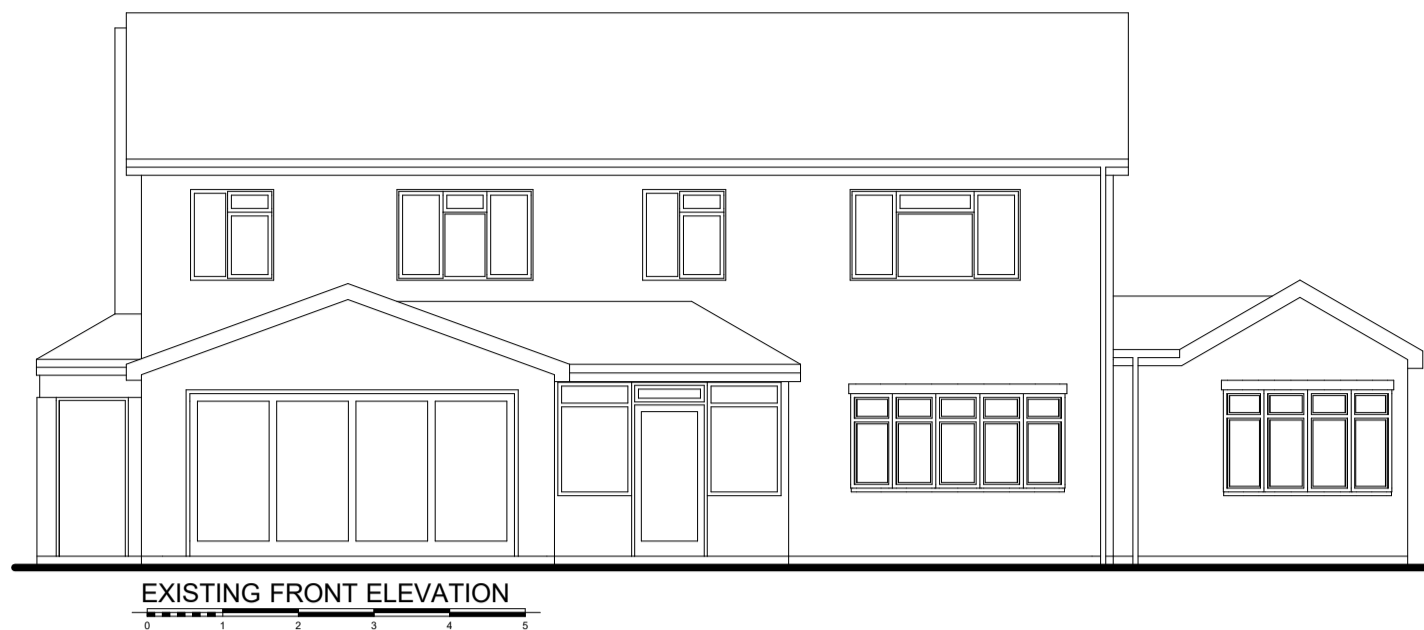
34. Due to its scale and massing the proposed extension would dominate the original dwelling and appear as an incongruous feature within the street scene. Although no loss of residential amenity, there is an impact and subsequent loss of visual amenity to the area caused by the proposed development. It is considered that the mass of the proposed side elevation with proposed gable end would overbear the street scene resulting in a detrimental visual appearance of the property and the character of the area. In addition to which, the proposed side elevation would project beyond the building lines of properties at 13 Lodge Close and 2 and 4 Lapal Lane North and therefore not be in keeping with the current street scene. The proposed development is therefore in contravention policies contained within ENV2 of the Black Country Core Strategy (2011), Policies S6, S22 and L1 of the Dudley Borough Development Strategy (2017) and Planning Guidance Note 17 (The House Extension Design Guide).

### RECOMMENDATION

35. It is recommended that the application is REFUSED for the following reasons.

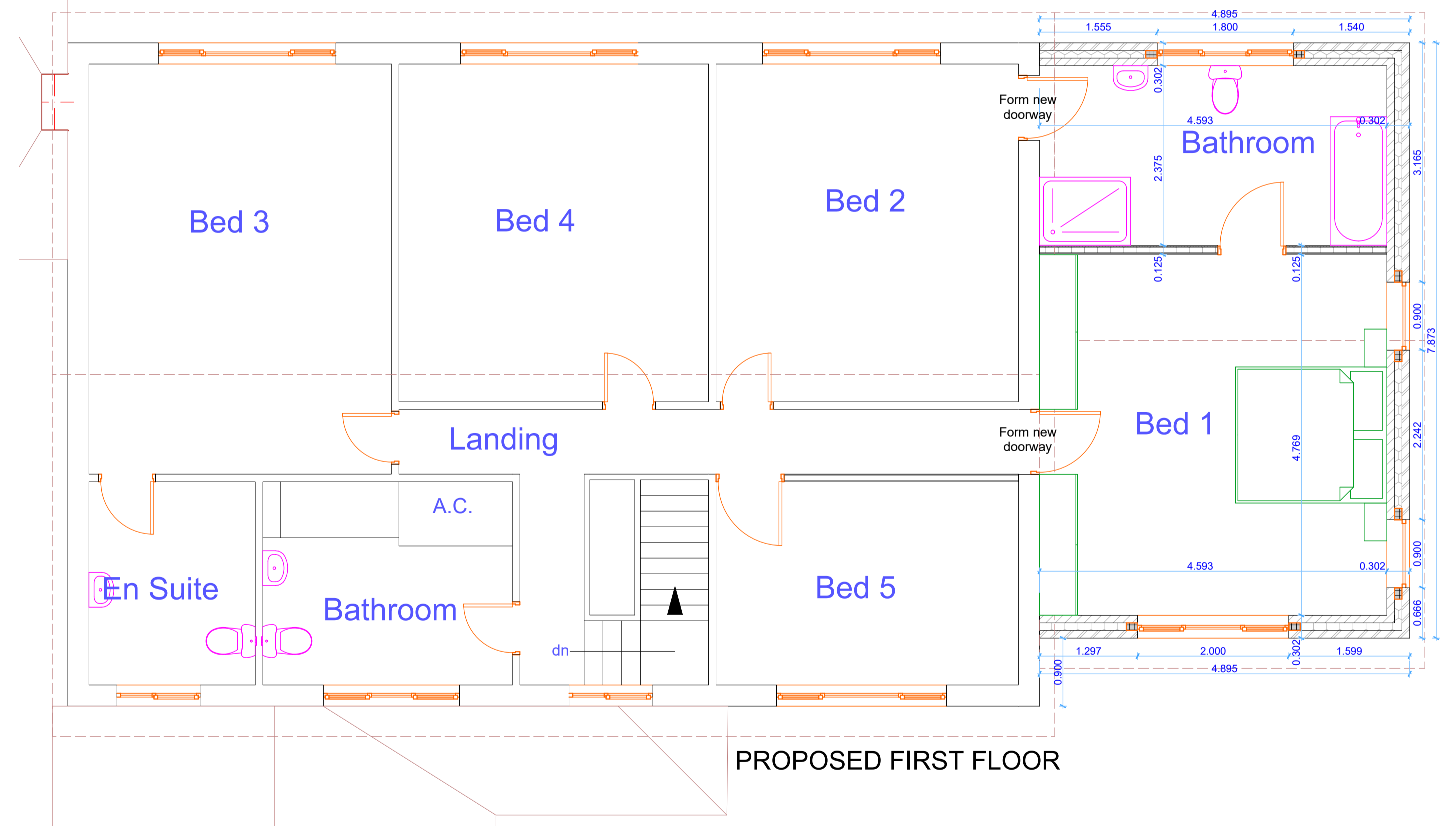
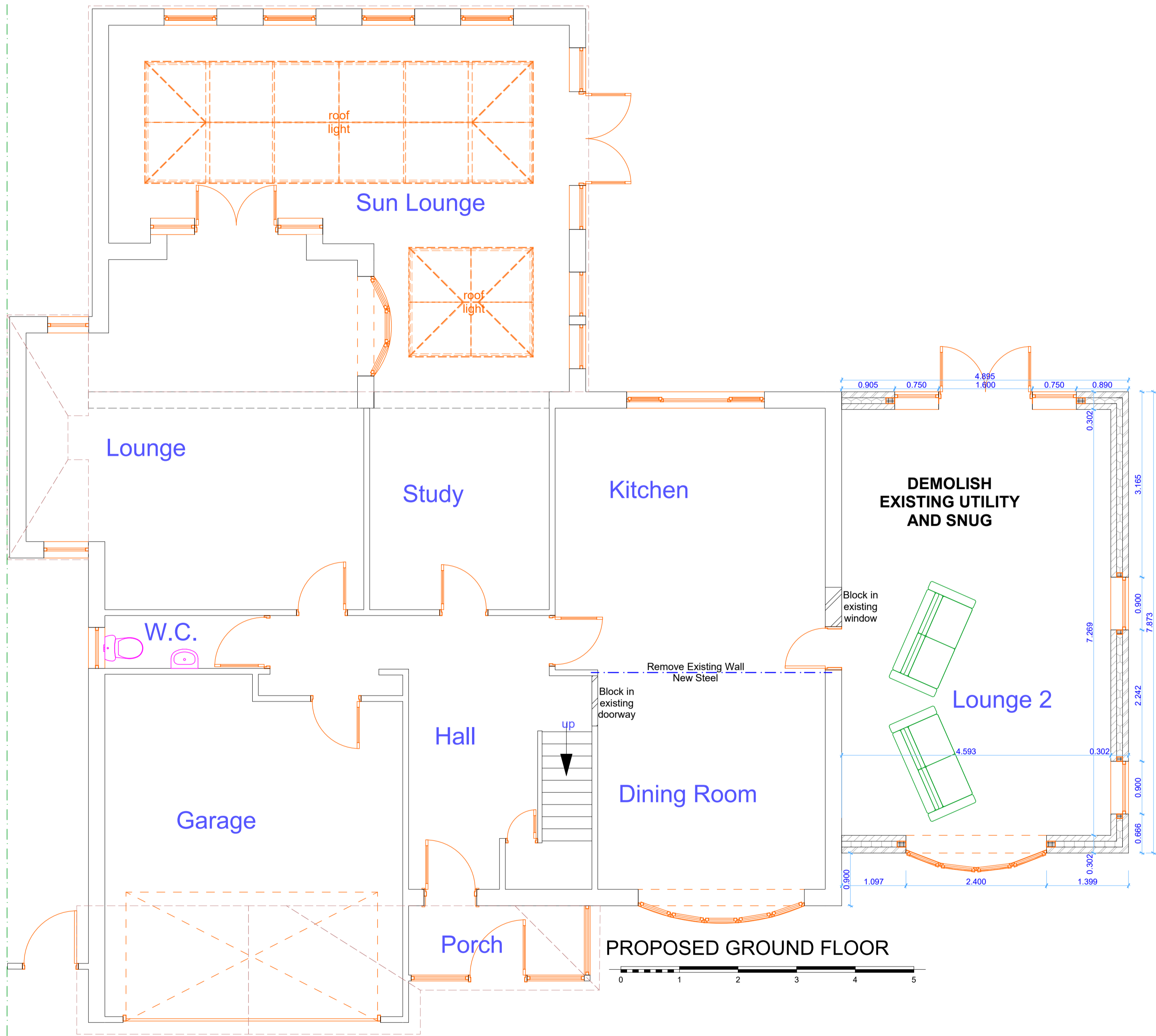
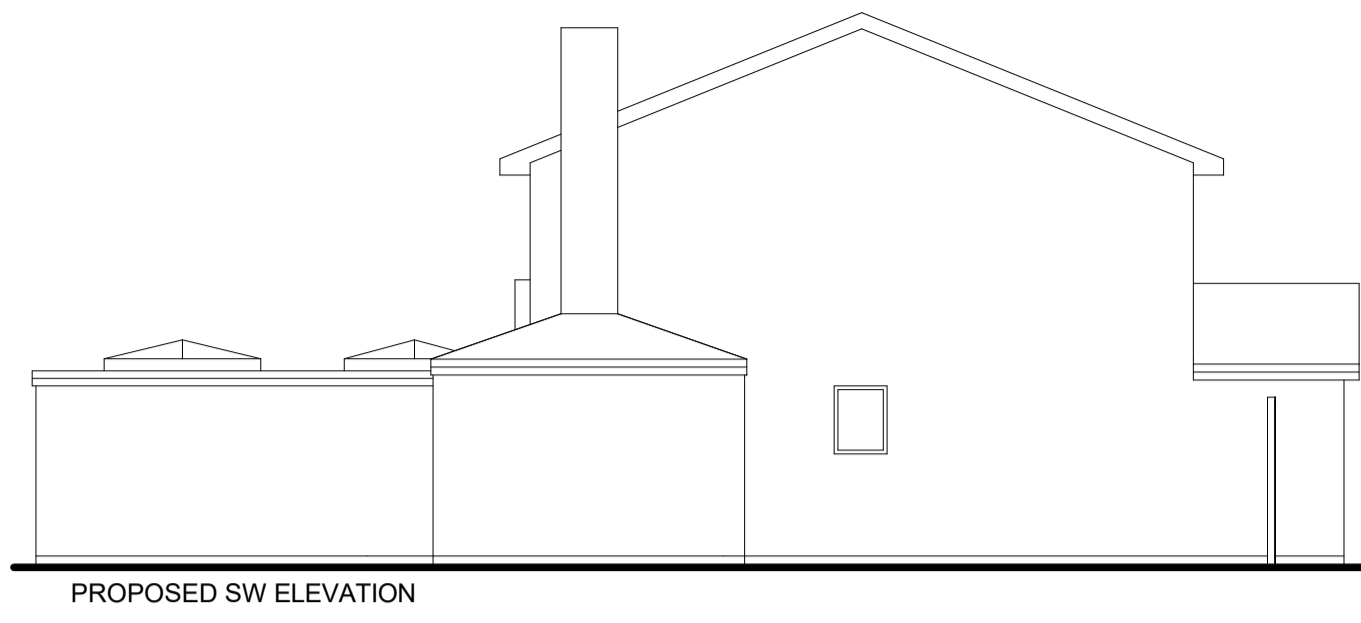
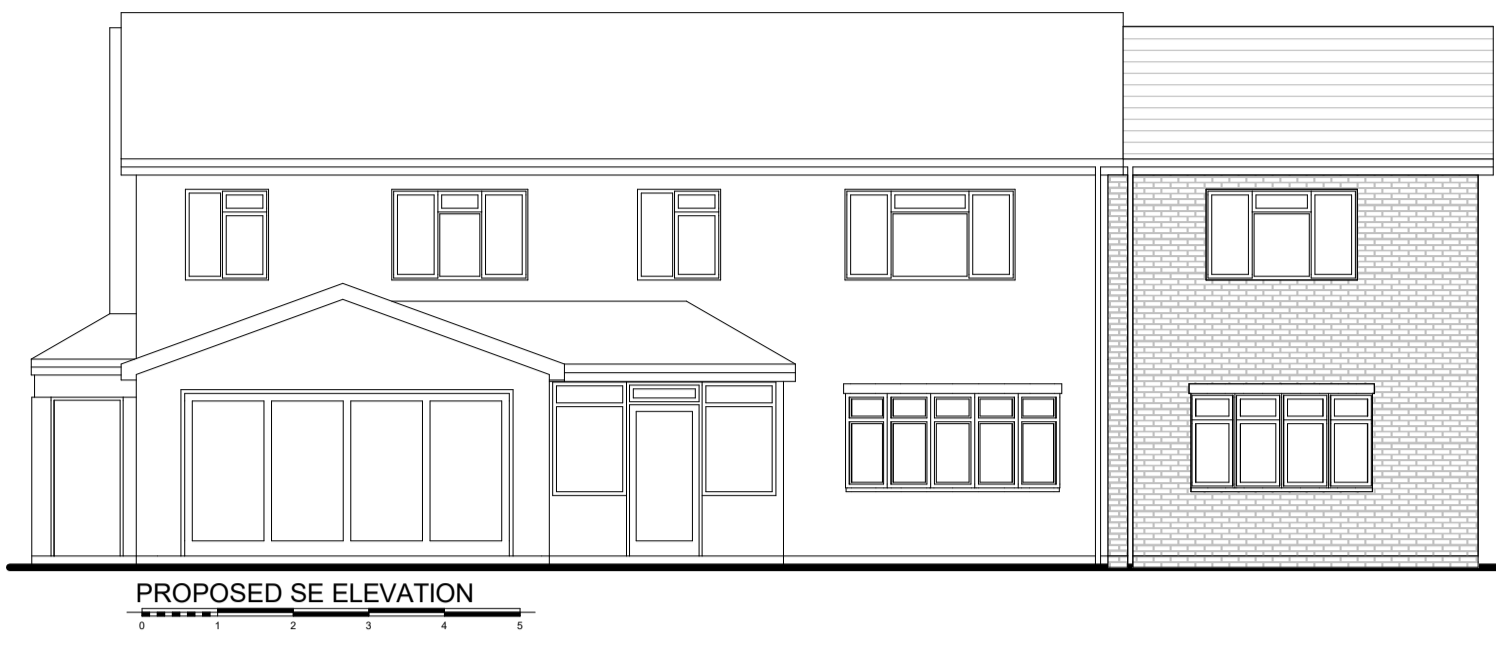
Conditions and/or reasons:

1. The proposed development by virtue of its design, scale and massing in relation to the original dwelling, would dominate the existing property and appear as an obtrusive feature in the street scene, contrary to Policy ENV2 of the Black Country Core Strategy (2011), Policies S6, and L1 of the Dudley Borough Development Strategy (2017) and Planning Guidance Note 17 (The House Extension Design Guide).
2. The proposed development would project beyond the building lines of neighbouring properties and erode the currently open character of the corner location thus having a detrimental impact on the visual amenity of the area contrary to Policy ENV2 of the Black Country Core Strategy (2011), Policies S6, and L1 of the Dudley Borough Development Strategy (2017) and Planning Guidance Note 17 (The House Extension Design Guide).
3. There are insufficient details submitted in regards to justifying the loss of existing trees, or the impact of adjoining mature trees and subsequent mitigation and replacement contrary to Borough Development Strategy Policy S22.



REV	a	Title block altered	1-4-21
<small>This drawing is the sole copyright of TDF Design Limited and should not be reproduced in part or whole without permission. This drawing is for Planning and or Building Regulations submissions only unless stated otherwise.</small>			
		202 Spies Lane, Halesowen, West Midlands, B62 9SW Tel: 0121 602 6581 Fax: 0121 602 6586 Mobile: 07973 663290 Email: tdfdesign@aol.com	
1 LODGE CLOSE HALESOWEN WEST MIDLANDS B62 0BG			
PROPOSED TWO STORY SIDE EXTENSION			
Drawing No	1962.01	Date	OCT 2020
Scale	1:50, 1:100, 1:	Drawn by	MF





REV	a	Title block altered	1-4-21
This drawing is the sole copyright of TDF Design Limited and should not be reproduced in part or whole without permission. This drawing is for Planning and or Building Regulations submissions only unless stated otherwise.			
 202 Spies Lane, Halesowen, West Midlands, B62 9SW Tel: 0121 602 6581 Fax: 0121 602 6586 Mobile: 07973 663290 Email: tdfdesign@aol.com			
1 LODGE CLOSE HALESOWEN WEST MIDLANDS B62 0BG			
PROPOSED TWO STORY SIDE EXTENSION			
Drawing No	1962.02	Date	OCT 2020
Scale	1:50, 1:100	Drawn	MF

## PLANNING APPLICATION NUMBER: P21/1035

Type of approval sought	Full Planning Permission
Ward	Kingswinford South Ward
Agent	Mr Aymen Mahgoub, Spectrum Management & Services Ltd
Case Officer	Stephanie Hollands
Location:	<b>86, LAWNSWOOD ROAD, WORDSLEY, STOURBRIDGE, DY8 5NA.</b>
Proposal	<b>CHANGE OF USE FROM WASHETERIA TO HOT FOOD TAKEAWAY (SUI GENERIS) WITH NEW SHOP FRONT AND EXTRACTION SYSTEM (RESUBMISSION OF REFUSED APPLICATION P21/0492).</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

### SITE AND SURROUNDINGS

1. The application property related to this application is currently vacant previously in use as a washeteria, self-service laundry (Sui Generis).
  
2. The property is situated on the ground floor at the end of a small parade of shops on Lawnswood Road. The parade of shops have commercial uses at ground floor, with residential uses above. The residential properties gain access to the rear and have habitable accommodation towards the front aspect of the units, overlooking the parking area. The wider area of the site is predominantly residential.
  
3. The parade of shops has parking situated to the front, with a larger parking area towards the east of the parade, adjacent to The Lawnswood public house.
  
4. Access is available to the parade from both Lawnswood Road and off Middleway Avenue.
  
5. The property is not situated within an area subject to any planning designations.

## PROPOSAL

6. Change of use from washeteria to hot food takeaway (Sui Generis) with new shop front and extraction system to rear.
7. The entrance to the first-floor flat is from the rear and would remain as existing with a slight reduction in width of one first floor rear window to accommodate the enclosed extraction flue is proposed to the rear. Material of the proposed flue enclosure would match the existing.
8. The application form states the proposed opening hours would be 09:00 to 23:00 Monday to Saturday and 10:00 to 20:00 Sunday and Bank Holidays. It is intended to employ 4 full time members of staff and 2 part time members of staff.
9. The shared access and parking area to the front would remain as existing.

## PLANNING HISTORY

10.

<b>Application No.</b>	<b>Description</b>	<b>Decision</b>	<b>Date</b>
P21/0492	Change of use from washeteria to hot food takeaway (Sui Generis) with new shop front and extraction system to rear.	Refused	17/05/2021

11. P21/0492 Reasons for refusal:

- The proposed extract flue and associated elevational changes by way of the proposed timber screen would have a detrimental impact on the occupier of the first-floor residential accommodation by way of loss of daylight and outlook. The

proposed developed is there considered to be contrary to Policies D2 (Incompatible Land Uses); D5 (Noise Pollution) and D9 (Hot Food Takeaways) of the Dudley Borough Development Strategy 2017, Policy ENV 3 Design Quality of the Black Country Core Strategy and guidance contained within the National Planning Policy Framework 2019.

- The proposed extract flue and timber screen would constitute incongruous additions to the host property being both out of character and visually obtrusive to the detriment of the visual amenity of the area and wider street scene. The proposed developed is there considered to be contrary to Policies D2 (Incompatible Land Uses); D5 (Noise Pollution) and D9 (Hot Food Takeaways) of the Dudley Borough Development Strategy 2017, Policy ENV 3 Design Quality of the Black Country Core Strategy and guidance contained within the National Planning Policy Framework 2018.

## PUBLIC CONSULTATION

12. The application was advertised by way of a site notice being displayed and direct neighbour notification. One letter of objection has been received with the following concerns:
  - Public health grounds
  - Should not allow fast food outlets next to schools
  - Increases littering
  - The area does not need another fast-food outlet
  - Anti-social behaviour
13. It is noted the address of the objector is not located within the immediate vicinity of the application site.
14. Councillor Miller has objected to the application with the following comments:
  - It seems virtually the same as P21/0492 which was recently refused. The same comments as before apply.
  - It is out of character with the area near to good quality private houses.

- Fast food outlets should not be allowed by schools there is a Primary School opposite.
- The smells from this establishment will cause problems to neighbours especially those living in flats above the shops. Environmental Services state that the flue is not correct
- The residents are not happy that the signs for this application is not by the shop on lampposts but out on the pavement where not many people pass.

15. Councillor Miller has the following further comments:

- It is opposite a Primary School Belle Vue and believe that we should not have fast food outlets near to schools to help promote healthy eating. There is already a chip shop in this row of shops which causes noise, smells, and litter problems to residents.
- The properties in the area are high quality residences and pay a considerable amount of Council Tax. The litter bins are constantly full in this row of shops and another fast-food outlet will increase litter plus the pizza boxes are large and will not fit into bins so possibly causing rats and vermin in the neighbourhood

16. Councillor Harley has also objected to the application with the following comments:

- I also support Cllr Miller and his opposition to this development. It is almost identical to the previous application. I absolutely agree that fast food outlets should not be opened near to the proximity of schools.

17. Following concerns raised by the Environmental Safety and Health Team with regards to the proposed flue, amended plans have been sought and submitted to overcome these concerns.

## OTHER CONSULTATION

18. Highways: No objections and recommend approval.

19. Environmental Safety and Health Team: Following the consultation response from Environmental Safety and Health dated 6<sup>th</sup> July 2021, amended plans have been submitted that show the extraction flue discharging at a height of at least 1 metre above the roof level of the main building – No objection to the proposed development and suggests a number of safeguarding conditions to limit noise and air pollution.

## RELEVANT PLANNING POLICY

20. National Planning Guidance
- National Planning Policy Framework
  - Technical Guidance to the National Planning Policy Framework (2012)
  - Planning Practice Guidance (2014)
  - Community Infrastructure Levy Regulations (as amended) (2014)
21. Black Country Core Strategy (2011)
- DEL1 Infrastructure Provision
  - ENV2 Historic Character and Local Distinctiveness
  - CSP4 Place Making
  - CSP5 Transport Strategy
  - CEN6 Meeting Local Needs for Shopping and Services
  - TRAN2 Managing Transport Impacts of New Development
  - TRAN5 Influencing the Demand for Travel and Travel Choices
  - ENV 3 Design Quality
  - CSP1 The Growth Network
  - CSP2 Development Outside the Growth Network
22. The Dudley Borough Development Strategy (2016)
- S1 – Presumption in favour of Sustainable Development
  - S2 Planning for a Healthy Borough
  - S8 - Conservation and Enhancement of Local Character and

- Distinctiveness
- S6 - Urban Design
- S17 – Access and Impact of Development on the Transport Network
- D2 – Incompatible Land Uses
- D5 – Noise Pollution
- D9 – Hot Food Takeaways
- L12 Shop Front Security

23. Supplementary Planning Documents

- Access for All Supplementary Planning Document
- CIL Charging Schedule (2015) (updated 2017)
- Parking Standards Supplementary Planning Document (2016)
- Planning for Health SPD (2013)
- PGN 5 – Retail frontages

## ASSESSMENT

24. The key issues in determination of this application are:

- Principle/Policy
- Design and appearance
- Amenity issues
- Highway safety
- Financial Material Considerations

Principle/Policy

25. The application site does not have a designation in the Dudley Borough Development Strategy (2017). Therefore, there are no objections in principle from a planning policy perspective.

26. The National Planning Policy Framework (NPPF) sets out the Governments planning policies for England and how these are expected to be applied. The NPPF

is a material consideration in planning decisions but does not change the statutory status of the development plan as the starting point for decision making. Proposed development that accords with an up-to-date Local Plan should be approved. The NPPF also requires local planning authorities to pursue policies, which support the viability and vitality of town centres. They also seek to secure a good standard of amenity for existing and future occupants of buildings.

27. Policy D9 recognises that hot food takeaways can provide an important complementary service compared to other retail uses, however, they can also have a detrimental impact on the amenity and the retail character and function of shopping centres due to their hours of operation, increased incidence of litter, odours, noise and general disturbance as well as parking and traffic problems. There is also a need to take a co-ordinated approach to public health to tackle obesity (particularly childhood obesity).
28. Policy D9 of the DBDS (2017) does state that food takeaways will only be permitted where they do not create or exacerbate a concentration (typically 3 or 4) of those uses. It is noted that there is already one other hot food takeaway within the precinct. However, the application site is not adjacent to any existing A5 uses. It is not considered that this change of use would create a bunching of non-retail units to the detriment of the retail parade. As such, it is considered that this change of use would be acceptable and in accordance with policy.
29. The application site is located in an out-of-centre location in Wordsley but is protected by Black Country Core Strategy Policy CEN6 which seeks to ensure the provision and retention of local shops and other centre uses to meet day-to-day needs within reasonable walking distance. The policy specifically relates to development of up to 200m<sup>2</sup> gross.
30. The unit is sited within close proximity to the residential dwellings and the proposed use is small scale, at less than 100sq.m, it is not considered to act as a threat to the vitality and viability of the existing centre of Wordsley. Overall, the proposed



development gives rise to no conflict with Policy CEN 6 and the change of use would not result in the loss of any A1 retail floor space.

#### Design

31. The development would bring a vacant unit back into use which in turn would enhance the existing positive characteristics of the locality including public realm. As such the development would not have any detrimental impact on the overall character of the surrounding area.
32. The application site is located within a row of commercial properties with residential properties nearby. The new shop front would have no adverse impact on outlook, daylight provision or privacy for these nearby occupiers of those residential properties.
33. The extraction flue would be located on the rear elevation in an enclosure using matching materials and whilst it would project above the roof it is considered it would not be highly visible from the street scene. As such it is not considered there would be any detrimental impact to the visual amenity of the surrounding area.

#### Amenity issues

34. The application site is located at the end of a row of commercial properties in a mixed-use commercial/residential area along this part of Lawnswood Road.
35. The Environmental Safety and Health Team do not object the proposed development and suggests a number of safeguarding conditions to limit noise and air pollution. There are already two businesses that provide hot food in this terrace of shops, with residential accommodation at first floor level.
36. The scheme included in this application includes outlined measures to control odour from cooking operations that, with adjustments, should be adequate to prevent residual cooking odour from adversely affecting residents in the surrounding area. There will already be some residual odour from cooking operations at the other two hot food businesses but there is insufficient justification for refusal of this application

on grounds that cooking odour will cause an unacceptable increase of cooking odour in the neighbourhood.

37. The extraction flue should terminate at a height no lower than the ridge or roof height of any building in the immediate vicinity, but the submitted plans do not clarify whether this will be the case. The external extraction flue shown on the submitted plans should therefore not be included as part of any approved scheme and its construction can be determined when the discharge of recommended relevant condition is considered.
38. Control of noise and cooking odour can be controlled by conditions and on this basis.
39. Subject to the above-mentioned conditions, it is not considered that the proposed uses would have any detrimental impact on the amenity of surrounding residential occupiers in the vicinity. The use is appropriate for a parade of local shops such as this and the proposal accords with local and national planning policy.

#### Highway safety

40. Highways raise no objections to the proposed development and recommend approval. The proposed change of use will not significantly alter trip generation or goods vehicle movements to/from the parade of local shops and adjacent public house with a large off-street car parking frontage shared between all units.
41. The proposed scheme is therefore consistent with the requirements of Policies TRAN2, and CSP5 of the adopted BCCS and the Parking Standards SPD (2017).

#### Financial Material Considerations

42. Section (124) of the Localism Act states that: Local planning authorities are to have regard to material considerations in dealing with applications including any local finance considerations, so far as material to the application. A 'local finance consideration' may be taken to cover the payment of New Homes Bonus, or sums that a relevant authority has received, or will or could receive, in payment of the

Community Infrastructure Levy (CIL). The section does not change the law in any way. It is not a new basis for planning policy and it remains unlawful for planning permissions to be 'bought'.

43. The proposal is not liable for CIL for the following reason(s):
- less than 100 square metres of CIL Liable retail floor space.

## CONCLUSION

44. The principle of the proposed use in this location is considered acceptable and would bring a vacant unit back into use. With appropriate conditions imposed, there would be no detrimental impact on residential amenity of nearby occupiers. It is also considered that there would be no detrimental impact on highway safety. The proposal would therefore comply with Core Strategy and Development Strategy Policies.

## RECOMMENDATION

45. It is recommended that the application be APPROVED subject to the following conditions:

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
REASON: To comply with Section 91(1) of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the following plans and amended plans: 2108.103 Rev B, 2108.101 Rev A, 2108.102 Rev C and 2108.100.  
REASON: For the avoidance of doubt and in the interests of proper planning.
3. No materials other than those indicated on the approved plans shall be used without the approval in writing of the Local Planning Authority.  
REASON: In the interests of the visual amenities of the area and to comply with BCCS Policies CSP4 - Place-Making and ENV2 - Historic Character and Local Distinctiveness and Borough Development Strategy 2017 Policy S6 Urban Design and Policy L1 Housing Development, extensions and alterations to

existing dwellings

Policy D2 Incompatible Land Uses (in part).

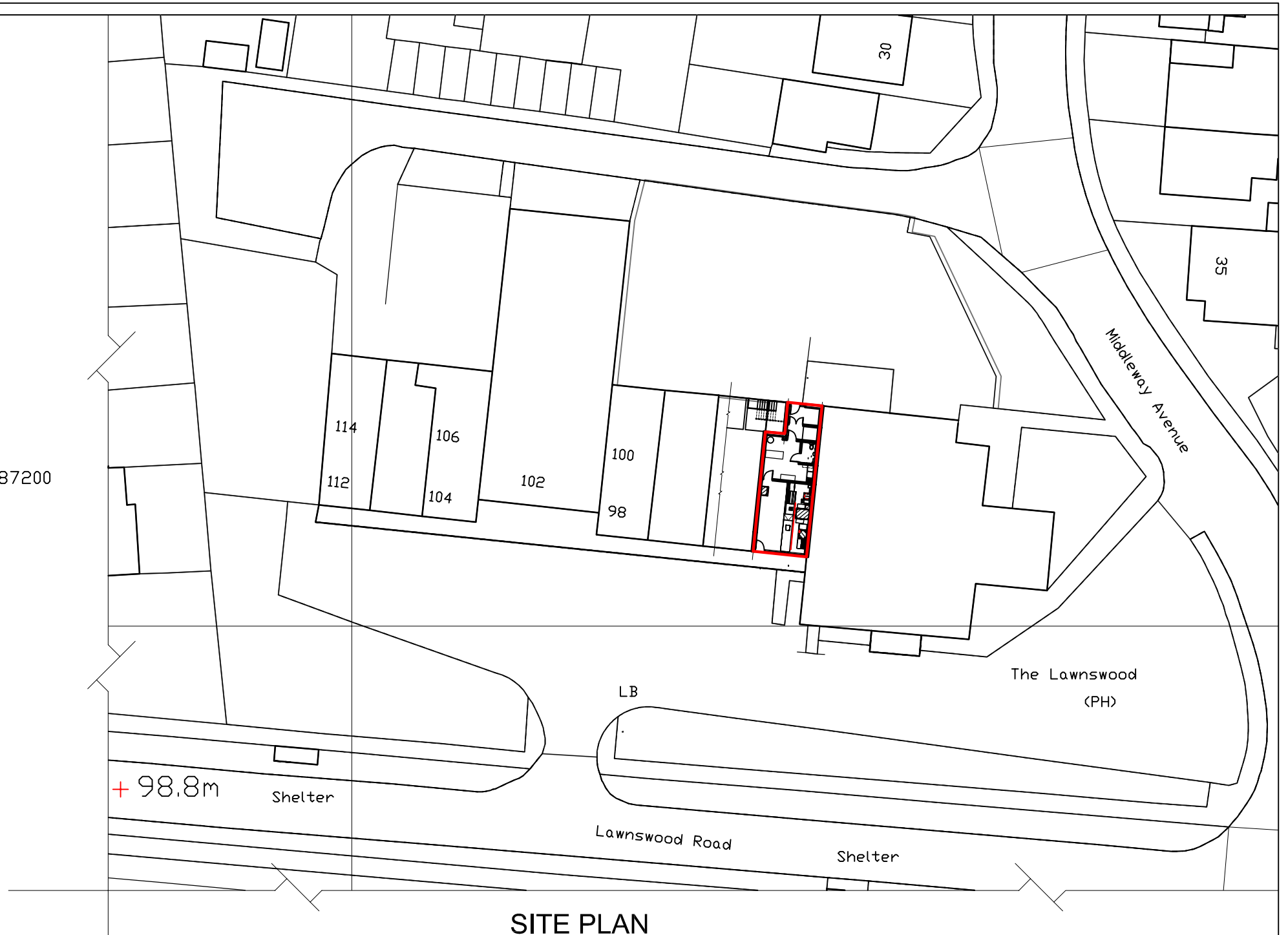
4. No delivery vehicles whether loaded or unloaded shall enter or leave the site, before the hours of 0800 nor after 20.00 Monday to Saturday, or at all on Sundays and Public Holidays.  
REASON: To protect the amenities of nearby residents in accordance with Borough Development Strategy 2017 Policy D5 Noise Pollution and Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part).
5. The premises shall not be open to the public, nor shall deliveries from the premises be made, before the hours of 0900 nor after 2300 Monday to Saturday, or before 10.00 or after 20.00 on Sundays and Public Holidays.  
REASON: To protect the amenities of nearby residents in accordance with Borough Development Strategy 2017 Policy D5 Noise Pollution and Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part).
6. The rating level of sound emitted from [any fixed plant and/or machinery associated with the development (including the discharge of cooking fume from a flue) shall not exceed background sound levels by more than 5dB(A) between the hours of 0700-2300 (taken as a 15 minute LA90 at the nearest sound sensitive premises) and shall not exceed the background sound level between 2300-0700 (taken as a 15 minute LA90 at the nearest /any sound sensitive premises). All measurements shall be made in accordance with the methodology of BS 4142 (2014) (Methods for rating and assessing industrial and commercial sound) and/or its subsequent amendments.  
Where access to the nearest / any sound sensitive property is not possible, measurements shall be undertaken at an appropriate location and corrected to establish the noise levels at the nearest / any sound sensitive property.  
Any deviations from the LA90 time interval stipulated above shall be agreed in writing with the Local Planning Authority.  
REASON: To protect the amenities of nearby residents in accordance with Borough Development Strategy 2017 Policy D5 Noise Pollution and Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part).
7. Before any internal or external fixed plant or machinery (including plant, machinery or ducting used for air extraction, odour control, and discharge to atmosphere) associated with the development is used, a scheme to prevent disturbance to other occupiers of the building and adjacent buildings from conducted noise and vibration arising from its operation shall be submitted to and approved in writing by the Local Planning Authority. All works that form part of the approved scheme shall be completed before use of the plant or machinery and retained during use of the plant or machinery for the duration of the development.  
REASON: In order to safeguard the amenities and wellbeing of the occupiers of the proposed dwelling(s) in compliance with Borough Development Strategy 2017 Policy L1 Housing Development, extensions and alterations to existing dwellings  
Policy D2 Incompatible Land Uses (in part) and EP7 - Noise Pollution.

8. Prior to the commencement of development, a scheme containing full details of arrangements for internal air extraction, odour control, and discharge to atmosphere from cooking operations, including any external ducting and flues, shall be submitted to and approved in writing by the Local Planning Authority. The works detailed in the approved scheme shall be installed in their entirety before the use hereby permitted is commenced. The equipment shall thereafter be maintained in accordance with the manufacturer's instructions and operated at all times when cooking is being carried out unless otherwise agreed beforehand in writing with the Local Planning Authority.

REASON: To protect the amenities of nearby residents in accordance with Borough Development Strategy 2017 Policy L1 Housing Development, extensions and alterations to existing dwellings  
Policy D2 Incompatible Land Uses (in part).



LOCATION PLAN  
Scale 1: 1250



SITE PLAN  
Scale 1: 500

Change of Use from Washeteria to Hot Food  
Takeaway + New Shop Front  
86 Lawnswood Road, Stourbridge DY8 5NA

PARTY WALL ACT 1996 (NOTE FOR CLIENT/OWNER):  
ALL BOUNDARY POSITIONS ARE ASSUMED AS PER CLIENT'S INSTRUCTIONS AND CONTRACTOR TO AGREE EXACT BOUNDARY POSITIONS WITH CLIENT/OWNER PRIOR TO COMMENCEMENT OF WORKS. THE ORGS MAY FALL WITHIN THE PARTY WALL ACT AND CLIENT IS REQUIRED TO WRITE THE NEIGHBOURS AFFECTED BY THESE WORKS AND SEEK WRITTEN CONSENT PRIOR TO COMMENCEMENT OF WORKS. IN CASE OF ANY OBJECTION FROM THE ADJOINING PROPERTY OWNERS, CLIENT IS ADVISED TO CONTACT SPECIALIST PARTY WALL SURVEYORS.  
LOCAL AUTHORITY NOTES  
CONTRACTOR, WHERE APPLICABLE, TO ENSURE HE COMPLIES WITH ALL CONDITIONS OUTLINED THE PLANNING APPROVAL NOTICE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN WRITTEN APPROVALS FOR ALL FACING MATERIALS FROM THE PLANNING DEPARTMENT.  
ALL WORK TO COMPLY WITH BUILDING REGULATIONS AND ALL STATUTORY AUTHORITIES REQUIREMENTS.  
THIS DRAWING IS NOT, ON ITS OWN, A GUARANTEE OF LOCAL AUTHORITY APPROVALS. IF CLIENT CHOOSES TO EXECUTE THIS DRAWING PRIOR TO LOCAL AUTHORITY APPROVALS BEING ISSUED, THIS IS DONE AT THE CLIENT'S RISK.

Drwg Number  
2108.100

Location and Site  
Plans  
Scale 1:1250,500

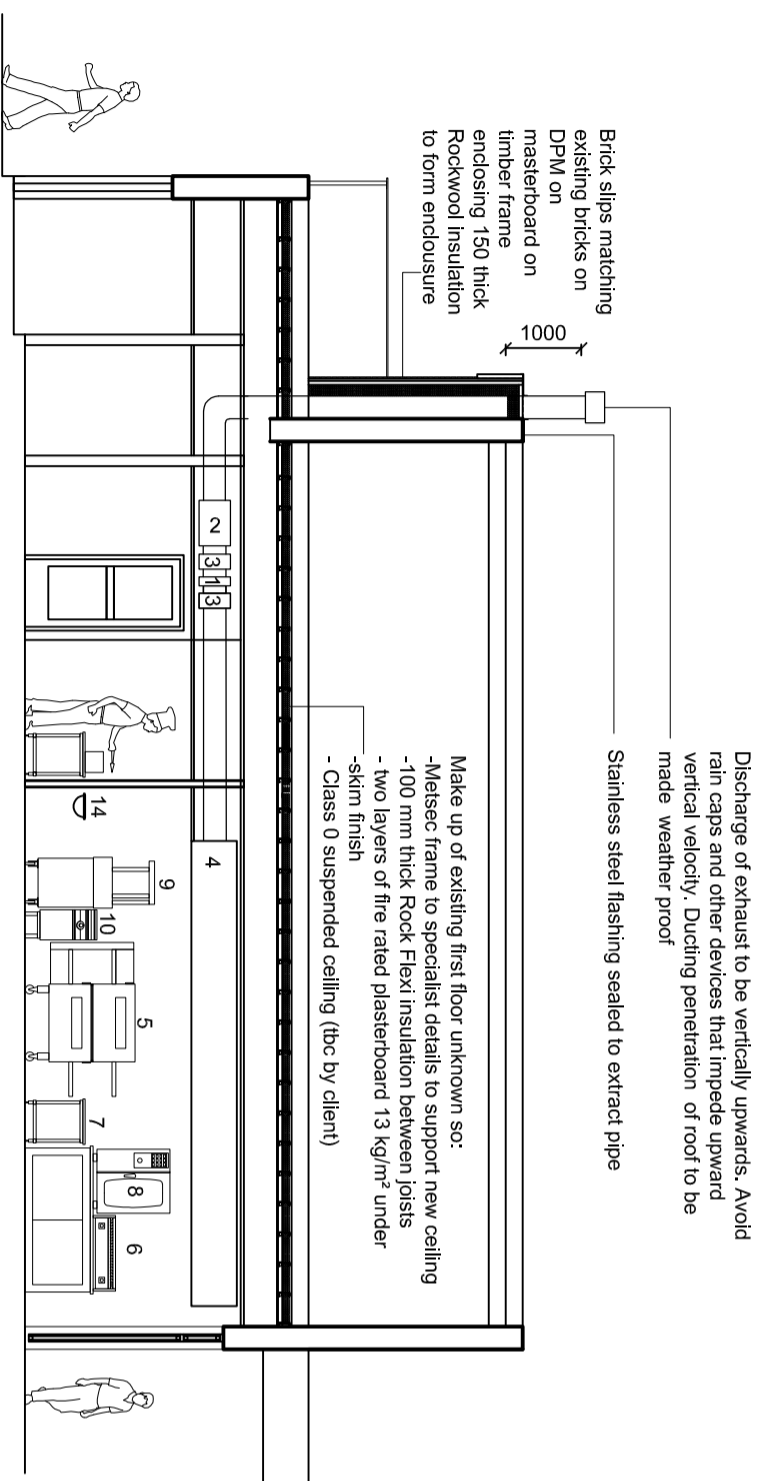
**SPECTRUM**

SPECTRUM MANAGEMENT  
& SERVICES LTD  
84 PALACE ROAD  
BIRMINGHAM B5 9ER  
TEL: 0121 659 1510



COPYRIGHT CLAUSE: THE COPYRIGHT OF THIS DRAWING IS VESTED WITH SPECTRUM MANAGEMENT & SERVICES LTD AND THIS DRAWING MAY NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THEIR EXPRESS WRITTEN PERMISSION.

All dimensions to be verified & checked on site and not scaled from this drawing [www.spectrumprojectmanagement.co.uk](http://www.spectrumprojectmanagement.co.uk)



## SECTION

Scale 1:100

### KEY

1. Fan motor to specialist details
2. Carbon filter, to specialist details
3. Acoustic silencer to specialist details
4. Stainless steel canopy & associated exhaust pipes, to specialist details
5. Pizza conveyor belt oven
6. Grill to specialist details
7. Stainless steel bench
8. Chicken oven
9. Fries dump
10. Chips fryer
11. Menu above outline
12. Cold drinks display fridge
13. Till
14. Ss wash hand basin
15. Cold display
16. Chest freezer
17. Pizza topping counter with built-in fridge
18. Microwave
19. Walk-in freezer
20. Outline of ss canopy
21. Pizza dough machine

Rev B: Extract flue design revised.  
Rev A: Extract flue design revised.

### Change of Use from Washeteria to Hot Food Takeaway + New Shop Front

86 Lamswood Road, Stourbridge DY8 5NA

THE PART WALL ACT 1960 DOES NOT APPLY TO THIS DRAWING. THE PART WALL ACT 1960 DOES NOT APPLY TO THIS DRAWING. ALL BOUNDARY POSITIONS ARE ASSUMED AS PER CLIENT'S INSTRUCTIONS AND CONTRACTOR TO ACHIEVE EXACT BOUNDARY POSITIONS WITH CLIENT OWNERS PRIOR TO COMMENCEMENT OF WORKS. THE DRS MAY FALL WITHIN THE PARTY WALL ACT AND CLIENT IS REQUIRED TO WRITE TO THE NEIGHBOUR AS APPLICABLE TO ENSURE THE WORKS ARE SET OUT WITHIN CONSENT PRIOR TO COMMENCEMENT OF WORKS. IN CASE OF ANY OBJECTION FROM THE ADJOINING PROPERTY OWNERS, CLIENTS ADVISED TO CONTACT SPECIALIST PARTY WALL SURVEYORS. CONTRACTOR, WHOSE PARTICULAR TO ENSURE HE COMPLES WITH ALL CONDITIONS OUTLINED THE PLANNING APPROVAL. NOTICE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN WRITTEN APPROVALS FOR ALL FACING MATERIALS FROM THE PLANNING DEPARTMENT. ALL WORK TO COMPLY WITH BUILDING REGULATIONS AND ALL STATUTORY AUTHORITIES REQUIREMENTS. THIS DRAWING IS NOT VALID UNLESS IT IS APPROVED BY LOCAL AUTHORITY APPROVALS BEING ISSUED. THIS IS DONE AT THE CLIENT'S RISK.

COPYRIGHT CLAUSE: THE COPYRIGHT OF THIS DRAWING IS VESTED WITH THE SPECTRUM MANAGEMENT & SERVICES LTD AND THIS DRAWING MAY NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THEIR EXPRESS WRITTEN PERMISSION.

Extractor canopy manufactured from 430 grade stainless steel dull polished both sides, complete with 8 no. grease filters. Canopy size 200 x 380 x 400 x 1200 L shaped. Fan motor will be from Falkwoods size 560 mm long case. 2 no silencers size 560 mm x 600 long each Fan will also be connected to

- Gas Interlock system
- Carbon filter to reduce smoke and fumes
- Anti-vibration system

The part of the exhaust ducting one the exterior of the premises will be constructed from galvanised, rust-proof steel

240 volt- 1420 rpm  
Sound level 56 dba when monitored at 3 meters

The attenuator we use, before and after fan. This would reduce the dba level by 10 dba to the canopy side and 19 dba to extraction side, thus producing 33 dba when mounted at 3 m from the fan

Dwg Number  
2108.103 Rev B

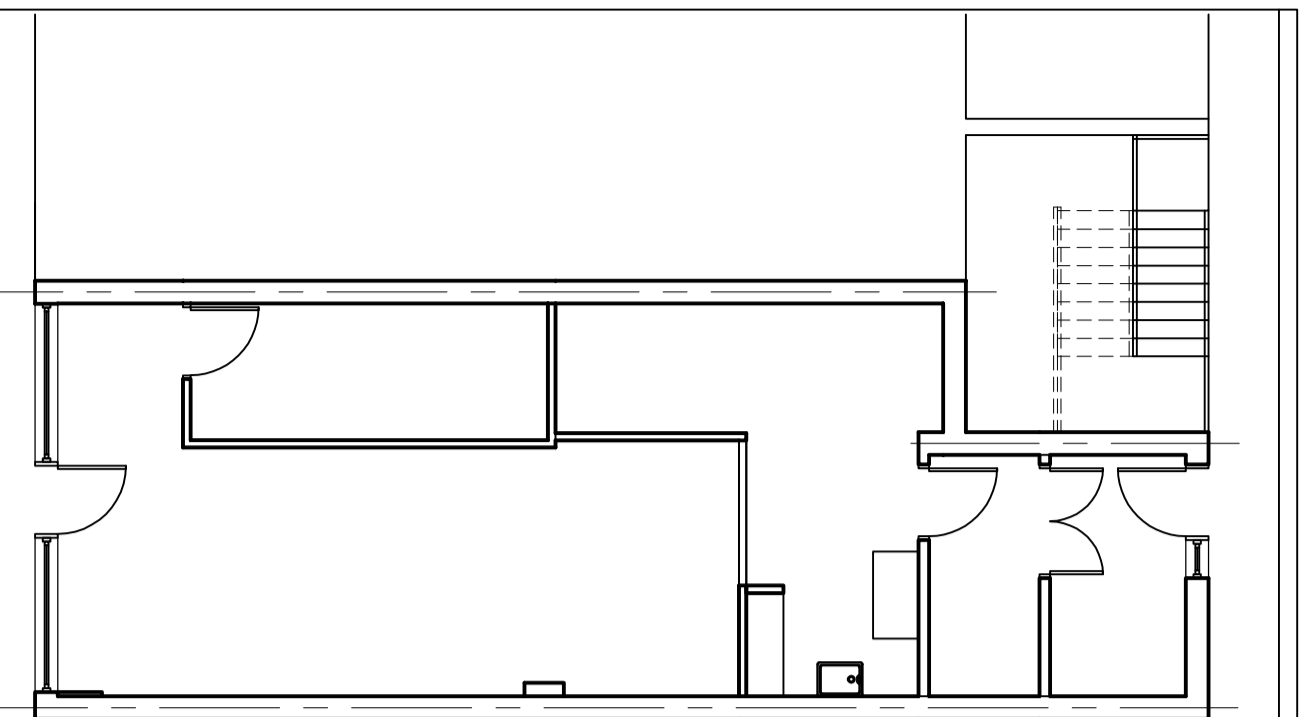
Elevations  
Scale 1:100

# SPECTRUM

SPECTRUM MANAGEMENT  
& SERVICES LTD  
84 PALACE ROAD  
BIRMINGHAM B5 9ER  
TEL: 0121 659 1510

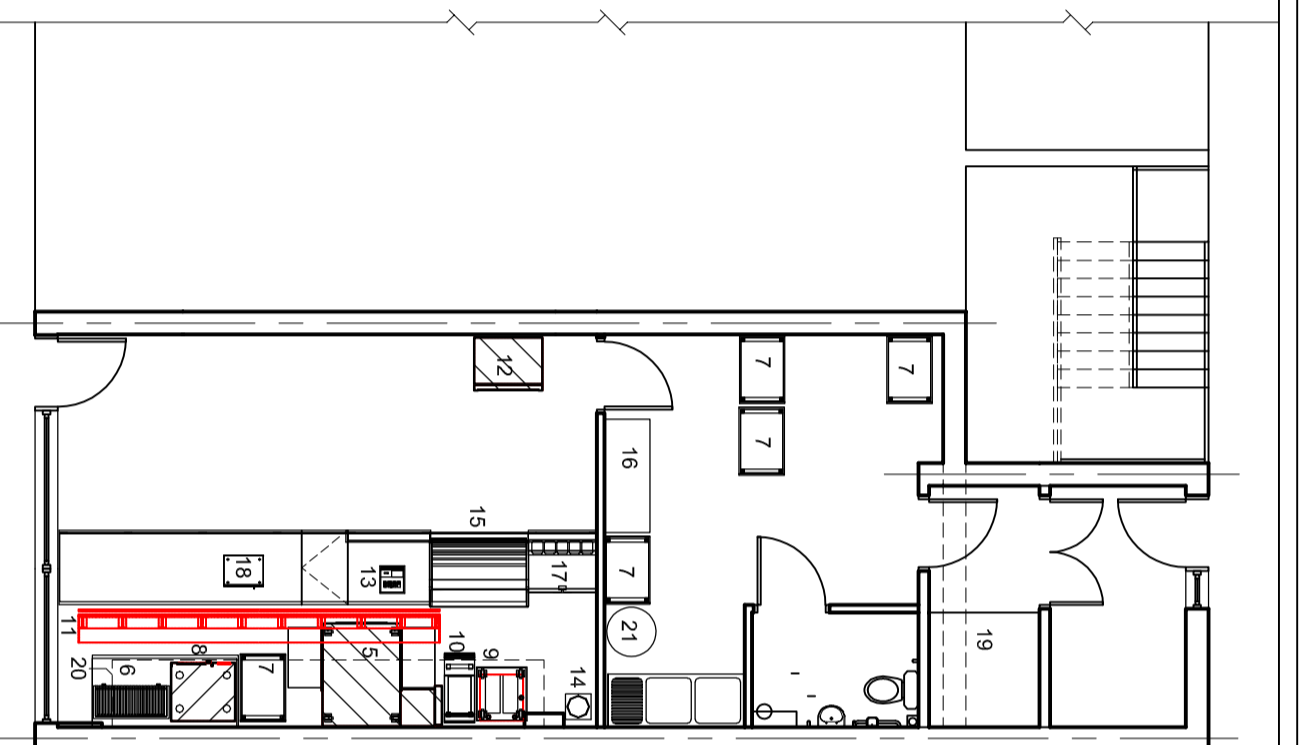


[www.spectrumprojectmanagement.co.uk](http://www.spectrumprojectmanagement.co.uk)



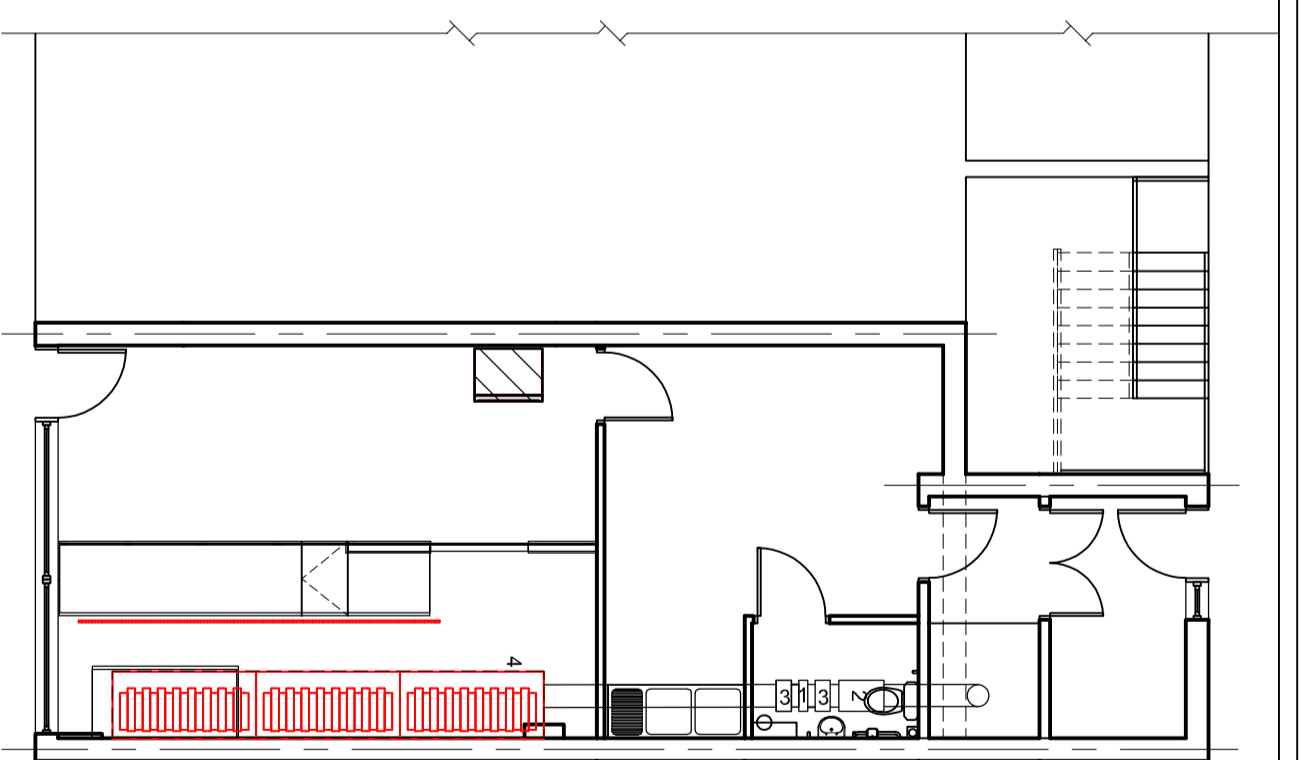
**EXISTING GROUND FLOOR PLAN**

Scale 1:100



**PROPOSED GROUND FLOOR PLAN**

Scale 1:100



**PROPOSED GROUND FLOOR PLAN  
(Ventilation System)**

Scale 1:100

**KEY**

1. Fan motor to specialist details
2. Carbon filter, to specialist details
3. Acoustic silencer to specialist details
4. Stainless steel canopy & associated exhaust pipes, to specialist details
5. Pizza conveyor belt oven
6. Grill to specialist details
7. Stainless steel bench
8. Chicken oven
9. Fries dump
10. Chips Fryer
11. Menu above outline
12. Cold drinks display fridge
13. Till
14. Ss wash hand basin
15. Cold display
16. Chest freezer
17. Pizza topping counter with built- in fridge
18. Microwave
19. Walk- in freezer
20. Outline of ss canopy
21. Pizza dough machine

Rev A: Extract pipe configuration revised

**Change of Use from Washeteria to Hot Food Takeaway + New Shop Front**  
86 Lawnswood Road, Stourbridge DY8 5NA

THESE PLANS, AND ANY OTHER DOCUMENTS, ARE THE PROPERTY OF SPECTRUM MANAGEMENT & SERVICES LTD AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. ANY REUSE OR ALTERATION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF SPECTRUM MANAGEMENT & SERVICES LTD IS STRICTLY PROHIBITED. THE DRAWING IS NOT TO BE USED AS A GUARANTEE OF LOCAL AUTHORITY APPROVALS. LOCAL AUTHORITY APPROVALS ARE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN WRITTEN APPROVALS FOR ALL FINDING MATTERS FROM THE PLANNING DEPARTMENT. ALL WORK TO COME IN WITH BUILDING REGULATIONS AND ALL STATUTORY AUTHORITIES REQUIREMENTS. THIS DRAWING IS NOT, ON ITS OWN, A GUARANTEE OF LOCAL AUTHORITY APPROVALS, IF CLIENT CHOOSES TO EXECUTE THIS DRAWING PRIOR TO LOCAL AUTHORITY APPROVALS BEING ISSUED, THIS IS DONE AT THE CLIENT'S RISK.

**Dwg Number**  
2108.101 Rev A

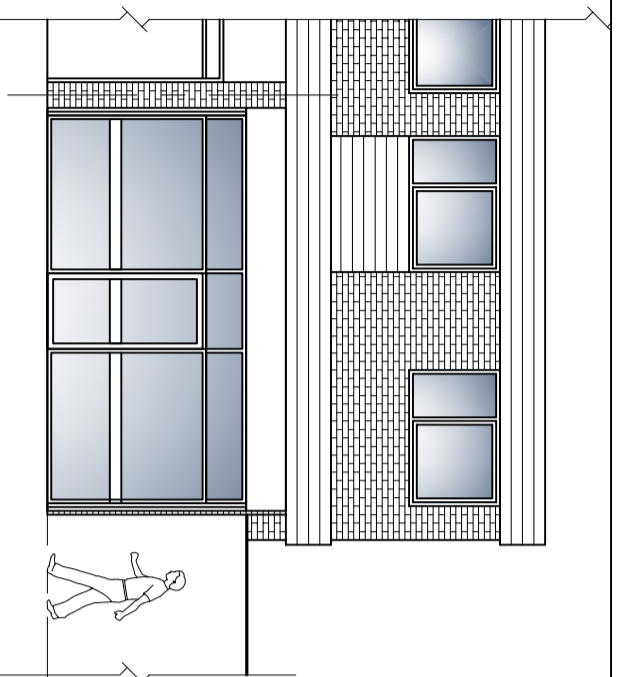
**Existing Plans**  
Scale 1:100

**SPECTRUM**  
SPECTRUM MANAGEMENT & SERVICES LTD  
84 PALACE ROAD  
BIRMINGHAM B5 9ER  
TEL: 0121 659 1510

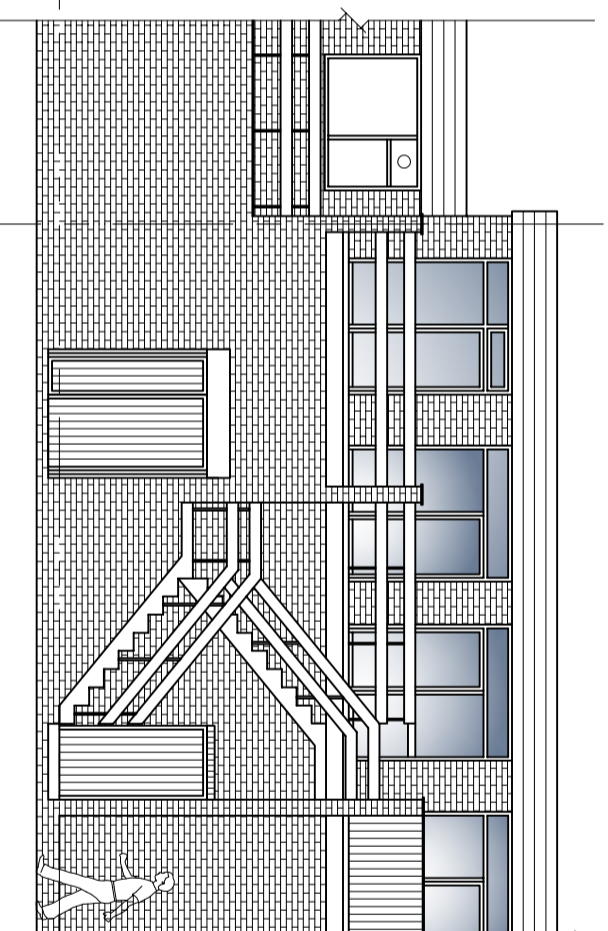
All dimensions to be verified & checked on site and not scaled from this drawing [www.spectrumprojectmanagement.co.uk](http://www.spectrumprojectmanagement.co.uk)



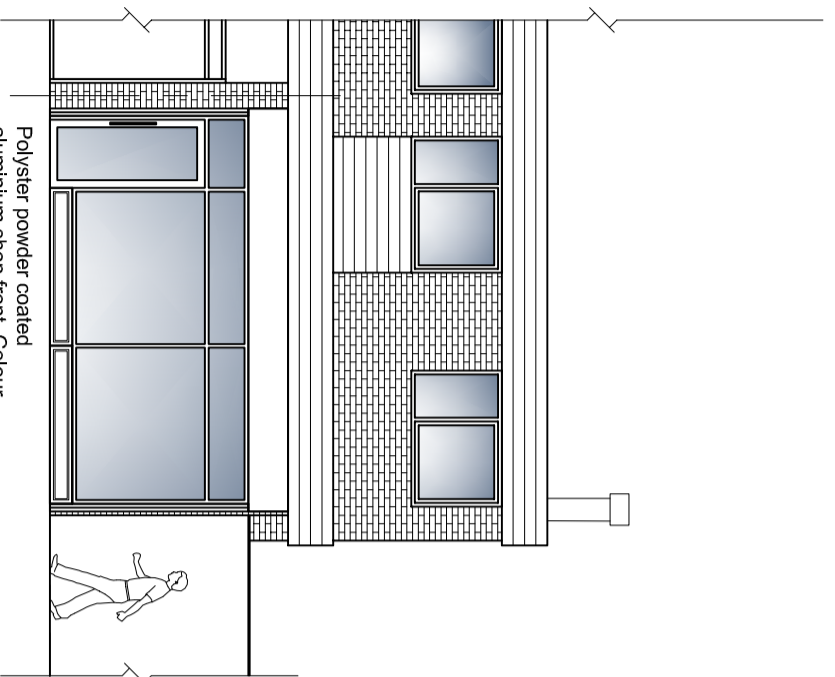




**EXISTING FRONT ELEVATION**  
Scale 1:100

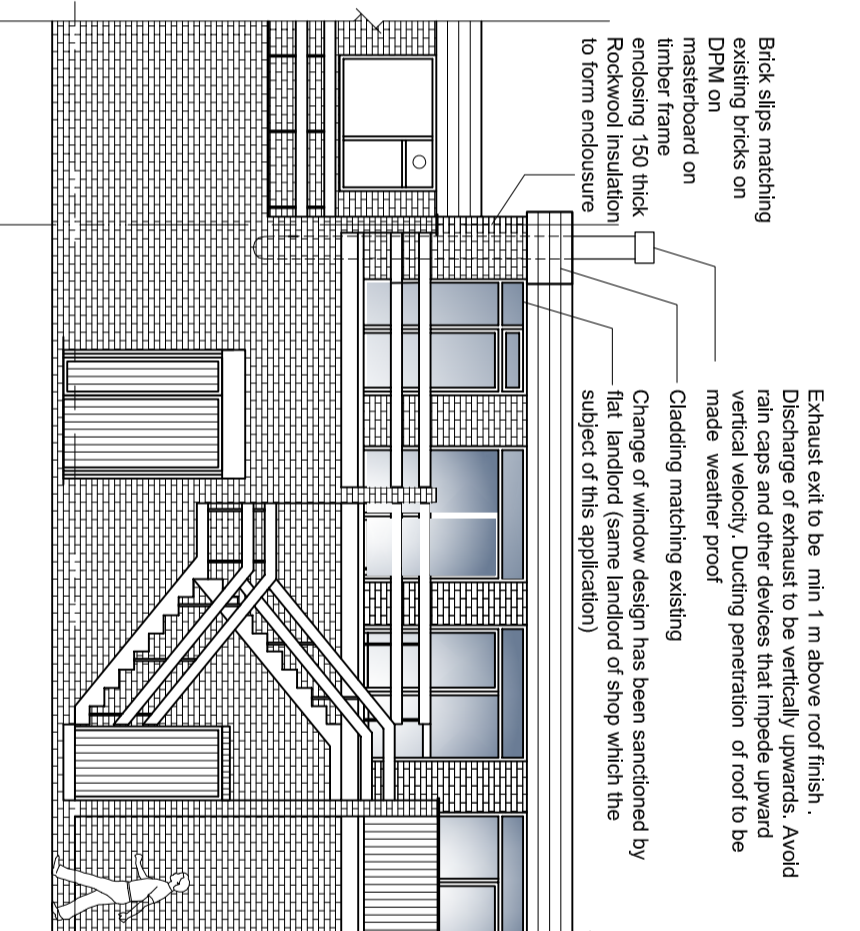


**EXISTING REAR ELEVATION**  
Scale 1:100



Polyster powder coated  
aluminium shop front. Colour  
black. With chrome finished  
feature strips on stall riser

**PROPOSED FRONT ELEVATION**  
Scale 1:100



Brick slips matching  
existing bricks on  
DPM on  
masterboard on  
timber frame  
enclosing 150 thick  
Rockwool insulation  
to form enclosure

Exhaust exit to be min 1 m above roof finish.  
Discharge of exhaust to be vertically upwards. Avoid  
rain caps and other devices that impede upward  
vertical velocity. Ducting penetration of roof to be  
made weather proof

Cladding matching existing  
Change of window design has been sanctioned by  
flat landlord (same landlord of shop which the  
subject of this application)

**PROPOSED REAR ELEVATION**  
Scale 1:100

Rev C: Extract Pipe design revised.  
Rev B: Extract Pipe design revised. Timber screen removed.  
Rev A: Outline of extract pipe added to Proposed Front Elevation

**Change of Use from Washeteria to Hot Food  
Takeaway + New Shop Front**  
86 Lawnswood Road, Stourbridge DY8 5NA

ARTY WALL ACT 1998 NOTICE FOR CLIENT OWNERS: THE DRAWING INSTRUMENTS AND CONTRACTORS TO AGREE EXACT REQUIREMENTS WITH CLIENT OWNERS PRIOR TO COMMENCEMENT OF WORKS. THE DRAWING MAY FALL WITHIN THE PARTY WALL ACT AND CLIENT IS REQUIRED TO NOTIFY LOCAL AUTHORITY NOTICES. THE RESPONSIBILITIES OF THE CONTRACTOR TO OBTAIN NECESSARY APPROVALS FOR ALL FINISH MATERIALS FROM THE PLANNING DEPARTMENT. LOCAL AUTHORITY NOTICES. THE DRAWING INSTRUMENTS AND CONTRACTORS TO AGREE EXACT REQUIREMENTS WITH CLIENT OWNERS PRIOR TO COMMENCEMENT OF WORKS. IN CASE OF ANY OBJECTION FROM THE ADJOINING PROPERTY OWNERS, CLIENT IS ADVISED TO CONTACT SPECIALIST PARTY WALL SURVEYORS. LOCAL AUTHORITY NOTICES. THE DRAWING INSTRUMENTS AND CONTRACTORS TO AGREE EXACT REQUIREMENTS WITH CLIENT OWNERS PRIOR TO COMMENCEMENT OF WORKS. IN CASE OF ANY OBJECTION FROM THE ADJOINING PROPERTY OWNERS, CLIENT IS ADVISED TO CONTACT SPECIALIST PARTY WALL SURVEYORS. THIS DRAWING IS NOT ON ITS OWN A GUARANTEE OF LOCAL AUTHORITY APPROVALS IF CLIENT CHOOSES TO EXECUTE THIS DRAWING PRIOR TO LOCAL AUTHORITY APPROVALS BEING ISSUED. THIS IS DONE AT THE CLIENT'S RISK.

Drwg Number  
2108.102 Rev C

Elevations  
Scale 1:100

**SPECTRUM**

SPECTRUM MANAGEMENT  
& SERVICES LTD  
84 PALACE ROAD  
BIRMINGHAM B5 9ER  
TEL: 0121 659 1510



COPYRIGHT CLAUSE: THE COPYRIGHT OF THIS DRAWING IS VESTED WITH SPECTRUM MANAGEMENT & SERVICES LTD AND THIS DRAWING MAY NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THEIR EXPRESS WRITTEN PERMISSION.

All dimensions to be verified & checked on site and not scaled from this drawing

[www.spectrumprojectmanagement.co.uk](http://www.spectrumprojectmanagement.co.uk)

## PLANNING APPLICATION NUMBER:P21/1063

Type of approval sought	Full Planning Permission
Ward	St. James's Ward
Agent	
Case Officer	James Mead
Location:	<b>LAND AT THE JUNCTION OF, STEPPINGSTONE STREET AND GREYSTONE PASSAGE, DUDLEY, DY1 1SB</b>
Proposal	<b>ERECTION OF 1 NO. DWELLING WITH ASSOCIATED WORKS</b>
Recommendation Summary:	<b>REFUSE</b>

### REFERRAL TO DEVELOPMENT CONTROL COMMITTEE

1. The application has been referred to Development Control Committee as the applicant is a Councillor.

### SITE AND SURROUNDINGS

1. The application site relates to a landscaped piece of land at the junction of Steppingstone Street and Greystone Passage, Dudley. The site is set within a predominantly residential area and occupying a plot of some 0.026 hectares and forms part of green amenity space that defines the corner of Steppingstone Street, Greystone Passage and Dock Lane.
  
2. The application site is bound to the north by 79 and 81 Steppingstone Street, these are semi-detached hipped roofed two storey properties, both of which are set approximately 1.5m higher than the application site due to the land level difference between Greystone Passage and Steppingstone Street. An existing brick wall forms the boundary with these properties.

3. To the rear of the site (east) is an area of land, bound by a breeze block wall, that appears to be an area of hardstanding that has become overgrown in connection with the existing property at 79 Steppingstone Street. Beyond this is No.21 Greystone Passage a semi-detached bungalow forming part of a recently constructed row of 8 houses all to the north side of Greystone Passage.
4. To the south of Greystone Passage are two storey residential properties of varying designs and styles. Further to the south beyond the green area is a wider industrial and commercial area. To the east, further residential area and the existing Dudley Leisure Centre.

## PROPOSAL

5. This proposal is for the erection of 1no. three bed detached dwelling. The property would front onto and have vehicular access to Greystone Passage. Off street parking appears to be provided to the side with a private garden area also to the side.
6. The property would measure a maximum length of 12m and 9.2m wide. It would measure They would measure 4.8m in height to the eaves and 8m in height to the main ridge to provide a two-storey detached property.
7. Internally, the house would be provided with two large receptions rooms, kitchen and WC on the ground floor and three bedrooms and bathroom at first floor.
8. The property would be designed with a pitched roof and forward projecting gable wing to the front, with small single storey addition to the side. The proposed dwellings would be finished in facing brickwork, with a tiled roof and UPVC windows and doors.
9. Site area is 0.026 hectares, which equates to a density of 38.5 dwellings per hectare.

10. This application is before Development Control committee as the applicant is an elected member.

## HISTORY

APPLICATION NO.	PROPOSAL	DECISION	DATE
86/50585	Erection of building for use as children's day care centre.	Approved with conditions	03/06/1986
86/51619	Erection of building for use of day care centre	Approved with conditions	04/12/1986

## PUBLIC CONSULTATION

11. Letters of notification were sent to six nearby occupiers and a site notice was posted with the final dates for comments being 19<sup>th</sup> July 2021. No comments have been received.

## OTHER CONSULTATION

12. Head of Environmental Safety and Health.  
No objection subject to safeguarding conditions with respect to noise and air quality.
13. Head of Planning and Development (Highway Engineer):  
The application cannot be supported as the development does not maintain appropriate forward visibility across the site at this junction.
14. Land Contamination:  
Consideration of land contamination and ground gas risk is required, and conditions are recommended to secure this in the event the application is approved.

15. The Coal Authority

The Coal Authority **objects** to this planning application, as currently, they consider that the LPA has insufficient information to determine this planning application.

## RELEVANT PLANNING POLICY

16. National Planning Policy

- National Planning Policy Framework (NPPF) 2021
- Technical Guidance to the National Planning Policy Framework.
- Planning Practice Guidance (2014)

17. Black Country Core Strategy (2011)

- CSP3 Environmental Infrastructure
- CSP4 Place Making
- DEL1 Infrastructure Provision
- HOU1 Delivering Sustainable Housing Growth
- HOU2 Housing Density, Type and Accessibility
- TRAN2 Managing Transport Impacts of New Development
- ENV2 Local Character and Distinctiveness
- ENV3 Design Quality

18. Dudley Borough Development Strategy (2017)

- S1 Presumption in Favour of Sustainable Development
- S6 Urban Design
- S17 Access & Impact of Development on the Transport Network
- L1 Housing Development, Extensions and Alterations to Existing Dwellings
- D3 Contaminated Land
- D4 Unstable Land

19. Supplementary Planning Documents / Guidance

- Access for All
- Design for Community Safety
- Parking Standards SPD
- New Housing Development SPD

## ASSESSMENT

20. The main issues are

- Principle/Policy
- Layout and Design
- Neighbour and Occupier Amenity
- Access, Parking and Highway Safety
- Land Contamination and Stability

Principle/Policy

21. The National Planning Policy Framework (NPPF) seeks to ensure the provision of sustainable development, of good quality, in appropriate locations and sets out principles for developing sustainable communities. It promotes high quality design and a good standard of amenity for all existing and future occupants of land and buildings. It encourages the effective use of land by utilising brownfield sites and focusing development in locations that are sustainable and can make the fullest use of public transport, walking and cycling. The NPPF also seeks to boost housing supply and supports the delivery of a wide choice of high-quality homes, with a mix of housing (particularly in terms of type/tenure) to create sustainable, inclusive and mixed communities.

22. The Black Country Core Strategy adopted in 2011 sets out The Vision, Sustainability Principles and The Spatial Objectives for future development in the Black Country to 2026. One of the Spatial Objectives of the Strategy is to help to deliver sustainable communities on redundant land, that make the most of opportunities such as public transport, are well served by residential services and green infrastructure, have good walking, cycling and public transport links to

retained employment areas and centres, are set in high quality natural and built environments and are well integrated with surrounding areas.

23. The Black Country Core Strategy (BCCS), Policy HOU1: 'Delivering Sustainable Housing Growth' also requires at least 63,000 net new homes up to 2026.
24. Policy L1 of the Dudley Borough Development Strategy states that new development will be supported on previously developed land and on sites in sustainable locations, close to public transport facilities and links. Housing development will be permitted, provided that the design of the development is of an appropriate form, siting, scale, and mass; that it would not cause unacceptable harm to the amenities of the occupiers of neighbouring dwellings; that it would provide an appropriate level of amenity for future occupiers of the development and that the development would provide adequate access, parking and provision for the manoeuvring of vehicles, with no detrimental impact on highway safety and free flow of traffic.
25. It is considered the principle of redeveloping this site for residential purposes would be broadly in line with national and local policy. The site is within an established residential area, close to public transport links and with easy access to local services. However, consideration of design and amenity also needs to be given along with other material planning considerations.

#### Layout and Design

26. Chapter 12 of the NPPF focuses on good design as a key element of sustainable development. Paragraph 126 states "Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities"
27. Policy S6 (Urban Design) of the Dudley Borough Development Plan identifies that new development should be designed in accordance with good urban design principles. In addition, 'The New Housing Development' SPD encourages good quality accommodation in attractive environments. It contains a series of urban

design principles and refers to minimum design and amenity guidance. Particular emphasis is given to assessing context and responding positively to local character.

28. The New Housing SPD provides detailed guidance with respect to assessing context and local character. Where a potential development site is located in the context of a broad character area, the council requires development to consider the appropriate design response to the defining characteristics of that area. It is noted that provided with the application are a number of streetscene drawings, which show the property in relation to the surrounding area. These drawings are however inaccurate and do not reflect the level differences between the site and those properties to the rear on Steppingstone Stone Street. Notwithstanding this, it is considered that the position/width of the proposed dwelling, although particularly prominent on this corner would, on balance not appear out of context. Two storey properties are a feature elsewhere and there is a mix of property styles and types apparent in the street. It results in a development that would not, on balance, be harmful to the surrounding area.
29. Despite being set close to the back edge of the pavement the house would be brick built with roof tiles. This would help to assimilate the new development with the existing surrounding area. The front projecting gable is not a feature seen elsewhere in the street and could be considered to be an alien feature and as incongruous to the street and overall character. However, taking into account the isolated position at the entrance to Greystone Passage, it is not considered that this would be a sufficient reason to warrant the refusal of the application in this instance. Conditions to ensure appropriate materials are recommended.

#### Neighbours and Occupier Amenity

30. The Council's New Housing SPD recommends a series of numerical standards to ensure existing and future occupiers' privacy and outlook. The development has been designed so that the front facing main habitable room windows of the proposed dwellings are orientated away from existing properties. Windows to the side elevation would either be obscurely glazed secondary windows, not serve habitable rooms, or would not overlook due to proposed boundary treatment.



31. Amenity space for proposed house is to the side, providing approximately 55sqm of space, which is less than guideline figures of 65sqm outlined in the New Housing Development SPD. The SPD recommends at least an 11m distance at the rear, which is met in this case. Given this, it is not considered that this would be sufficient reason to warrant the refusal of the application in this instance.
32. The property would provide an internal layout of suitable size, with at least one good sized accessible double bedroom and a furniture layout shows that ample storage can be accommodated to meet the expected requirements.
33. Applying the 45-degree code, it is noted that the properties would not breach the code, to any neighbouring property. Therefore, it is not considered there would be any undue loss of light to any adjacent property.

#### Access, Parking and Highway Safety

34. As outlined within policies TRAN2 of the Black Country Core Strategy and Policy S17 of the Dudley Borough Development Strategy there is a requirement to ensure that development proposals do not result in significant transport implications. In support of these policies, the Parking Standards SPD recognises the need to provide the *“right amount of parking provision in the right place and to the right size”* to support the *“creation of new residential developments both in terms of good scheme layout and design and also highway safety”* (para. 3.1). In doing so paragraph 3.2 outlines that *“Developments that suggest likely on-street parking which would create or exacerbate issues of highway safety will not be supported.”*
35. To ensure that developments respect the above, the Parking Standards SPD specifies minimum parking standards for new residential developments, seeking a minimum of two adequately sized parking spaces for any three bedroomed dwelling. In this instance, the proposed development seeks to secure two parking spaces. The parking would be considered remote from the house as it is suggested this would be adjacent to the boundary with 21 Graystone Passage. However, no parking layout has been provided and it is not possible to establish if these spaces

would be adequate in terms of their size to provide the required parking for this development. In the event of the application being approved a condition to require a car parking layout would be necessary.

36. There was some concern that the position of the house at this corner impedes the appropriate visibility required at junction of Steppingstone Street and Greystone Passage, due to the nature of the road at this point. However, after visiting the site, the Highways Engineer is satisfied that with appropriate conditions to ensure appropriate forward visibility at the bend and onto the footpath and highway that there would not be any detrimental impact to highway safety.

#### Land Contamination and Stability

37. The Council's Land Contamination Officer has reviewed the submitted documents. Due to the previous uses of the site, it is recommended that further assessments regarding ground contamination and gases is required. Conditions to secure this is recommended.
38. The Coal Authority objects to the application due to the absence of appropriate information to assess that the site is safe, stable and suitable for development.
39. The NPPF at paragraph 183 states that "*Planning policies and decisions should ensure that:*
  - a) *a site is suitable for its proposed use taking account of ground conditions and any risks arising from land instability and contamination. This includes risks arising from natural hazards or former activities such as mining, and any proposals for mitigation including land remediation (as well as potential impacts on the natural environment arising from that remediation);*
  - b) *after remediation, as a minimum, land should not be capable of being determined as contaminated land under Part IIA of the Environmental Protection Act 1990; and*
  - c) *adequate site investigation information, prepared by a competent person, is available to inform these assessments.*

40. Paragraph 184 goes on to state “Where a site is affected by contamination or land stability issues, responsibility for securing a safe development rests with the developer and/or landowner.
41. In addition, Policy D4 (Unstable Land) of the Dudley Borough Development strategy (2017) states *“Where it is known or suspected that land stability may have an impact on any development or works to upgrade the local environment, planning applications must be accompanied by sufficient proportionate information to determine the extent of the instability. The developer will be required to undertake an assessment of the potential of such works to mitigate against, or ensure that there are no significant adverse impacts on controlled waters and geological features of value”*
42. The application site falls within the defined Development High Risk Area. The Coal Authority’s information indicates that the application site lies in an area where historic unrecorded underground coal mining activity is likely to have taken place at shallow depth. The applicant has submitted some coal mining information to accompany the planning application; such as a Coal Mining Report, Consultants Report or Enviro All in One Report. However, these are factual reports only and this information does not provide any assessment of the potential risks posed to the specific development proposal by past coal mining activity.
43. In accordance with the agreed risk-based approach to development management in the defined Development High Risk Areas, the applicant was informed of the need to submit a Coal Mining Risk Assessment, or an equivalent report, to support this planning application. However, such a report was not provided to the Local Planning Authority.
44. The applicant should be aware that a Coal Mining Risk Assessment is required to inform the principle of the development and should demonstrate how coal mining risks have been considered in the context of the proposed development and how the developer will ensure that the proposed development will be safe and stable. In

the absence of this report the Local Planning Authority does not have sufficient information to determine this planning application and therefore as submitted fails to comply paragraphs 183 and 184 of the NPPF and policy D4 of the Dudley Borough Development Strategy (2017)

## CONCLUSION

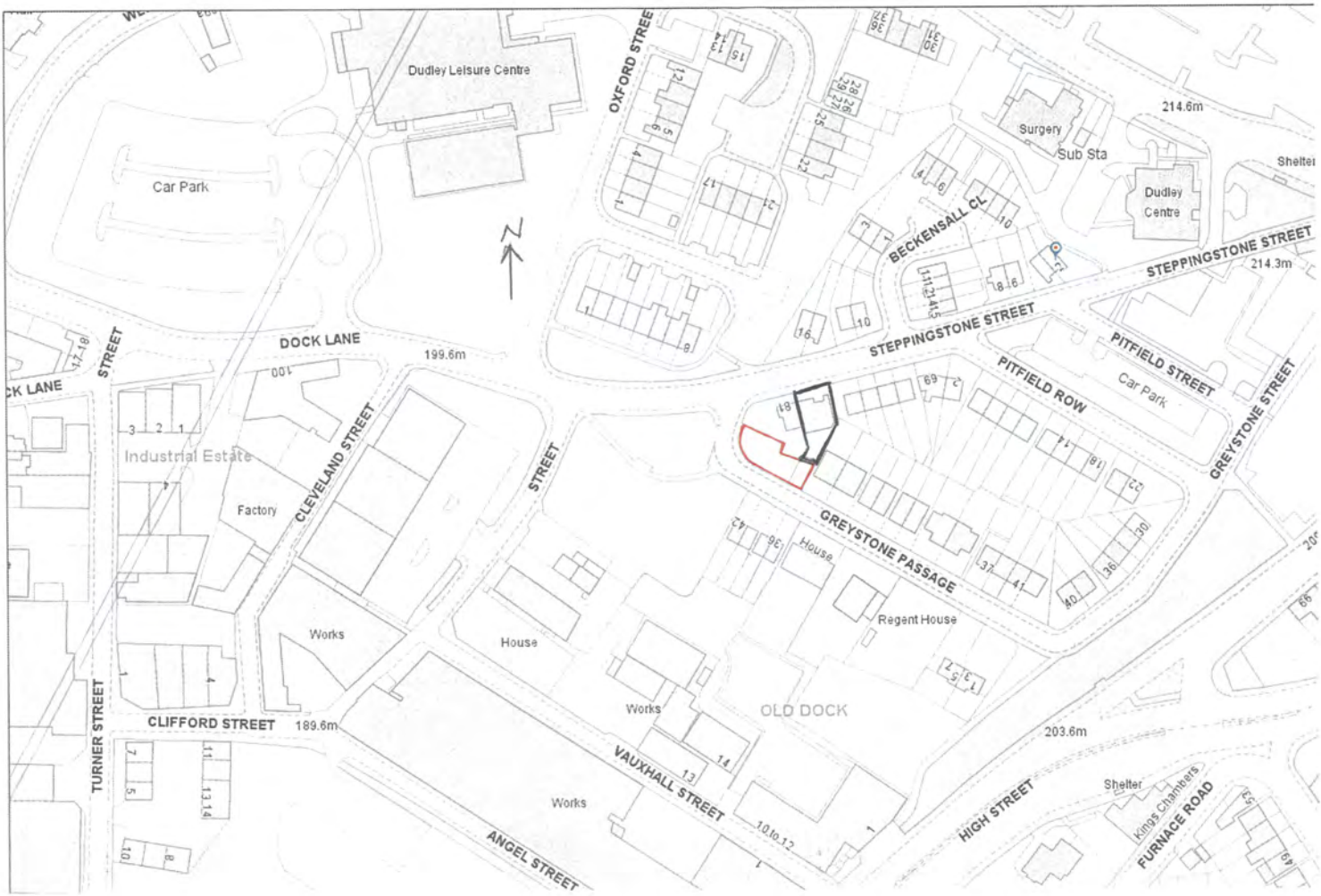
45. Information in respect to Coal Mining Legacy has not been provided. As such, the proposal would be contrary to the policy guidelines contained within the NPPF, the Black Country Core Strategy (2011); the Dudley Borough Development Strategy (2017), and the advice given in the New Housing Development SPD (2013) and Parking Standards SPD (2017).

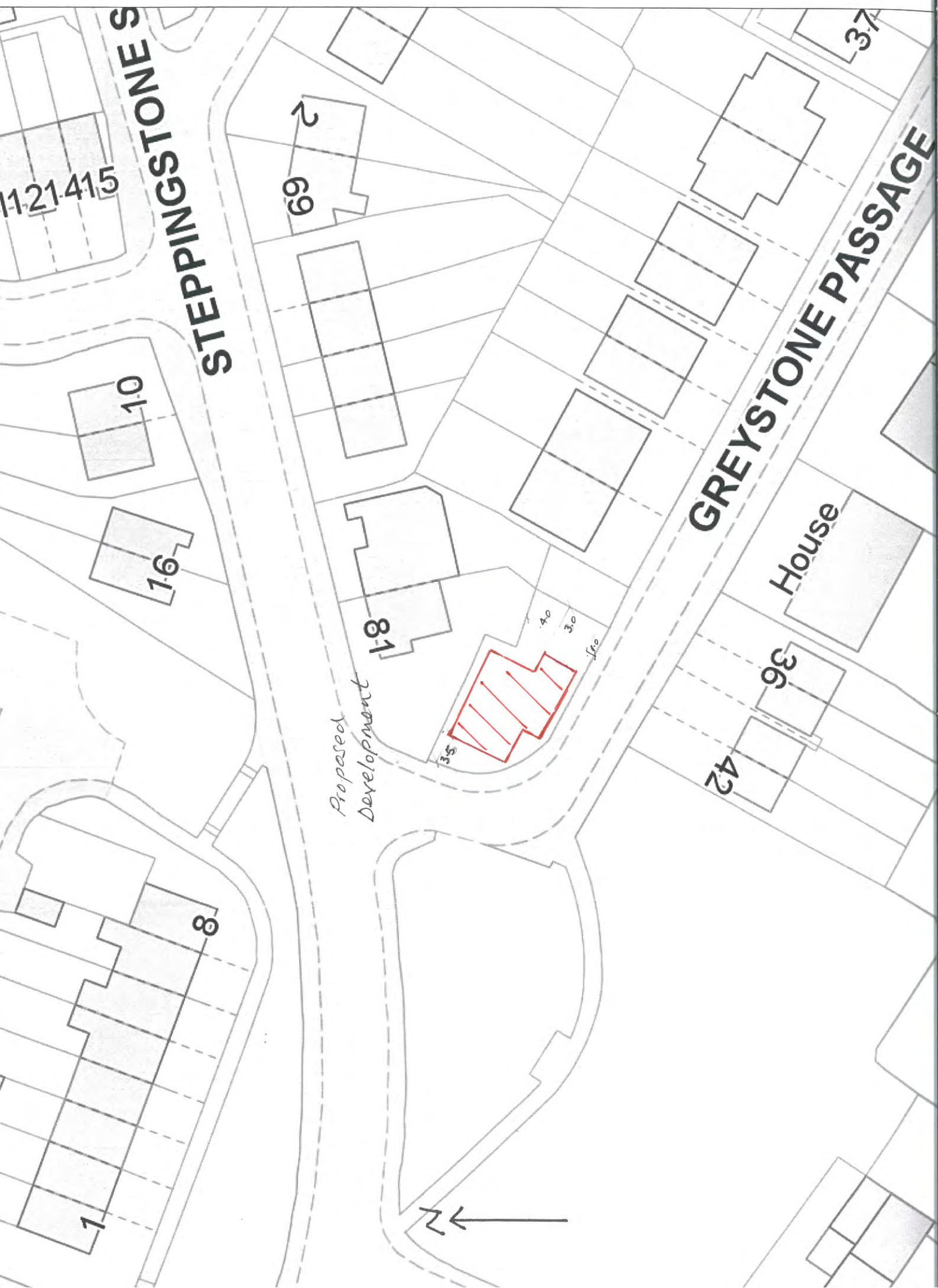
## RECOMMENDATION

46. It is recommended that the application be REFUSED.

Conditions and/or reasons:

1. The application site falls within the defined Development High Risk Area; therefore, within the site and surrounding area there are coal mining features and hazards which need to be considered in relation to the determination of this planning application. Insufficient information has been submitted to make an informed decision in this regard. As such the proposal is contrary to Policy D4 (Unstable Land) of the Dudley Brough Development Strategy (2017) and Paragraphs 183 and 184 of the National Planning Policy Framework (2021).







NOTES

3D drawings not intended for construction. Only for indicative purposes. Do not scale except for planning purposes. All dimensions in millimeters unless stated otherwise.



1 Proposed West Side Street Scene  
1 : 100

Rev	Description	Date	Dr by	App by
A	car parking identified	18.8.21	mm	

PLANNING

Client:

Project:  
Land at Junction of Greystone Passage & Steppingstone Passage

Drawing Title:  
West Side Street View

Drawn	Paper Size	Scale	Date
mm	A3	as shown @ A3	17/05/2021

Project No.	Drawing No.	Revision
2021/1064	P102	A



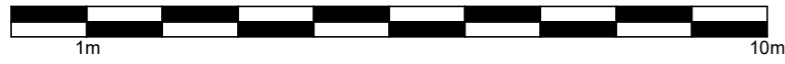
THIS DRAWING IS THE COPYRIGHT OF **Space Design Architecture** AND MAY NOT BE COPIED, ALTERED OR REPRODUCED IN ANY FORM OR PASSED TO A THIRD PARTY WITHOUT THEIR WRITTEN CONSENT. THE CLIENTS ARE LEGALLY REQUIRED TO INFORM THE OWNER(S) OF ANY ADJOINING BUILDING LIKELY TO BE AFFECTED BY WORKS FALLING WITHIN THE SCOPE OF THE PARTY WALL ACT 1996.

PRIOR TO THE COMMENCEMENT OF WORK THE CLIENT OR BUILDER MUST ASCERTAIN THAT THE NECESSARY PLANNING AND BUILDING REGULATIONS APPROVALS HAVE BEEN OBTAINED; NO LIABILITY CAN BE ACCEPTED UNDER ANY CIRCUMSTANCES FOR UNAUTHORISED WORK OR FOR THE CONSEQUENCES OF A FAILURE TO CARRY OUT SUCH PRUDENT CHECKS.

ALL DIMENSIONS ARE TO BE ACCURATELY CHECKED ON SITE BEFORE MATERIALS ARE ORDERED OR WORK STARTED; DO NOT ATTEMPT TO DERIVE WORKING MEASUREMENTS FOR ANY PURPOSES BY SCALING FROM THE PLANS. WHILST EVERY EFFORT IS MADE TO ENSURE THE ACCURACY OF DIMENSIONS DEPICTED ON THE PLANS, NO LIABILITY WILL BE ACCEPTED FOR ANY ERRORS. THE AGENT OR BUILDING INSPECTOR MUST BE NOTIFIED WITHOUT DELAY IF THE CLIENT OR BUILDER DECIDES TO DEPART IN ANY WAY FROM THE APPROVED PLANS.

ALL DRAINAGE SHOWN ON THE PLANS IS PROVISIONAL AND MUST BE CONFIRMED ON SITE WITH THE BUILDING INSPECTOR. ALL BUILDING MATERIALS AND COMPONENTS ARE TO BE HANDLED AND USED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, AND ARE ALSO TO BE SELECTED FROM COMPATIBILITY WITH OTHER MATERIALS SO AS TO ACHIEVE THE INTENDED PERFORMANCE, APPEARANCE AND DURABILITY IN SPECIFIC APPLICATIONS. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE ADEQUACY OF ANY ALTERNATIVES SUBSTITUTED FOR MATERIALS, COMPONENTS OR CONSTRUCTION AND FINISHING METHODS SPECIFIED IN THESE PLANS.

ALL MATERIALS, COMPONENTS, CONSTRUCTION AND WORKING METHODS MUST CONFORM TO THE LATEST BUILDING REGULATIONS AND HEALTH & SAFETY STANDARDS AND GOOD SITE PRACTICE. IF IN DOUBT REGARDING ANY OF THE ABOVE MATTERS THE CLIENT OR BUILDER MUST CONSULT THE AGENT OR BUILDING INSPECTOR WITHOUT DELAY. NO LIABILITY WILL BE ACCEPTED UNDER ANY CIRCUMSTANCES FOR THE CONSEQUENCES OF A FAILURE TO OBSERVE THESE CONDITIONS.



NOTES

3D drawings not intended for construction. Only for indicative purposes. Do not scale except for planning purposes. All dimensions in millimeters unless stated otherwise.



1 Proposed South Side Street Scene  
1 : 150

B	car parking identified	18.8.21	mm
A	ground & windows corrected	19.6.21	mm

Rev	Description	Date	Dr by	App by
-----	-------------	------	-------	--------

PLANNING

Client:

Project:

Land at Junction of Greystone Passage & Steppingstone Passage

Drawing Title:

South Side Street View

Drawn mm	Paper Size A3	Scale as shown @ A3	Date 17/05/2021
-------------	------------------	------------------------	--------------------

Project No. 2021/1064	Drawing No. P103	Revision B
--------------------------	---------------------	---------------

**SPACE**  
Design ARCHITECTURE  
T: 0121 517 0271 • W: spacedp.co.uk

THIS DRAWING IS THE COPYRIGHT OF **Space Design Architecture** AND MAY NOT BE COPIED, ALTERED OR REPRODUCED IN ANY FORM OR PASSED TO A THIRD PARTY WITHOUT THEIR WRITTEN CONSENT. THE CLIENTS ARE LEGALLY REQUIRED TO INFORM THE OWNER(S) OF ANY ADJOINING BUILDING LIKELY TO BE AFFECTED BY WORKS FALLING WITHIN THE SCOPE OF THE PARTY WALL ACT 1996.

PRIOR TO THE COMMENCEMENT OF WORK THE CLIENT OR BUILDER MUST ASCERTAIN THAT THE NECESSARY PLANNING AND BUILDING REGULATIONS APPROVALS HAVE BEEN OBTAINED; NO LIABILITY CAN BE ACCEPTED UNDER ANY CIRCUMSTANCES FOR UNAUTHORISED WORK OR FOR THE CONSEQUENCES OF A FAILURE TO CARRY OUT SUCH PRUDENT CHECKS.

ALL DIMENSIONS ARE TO BE ACCURATELY CHECKED ON SITE BEFORE MATERIALS ARE ORDERED OR WORK STARTED; DO NOT ATTEMPT TO DERIVE WORKING MEASUREMENTS FOR ANY PURPOSES BY SCALING FROM THE PLANS. WHILST EVERY EFFORT IS MADE TO ENSURE THE ACCURACY OF DIMENSIONS DEPICTED ON THE PLANS, NO LIABILITY WILL BE ACCEPTED FOR ANY ERRORS. THE AGENT OR BUILDING INSPECTOR MUST BE NOTIFIED WITHOUT DELAY IF THE CLIENT OR BUILDER DECIDES TO DEPART IN ANY WAY FROM THE APPROVED PLANS.

ALL DRAINAGE SHOWN ON THE PLANS IS PROVISIONAL AND MUST BE CONFIRMED ON SITE WITH THE BUILDING INSPECTOR. ALL BUILDING MATERIALS AND COMPONENTS ARE TO BE HANDLED AND USED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, AND ARE ALSO TO BE SELECTED FROM COMPATIBILITY WITH OTHER MATERIALS SO AS TO ACHIEVE THE INTENDED PERFORMANCE, APPEARANCE AND DURABILITY IN SPECIFIC APPLICATIONS. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE ADEQUACY OF ANY ALTERNATIVES SUBSTITUTED FOR MATERIALS, COMPONENTS OR CONSTRUCTION AND FINISHING METHODS SPECIFIED IN THESE PLANS.

ALL MATERIALS, COMPONENTS, CONSTRUCTION AND WORKING METHODS MUST CONFORM TO THE LATEST BUILDING REGULATIONS AND HEALTH & SAFETY STANDARDS AND GOOD SITE PRACTICE. IF IN DOUBT REGARDING ANY OF THE ABOVE MATTERS THE CLIENT OR BUILDER MUST CONSULT THE AGENT OR BUILDING INSPECTOR WITHOUT DELAY. NO LIABILITY WILL BE ACCEPTED UNDER ANY CIRCUMSTANCES FOR THE CONSEQUENCES OF A FAILURE TO OBSERVE THESE CONDITIONS.



NOTES

3D drawings not intended for construction.  
Only for indicative purposes.  
Do not scale except for planning purposes.  
All dimensions in millimeters unless stated otherwise.



1 Proposed South Side Street Scene  
1 : 150

A ground & windows corrected 19.6.21 mm

Rev	Description	Date	Dr by	App by
-----	-------------	------	-------	--------

PLANNING

Client:

Project:

Land at Junction of Greystone Passage & Steppingstone Passage

Drawing Title:

South Side Street View

Drawn	Paper Size	Scale	Date
mm	A3	as shown @ A3	17/05/2021

Project No.	Drawing No.	Revision
2021/1064	P103	A

**SPACE**  
Design ARCHITECTURE

T: 0121 517 0271 • W: spacedp.co.uk

THIS DRAWING IS THE COPYRIGHT OF **Space Design Architecture** AND MAY NOT BE COPIED, ALTERED OR REPRODUCED IN ANY FORM OR PASSED TO A THIRD PARTY WITHOUT THEIR WRITTEN CONSENT. THE CLIENT(S) ARE LEGALLY REQUIRED TO INFORM THE OWNER(S) OF ANY ADJOINING BUILDING LIKELY TO BE AFFECTED BY WORKS FALLING WITHIN THE SCOPE OF THE PARTY WALL ACT 1996.

PRIOR TO THE COMMENCEMENT OF WORK THE CLIENT OR BUILDER MUST ASCERTAIN THAT THE NECESSARY PLANNING AND BUILDING REGULATIONS APPROVALS HAVE BEEN OBTAINED; NO LIABILITY CAN BE ACCEPTED UNDER ANY CIRCUMSTANCES FOR UNAUTHORISED WORK OR FOR THE CONSEQUENCES OF A FAILURE TO CARRY OUT SUCH PRUDENT CHECKS.

ALL DIMENSIONS ARE TO BE ACCURATELY CHECKED ON SITE BEFORE MATERIALS ARE ORDERED OR WORK STARTED; DO NOT ATTEMPT TO DERIVE WORKING MEASUREMENTS FOR ANY PURPOSES BY SCALING FROM THE PLANS. WHILST EVERY EFFORT IS MADE TO ENSURE THE ACCURACY OF DIMENSIONS DEPICTED ON THE PLANS, NO LIABILITY WILL BE ACCEPTED FOR ANY ERRORS. THE AGENT OR BUILDING INSPECTOR MUST BE NOTIFIED WITHOUT DELAY IF THE CLIENT OR BUILDER DECIDES TO DEPART IN ANY WAY FROM THE APPROVED PLANS.

ALL DRAINAGE SHOWN ON THE PLANS IS PROVISIONAL AND MUST BE CONFIRMED ON SITE WITH THE BUILDING INSPECTOR. ALL BUILDING MATERIALS AND COMPONENTS ARE TO BE HANDLED AND USED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, AND ARE ALSO TO BE SELECTED FROM COMPATIBILITY WITH OTHER MATERIALS SO AS TO ACHIEVE THE INTENDED PERFORMANCE, APPEARANCE AND DURABILITY IN SPECIFIC APPLICATIONS. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE ADEQUACY OF ANY ALTERNATIVES SUBSTITUTED FOR MATERIALS, COMPONENTS OR CONSTRUCTION AND FINISHING METHODS SPECIFIED IN THESE PLANS.

ALL MATERIALS, COMPONENTS, CONSTRUCTION AND WORKING METHODS MUST CONFORM TO THE LATEST BUILDING REGULATIONS AND HEALTH & SAFETY STANDARDS AND GOOD SITE PRACTICE. IF IN DOUBT REGARDING ANY OF THE ABOVE MATTERS THE CLIENT OR BUILDER MUST CONSULT THE AGENT OR BUILDING INSPECTOR WITHOUT DELAY. NO LIABILITY WILL BE ACCEPTED UNDER ANY CIRCUMSTANCES FOR THE CONSEQUENCES OF A FAILURE TO OBSERVE THESE CONDITIONS.

## **PLANNING APPLICATION NUMBER: P21/1104**

Type of approval sought	Full Planning Permission
Ward	Norton
Agent	Tim Holloway
Case Officer	Sarah Wilkes
Location:	<b>36, SANDY ROAD, NORTON, STOURBRIDGE, WEST MIDLANDS, DY8 3AH</b>
Proposal	<b>SINGLE STOREY SIDE AND REAR EXTENSIONS (FOLLOWING DEMOLITION OF EXISTING GARAGE), TWO STOREY REAR EXTENSION AND LOFT CONVERSION WITH SIDE DORMER TO FORM HABITABLE USE AND ELEVATIONAL CHANGES TO INCLUDE NEW JULIET BALCONY TO REAR AND LOFT</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

### **REFERRAL TO DEVELOPMENT CONTROL COMMITTEE**

The application has been referred to Development Control Committee as the applicant is a Councillor.

### **SITE AND SURROUNDINGS**

1. The application site comprises a detached three bedroom property with pitched roof and front and rear facing gables. There is an existing single storey extension to the rear with flat roof and there is also a detached garage within the rear garden which abuts the north eastern boundary of the site. The plot is generous and there is sufficient hardstanding to accommodate several vehicles to the front and side of the property.
2. 38 Sandy Road is the neighbouring detached house to the south west and this property has a garage attached to its north eastern side and which adjoins a single storey rear extension. 34 Sandy Road is the neighbouring detached house to the north east and is of the same house type as the application property. This dwelling

also has a detached garage and a single storey rear extension set in from the common boundary with the application property. The site backs onto 81 Greyhound Lane to the north.

3. The property is located within a wholly residential context and surrounding properties are mix of house types and designs and occupy generous plots.

## PROPOSAL

4. It is proposed to erect single storey side and rear extensions (following demolition of the exiting garage), two storey rear extension and loft conversion with side dormer.
5. At ground floor level the extension would project 1.4m to the north eastern side of the property and would extend a maximum of 6.7m beyond the existing two storey wall to the rear. A 22cm distance would be retained between the boundary with 38 Sandy Road and a distance of 84cm would be retained between the boundary with 34 Sandy Road. Internally the ground floor would consist of a cloak room, shower/wc, extended utility and open plan kitchen/dining room. To the side the extension would adopt a shallow pitched roof lowering to a flat roof to the rear.
6. At first floor level the extension would provide extended bedroom and bathroom and would project 2.2m beyond the existing two storey wall to the rear. It would span the full width of the existing rear elevation finishing with a rear facing gable. To the rear French doors would be provided at first floor level for the extended bedroom with Juliet style balcony. A second set of doors and Juliet balcony would also be inserted at second floor level to serve one of the new bedrooms within the loft conversion.
7. The loft conversion would provide two additional bedrooms with shower room and staircase accommodated within the proposed side dormer which would be located on the north eastern side of the property. The dormer would consist of a box type design set down from the existing ridge height of the main roof and with side facing obscure glazed non opening bathroom and landing windows.

8. The application is supported by a Planning Statement outlining the planning history of the site and advising of previous contact with the Local Planning Authority regarding the proposals.
9. This application is before Development Control Committee as the applicant is a Councillor.

## HISTORY

APPLICATION No.	PROPOSAL	DECISION	DATE
P20/1130/LDO	Householder Local Development Order for a proposed single storey side/rear extension.	Approved with conditions	18/08/2020
P08/0795	One and two storey side extension, first floor rear, rear conservatory and loft conversion with window in rear elevation (resubmission of refused application P07/2328)	Approved with conditions	23/06/2008
P07/2328	One and two storey side extension, first floor rear, rear conservatory and loft conversion with window in rear elevation.	Refused	01/02/2008

10. Planning application P07/2328 was refused for the following reasons;
  1. The proposed development, by reason of its roof and gutter detailing would be detrimental to the character and appearance of the original dwelling and appear as an incongruous feature in the wider street scene. The proposal would

therefore be contrary to Policy DD4 Development in Residential Areas of the Adopted Unitary Development Plan (2005) and of Planning Guidance Note 17 – House Extension Design Guide.

2. The proposed development by reason of its siting and its projection beyond the limit set out in the Council's Planning Guidance Note No. 12 – The 45 Degree Code, would detrimentally impact upon the outlook and amenities of the neighbouring property No.34 Sandy Road in conflict with the objectives of Policy DD4 Development in Residential Areas of the Adopted Unitary Development Plan (2005) and of Planning Guidance Note 17 – House Extension Design Guide.

## **PUBLIC CONSULTATION**

11. Direct notification was initially was carried out to five neighbouring properties and one letter of objection has been received which raises the following material planning concerns:

- *“That the proposed rear single storey extension has taken no consideration of Planning Guidance Note 12 – The 45 Degree Code”.*
- *“That the proposal shows an extension with the same projection from the property as was proposed in planning application No P07/2328 which was refused due to ‘detrimentally impacting the outlook and amenities of No 34 Sandy Road’”* and that this proposal was subsequently amended and approved under application P08/0795 taking this into account.
- Concerns regarding the overall scale and appearance of the development specifically the dormer roof extension which is not in keeping with other properties nearby. That it does not take into account Planning Guidance Note 17 ‘2.2 Scale and appearance’ or ‘4.5 Dormer Extensions’ and lacks a 1m setback from the fascia line.

12. The letter also raises concern that the drawings incorrectly show the boundary with no. 34 and uses land belonging to no. 34 to accommodate the front gate. It is also raised that the two opening doors within 838mm of the boundary would be considered a fire hazard under Building Regulations.
13. Amended plans were subsequently submitted altering the red line boundary of the site to exclude a small area of land between the gable end of 34 Sandy Road and the application site. The same neighbours were reconsulted giving them the full timeframe to comment and one objection was received from the original objector. The objection notes that the amended plans have not taken account any of the original objections other than the correction to the extent of the site boundary.

## OTHER CONSULTATION

14. None required

## RELEVANT PLANNING POLICY

### National Planning Policy Framework (NPPF)

### Black Country Core Strategy (2011)

- ENV 3 Design Quality

### Dudley Borough Development Strategy (2017)

- S6 Urban Design
- L1 Housing Development, extensions and alterations to existing dwellings

### Supplementary Planning Documents / Guidance

- PGN 12 The 45 Degree Code
- PGN 17. House Extension Design Guide
- Parking Standards SPD

## ASSESSMENT

15. Key issues;

- History
- Visual Amenity
- Neighbouring Amenity
- Highway Safety
- Other Matters

### History

16. Refused application P07/2328 proposed a two storey side extension, a first floor rear extension, a rear conservatory and a loft conversion. The two storey side extension was deemed to be inappropriate in design terms and this formed the first reason for refusal. The rear elevation of the conservatory was splayed with the maximum depth beyond the two storey rear wall being 6.5m closest to the boundary with 34 Sandy Road. The conservatory breached the 45 Degree Code guidelines with regards to this neighbour and this formed the second reason for refusal. It is pertinent at this point to note that this application was determined on 4<sup>th</sup> February 2008 prior to the legislative changes to the General Permitted Development Order which came into force on 1<sup>st</sup> October 2008.
17. Application P08/0795 was subsequently submitted with improvements to the design of the two storey side extension and with a splayed wall incorporated to the conservatory in order to ensure compliance with the 45 Degree Code with regards to 34 Sandy Road. The rear elevation of the conservatory was levelled with the depth of the conservatory towards the boundary with 38 Sandy Road also increased resulting in a 3.1m projection beyond the garage of this neighbouring property. This application was subsequently approved and is deemed to be extant as some works associated with this application were started.
18. It is at this point worthy of note that whilst a loft conversion was proposed under both of these previous submissions a dormer extension was at no point presented for consideration with the additional roof space gained through the first floor rear and two storey side extensions proposed.

19. More recently an application for a single storey side and rear extension was submitted and approved under the Council's Local Development Order ref: P20/1130/LDO. The extension had a 4m projection beyond the two storey rear wall of the property, however, at this point it is also worthy of note that the rear wall of the property was originally staggered with the rear elevation of the existing kitchen forming part of the original rear elevation.

#### Visual Amenity

20. The scale and design of the two storey rear extension is comparable to what was previously approved under P08/0795. The design would reflect the existing property and this aspect of the development would not be viewed within the context of the street scene. Likewise the single storey side and rear extension is deemed to be satisfactory in scale and design terms.
  
21. Unlike the previous extant approval, the current application proposes a side dormer which would be a relatively large addition to the existing roof plane and would be visible from the street scene. In design terms, what is proposed now is not comparable to the two storey side development approved under application P08/0795, however, consideration is given to the fact that permitted development allows large side dormers under Class B of the General Permitted Development Order (as amended). The dormer would be set well back from the front elevation and would also be set back from the existing eaves. Whilst large in scale and of a box design, on balance, refusal of permission on design grounds is not deemed to be sustainable given the significant fallback position. It is, however, deemed necessary to attach a condition ensuring that the external elevations of the dormer are tiled to match the existing roof. In this respect, the proposed development is deemed to be in accordance with Policy ENV3 of the Black Country Core Strategy, Policies L1 & S6 of the Dudley Borough Development Strategy and PGN 17 – House Extension Design Guide.



### Neighbour Amenity

22. For all house extensions, the Council will seek to ensure that any such proposals would not harm the occupiers of adjacent properties in terms of daylight, outlook, privacy and inter-visibility.
  
23. In a similar vein to the 2007 refusal the proposed single storey rear extension would breach the 45 Degree Code guidelines with regards to 34 Sandy Road. It is, however, considered that there has been a significant change in circumstances since this refusal was issued through the 2008 changes to permitted development rights issued by Central Government. The 2008 update to the legislation was more prescriptive than previous versions of the General Permitted Development Order in terms of the depth, scale and position of development proposed and to a certain extent sets a new benchmark.
  
24. The proposed development requires planning permission, however, current permitted development rights allow single storey side and single storey rear extensions to detached properties to extend 4m beyond the original rear wall. Permitted development rights do not, however, allow single storey "wrap around" extensions where the overall width of the development would exceed half the width of the original dwellinghouse (as the current proposal does). As stated previously, the original rear wall of the application property includes the rear wall of the current kitchen and the depth of the proposed extension beyond this original feature would be 4m. The scale of the single storey side/rear extension proposed is also less than what permitted development rights technically allow when considering its proximity to the boundary with 34 Sandy Road. It is also noted that the existing garage would be demolished which sits right on the common boundary and represents an improvement in terms of 34 Sandy Road. Whilst the existing garage is of minimal height, in comparison the proposed extension it would be set off the common boundary and would adopt a flat roof albeit set higher than the eaves level of the existing garage. On balance, whilst the single storey side/rear extension would undoubtedly breach the 45 Degree Code with regards to 34 Sandy Road, given the existing relationship and the changes in legislation since the 2007 refusal, refusal of planning permission is not deemed to be sustainable in this instance.

25. There would be no breach of the 45 Degree Code guidelines as a result of the single storey aspect of the development in terms of 38 Sandy Road and no significant loss of light, outlook or privacy would be experienced in this respect as a result of the proposals.
26. As previously stated the two storey rear extension is of the same scale as what was approved under the 2008 approval. There would be no breach of the 45 Degree Code with regards to this aspect of the proposals which would be modest and set in from neighbouring boundaries either side. Whilst the proposal also now incorporates doors and Juliet balcony at first floor level, generally speaking, Juliet balconies are not deemed to be any worse than a window opening in terms of the potential for overlooking to arise. Likewise, the inclusion of the doors and Juliet style balcony at second floor level featured on the extant consent.
27. The proposed dormer would be sited on the north eastern roof plane towards the boundary with 34 Sandy Road. There would be two side facing windows, however, both would serve non-habitable rooms and would not, therefore, give rise to overlooking. No loss of privacy would be experienced in this regard.
28. In the balance of considerations and taking into account the significant legislative changes since the 2007 refusal, the proposed development is deemed to be acceptable in accordance with Policy L1 of the Dudley Borough Development Strategy.

#### Highway Safety

29. There would be no loss of existing parking provision and it is considered that there are no highway safety matters arising.

#### Other Matters

30. The amended plans provided by the applicant revising the extent of the site boundary would appear to have addressed the objectors' concerns regarding the accuracy of the drawings in this regard. Concerns raised regarding the side facing doors and the potential for them to pose a fire risk are not material to the determination of this planning application and are covered by separate legislation.

## CONCLUSION

31. On balance, it is considered that there would be no demonstrable harm to neighbouring amenity and that the proposed development would be of appropriate design, scale and appearance that would not have an adverse impact upon the character of the area. There are no significant highway safety matters arising.

## RECOMMENDATION

32. It is recommended that the application is APPROVED subject to the following conditions;

### Conditions and/or reasons:

- 1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON: To comply with Section 91 of the Town & Country Planning Act 1990, as amended by Section 51 of the Planning & Compulsory Purchase Act 2004.

- 2) The development hereby permitted shall be carried out in accordance with the following approved plans: Location Plan Drg No. 2018.001 Rev B, Site Plan Drg No. 2018.005 Rev A, Existing & Proposed Elevations Drg No. 2018.004 Rev B, Existing Floor Plans Drg No. 2018.002 Rev A & Floor Plans Drg No. 2018.003 Rev F.

REASON: For the avoidance of doubt and in the interests of proper planning.

- 3) The materials to be used in the approved development shall match in appearance, colour and texture those of the existing building unless otherwise agreed in writing with the Local Planning Authority.

REASON: To ensure the satisfactory appearance of the development in accordance with BCCS Policy ENV2 - Historic Character and Local Distinctiveness and Borough Development Strategy 2017 Policy S6 Urban Design and Policy L1 Housing Development, extensions and alterations to existing dwellings/ Policy D2 Incompatible Land Uses (in part)

- 4) The external elevations of the dormer extension hereby approved shall be

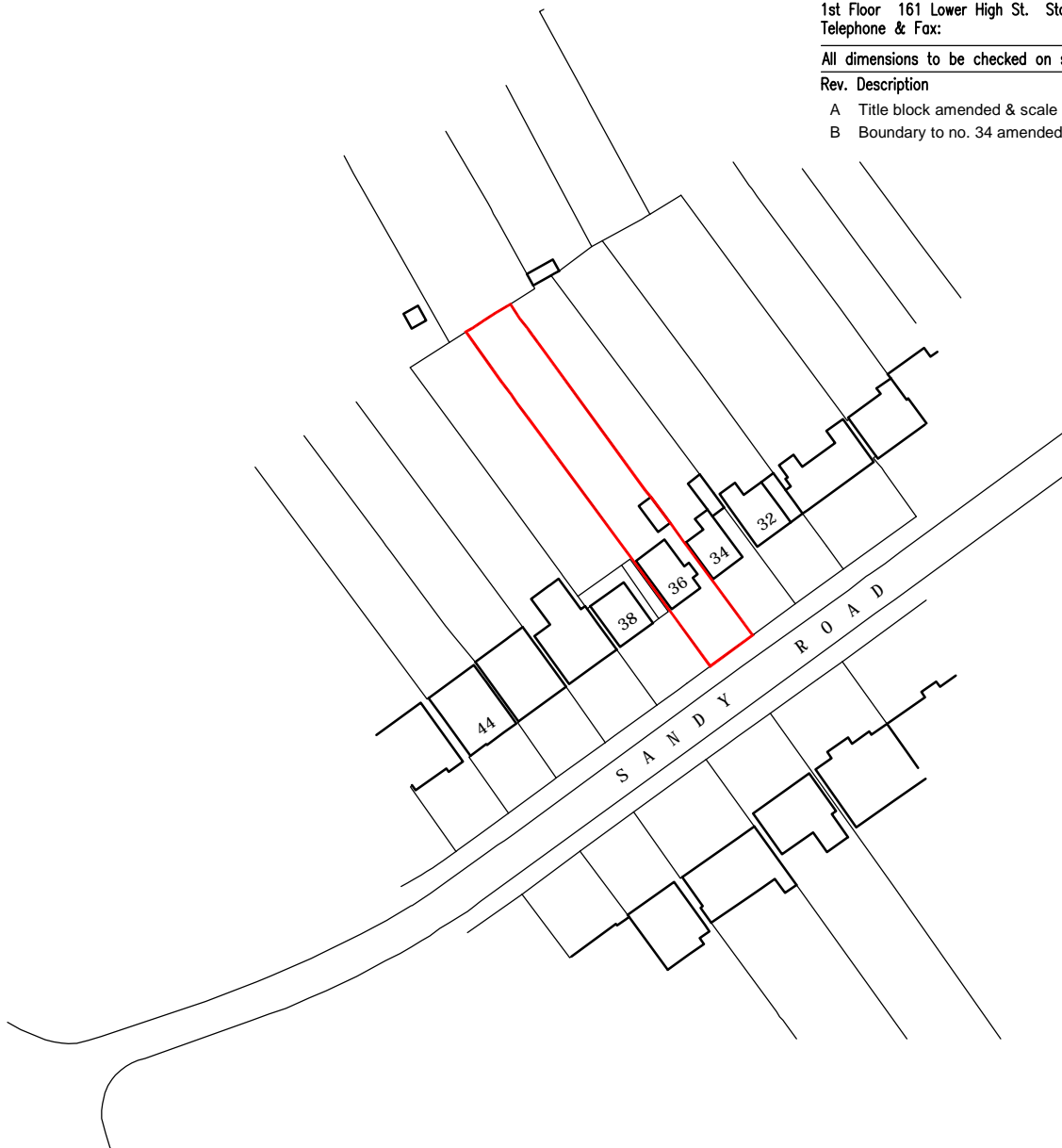
tiled to match in appearance, colour and texture those of the existing roof tiles unless otherwise agreed in writing with the Local Planning Authority.

REASON: To ensure the satisfactory appearance of the development in accordance with BCCS Policy ENV2 - Historic Character and Local Distinctiveness and Borough Development Strategy 2017 Policy S6 Urban Design and Policy L1 Housing Development, extensions and alterations to existing dwellings/ Policy D2 Incompatible Land Uses (in part)

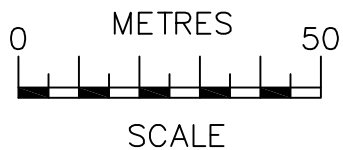
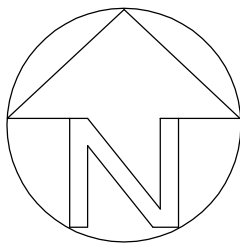
1st Floor 161 Lower High St. Stourbridge West Mids DY8 1TS  
 Telephone & Fax: 01384 371705

All dimensions to be checked on site This drawing is copyright

Rev.	Description	Drawn	Chk	Date
A	Title block amended & scale bar added.	th	th	May 21
B	Boundary to no. 34 amended slightly.	th	th	Jul 21



# Location Plan.



DESIGN BUREAU

1st Floor 161 Lower High St. Stourbridge West Mids DY8 1TS  
 Telephone & Fax: 01384 371705 E-mail: info@harcdb.co.uk

Proposed Side & Rear Extensions  
 & Loft Conversion at 36 Sandy Road,  
 Norton, Stourbridge, West Midlands.

client

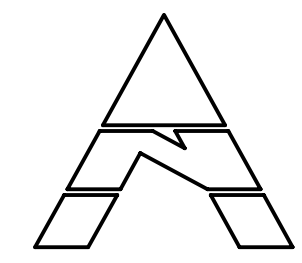
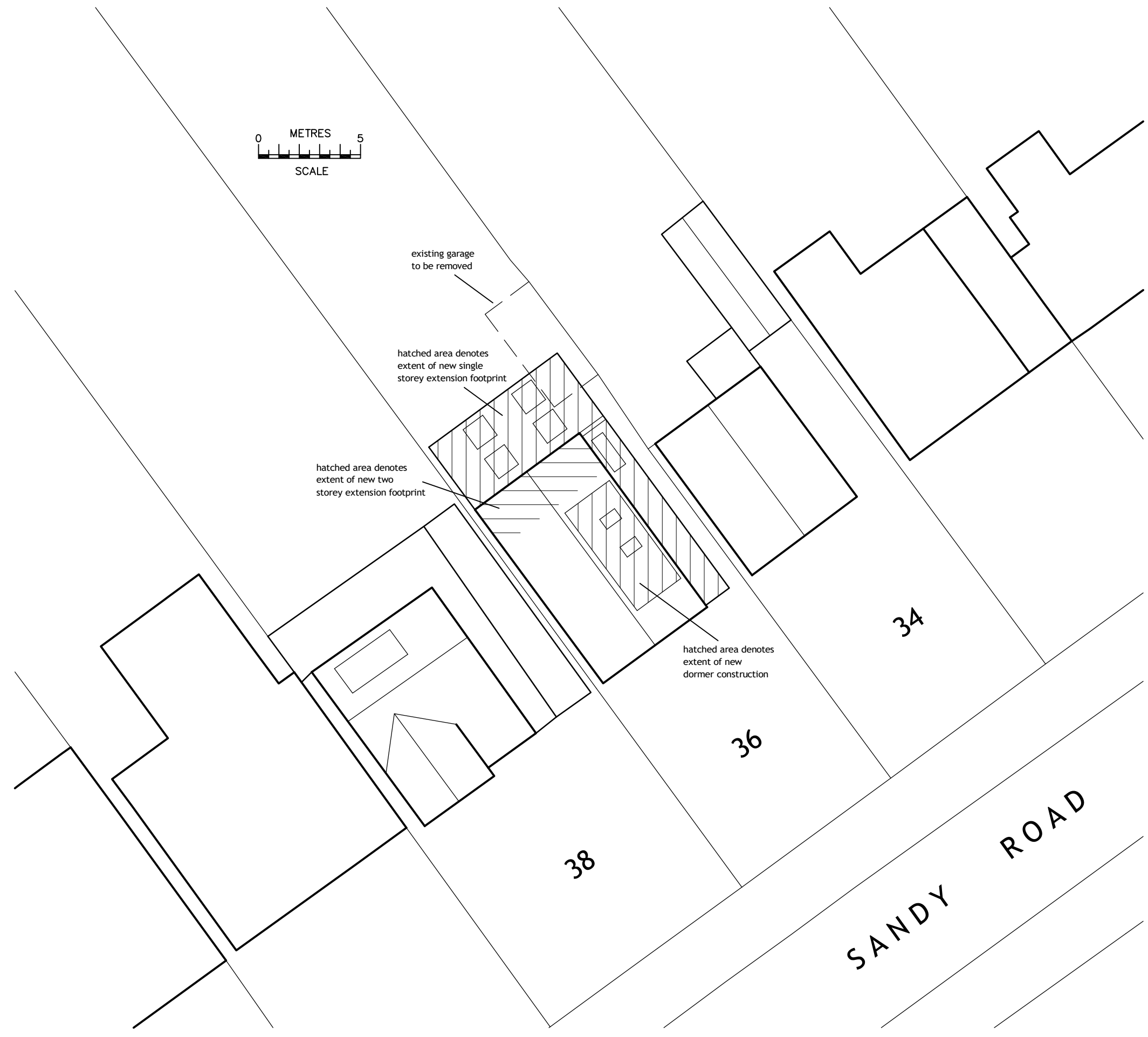
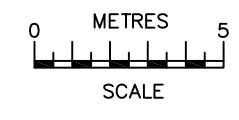
dwg.title Location Plan

scale 1:1250@A4	rev 2018.001	rev B	drawn th
date Jul 20			checked th

Plot File:2018.001B

Plot Date: 20.07.21

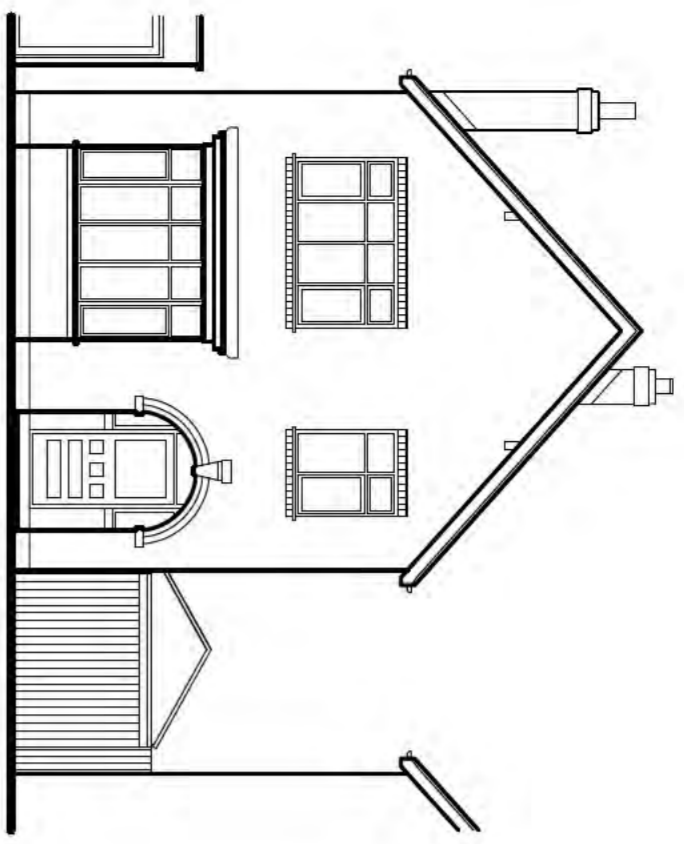
All dimensions to be checked on site		This drawing is copyright		
Rev.	Description	Drawn	Chk	Date
A	Boundary to no. 34 amended slightly.	th	th	Jul 21



**Proposed Side & Rear Extensions  
& Loft Conversion at 36 Sandy Road,  
Norton, Stourbridge, West Midlands.**

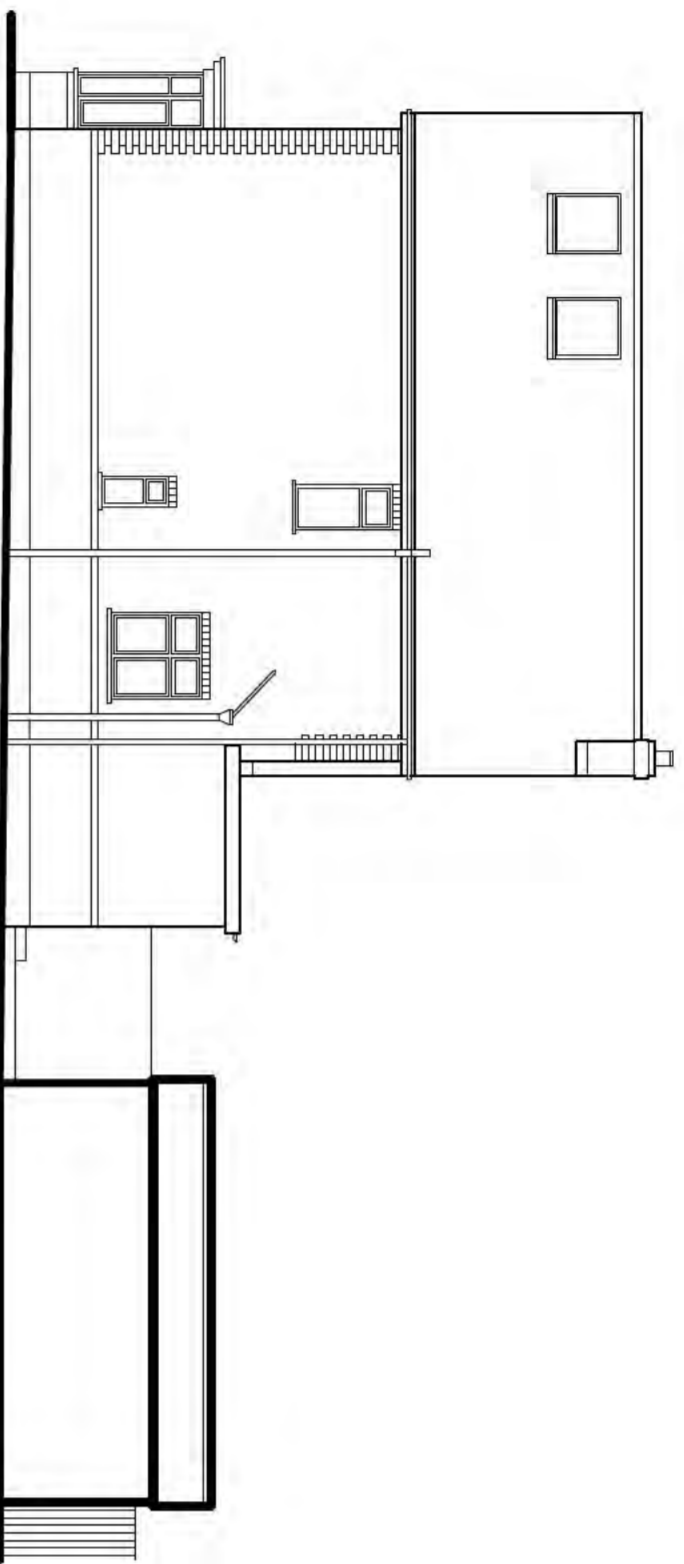
client  
[Redacted]  
dwg.title Site Plan

scale 1: 200@A3	rev	drawn	th
date May 21	2018.005 A	checked	th

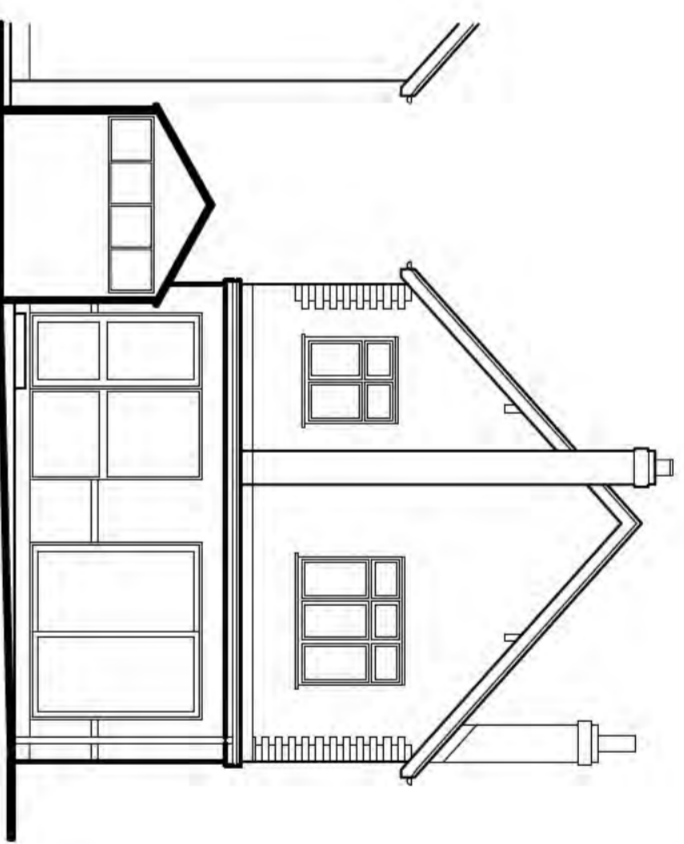


Front Elevation

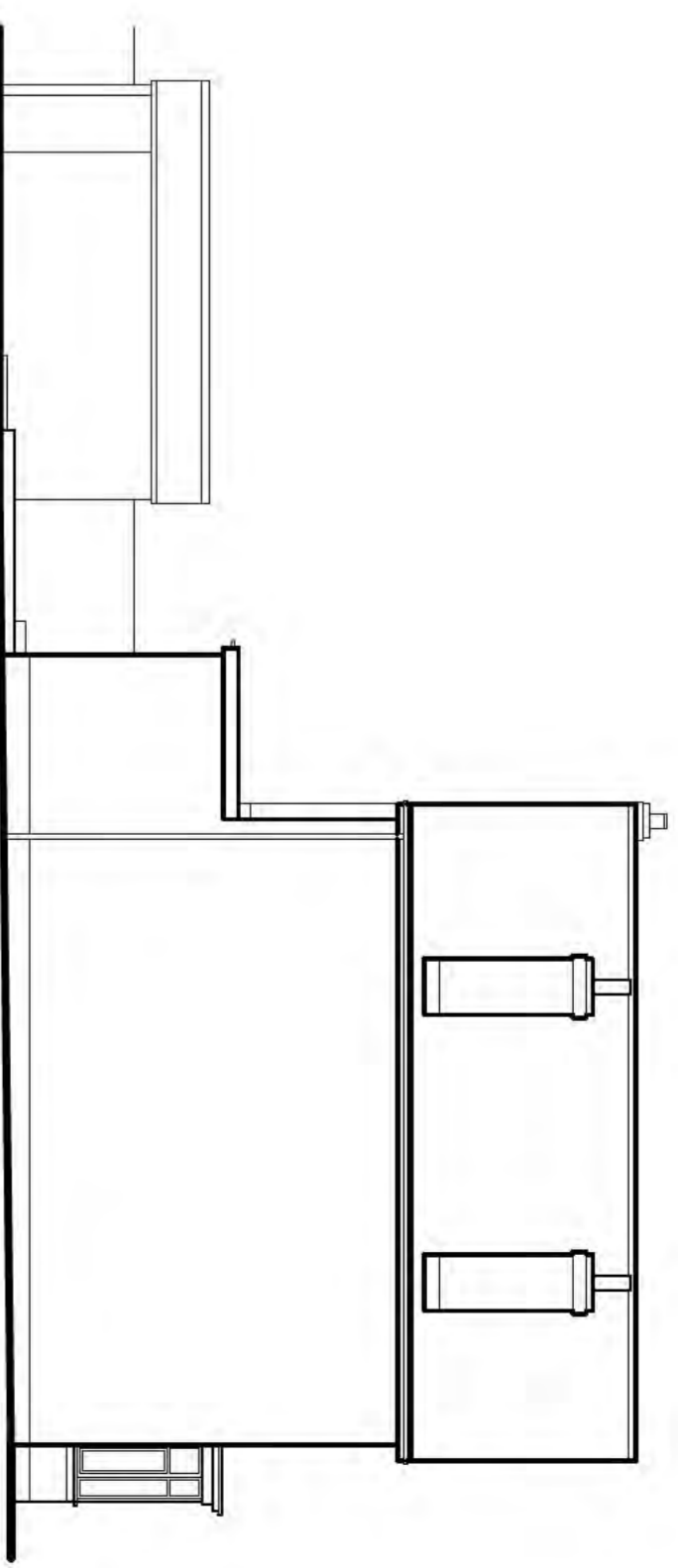
**EXISTING**



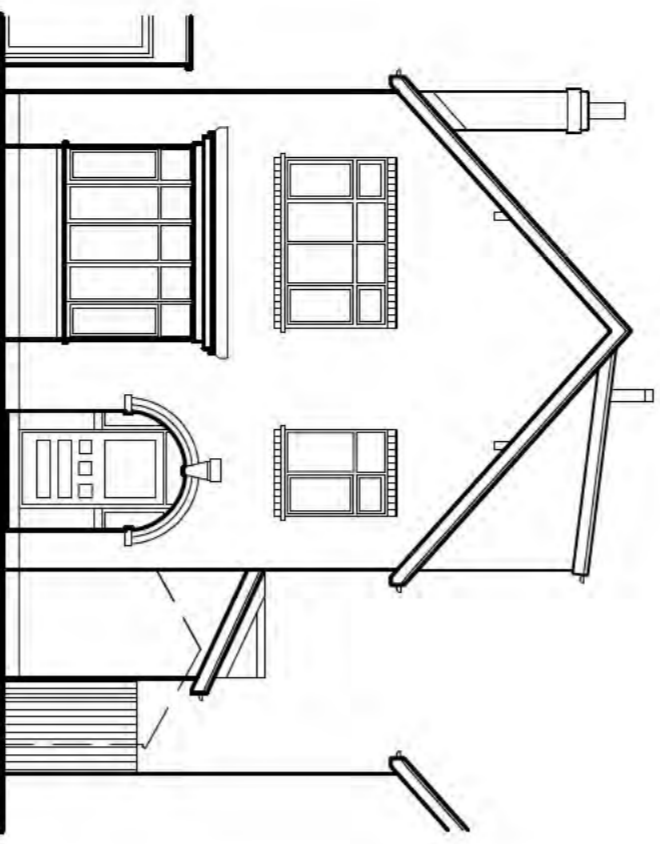
Side Elevation



Rear Elevation

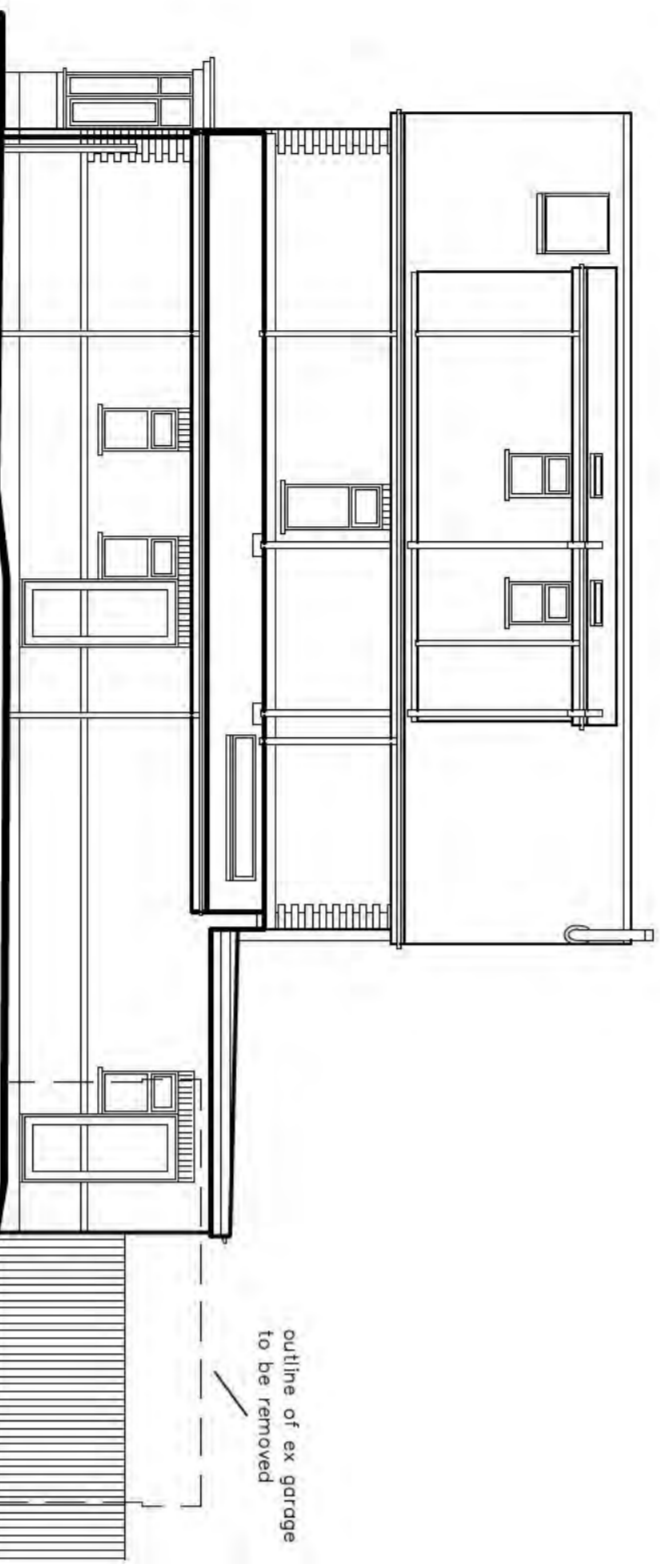


Side Elevation

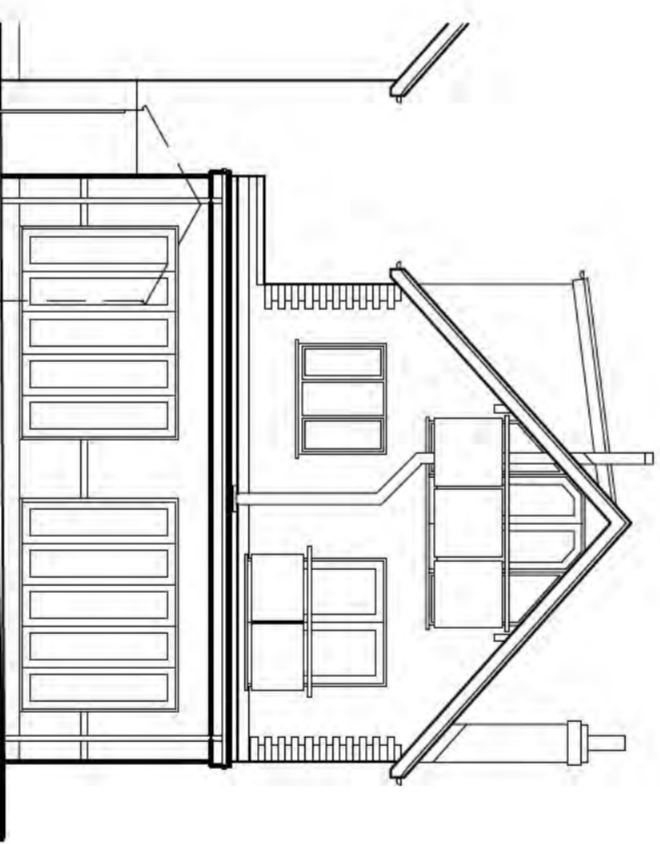


Front Elevation

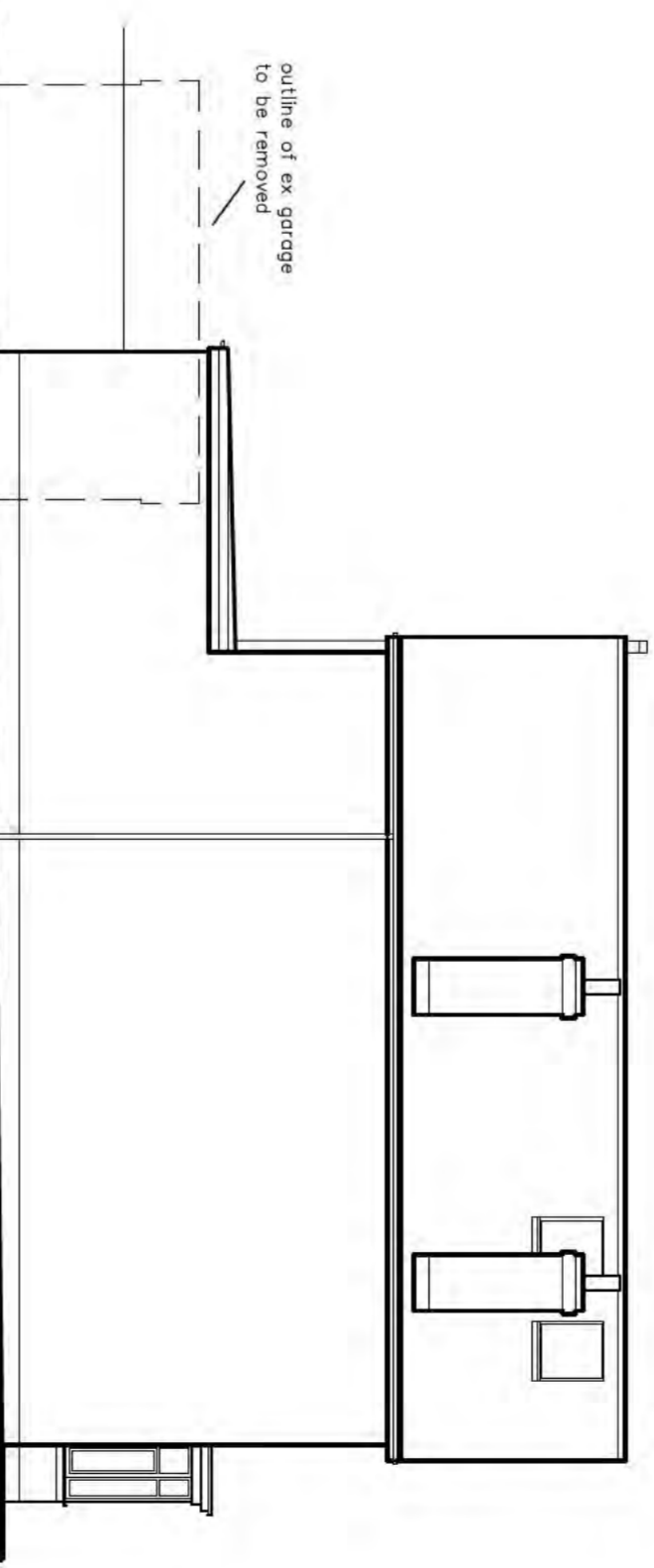
**PROPOSED**



Side Elevation



Rear Elevation



Side Elevation

**Proposed Materials**

**Walls**  
Walls to receive new brickwork to match existing in colour and texture up to line of brick banding at ground floor & to be rendered to match existing elsewhere. Note: proposed front & side elevation to no. 36 Sandy Road are to be brick in their entirety to match the existing.

**Roof**  
New roof tiles to the main roof extension to be concrete plain tiles to match existing in size, colour and texture. The new roof pitch is to match the existing & existing tiles are to be re-used where possible.  
New roof tiles to the ground floor lean-to side extension are to be concrete pan tiles to match the existing in colour & texture and to be appropriate for the proposed roof pitch.

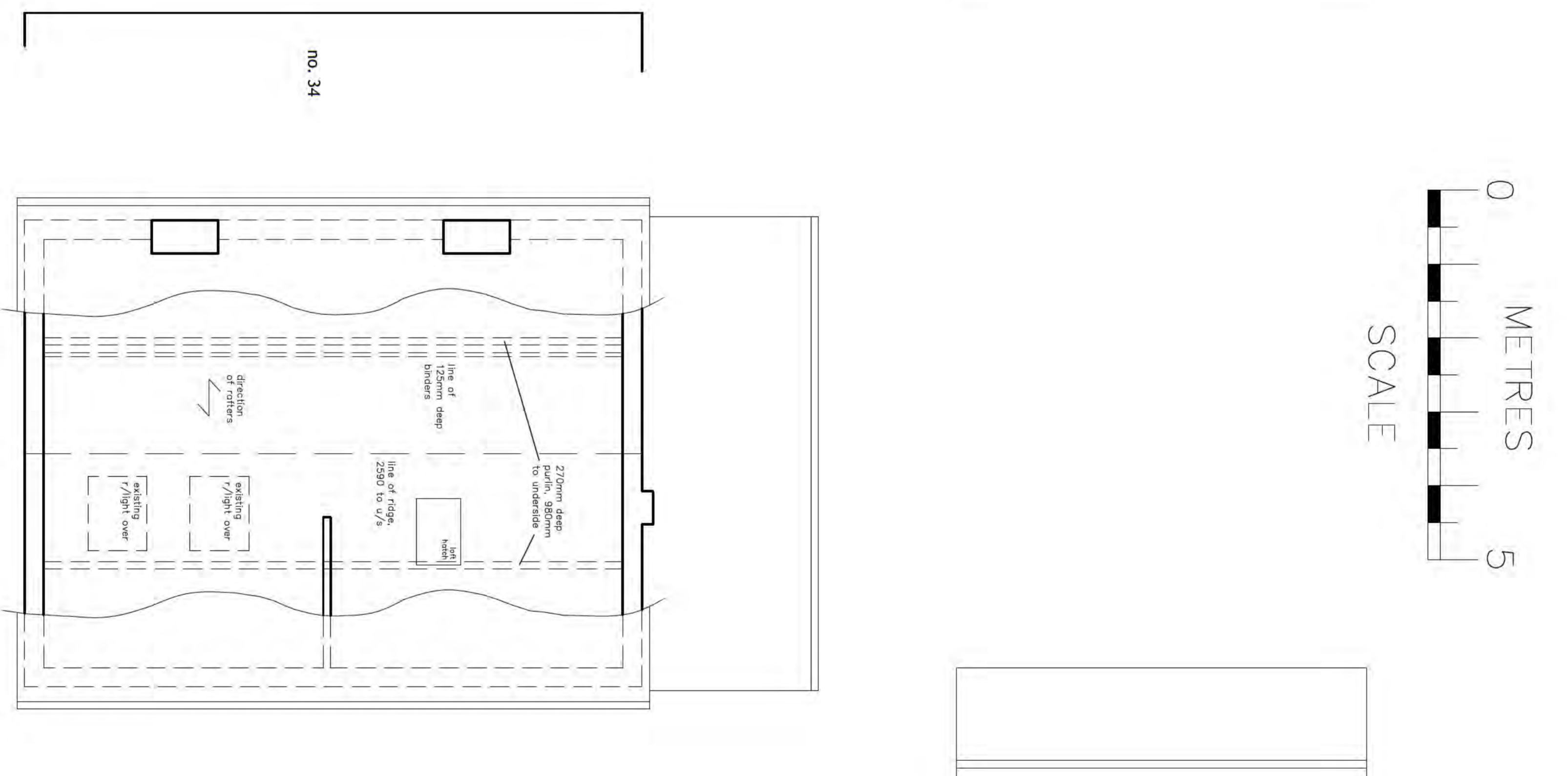
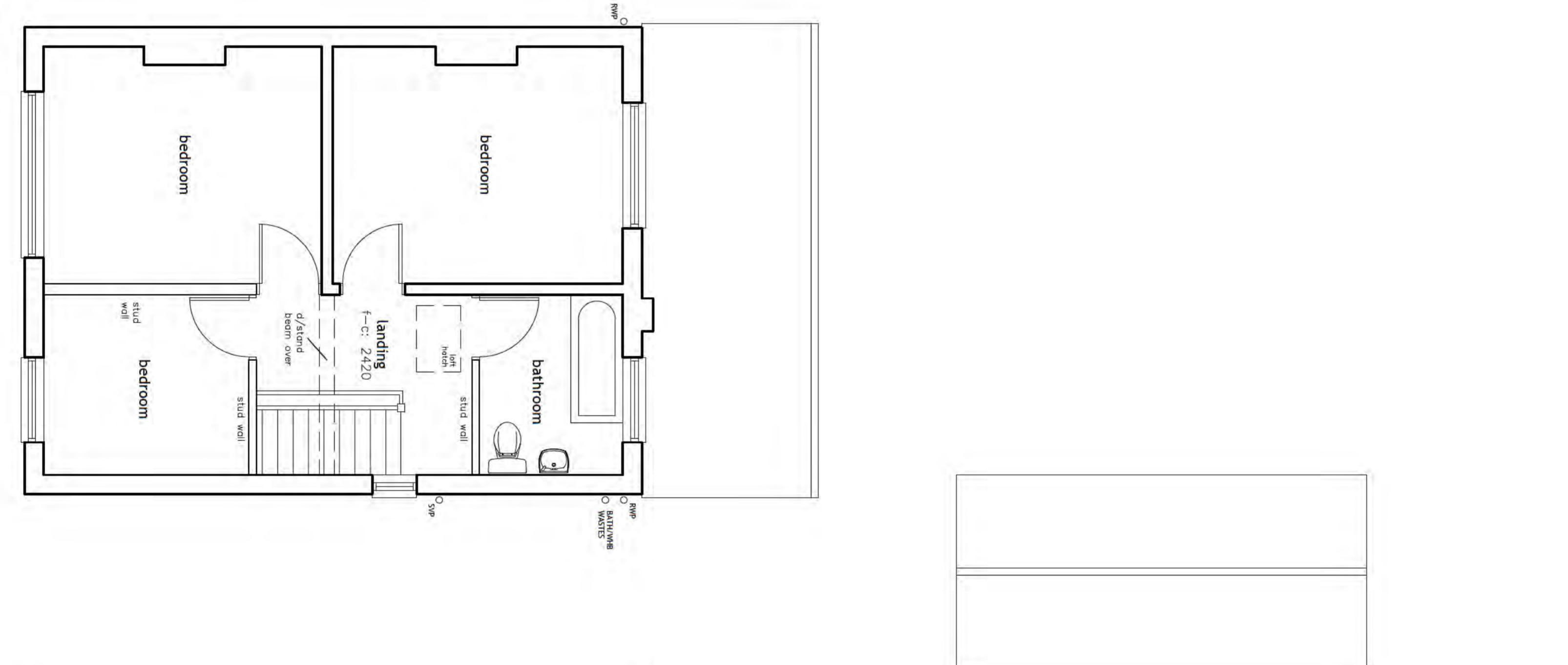
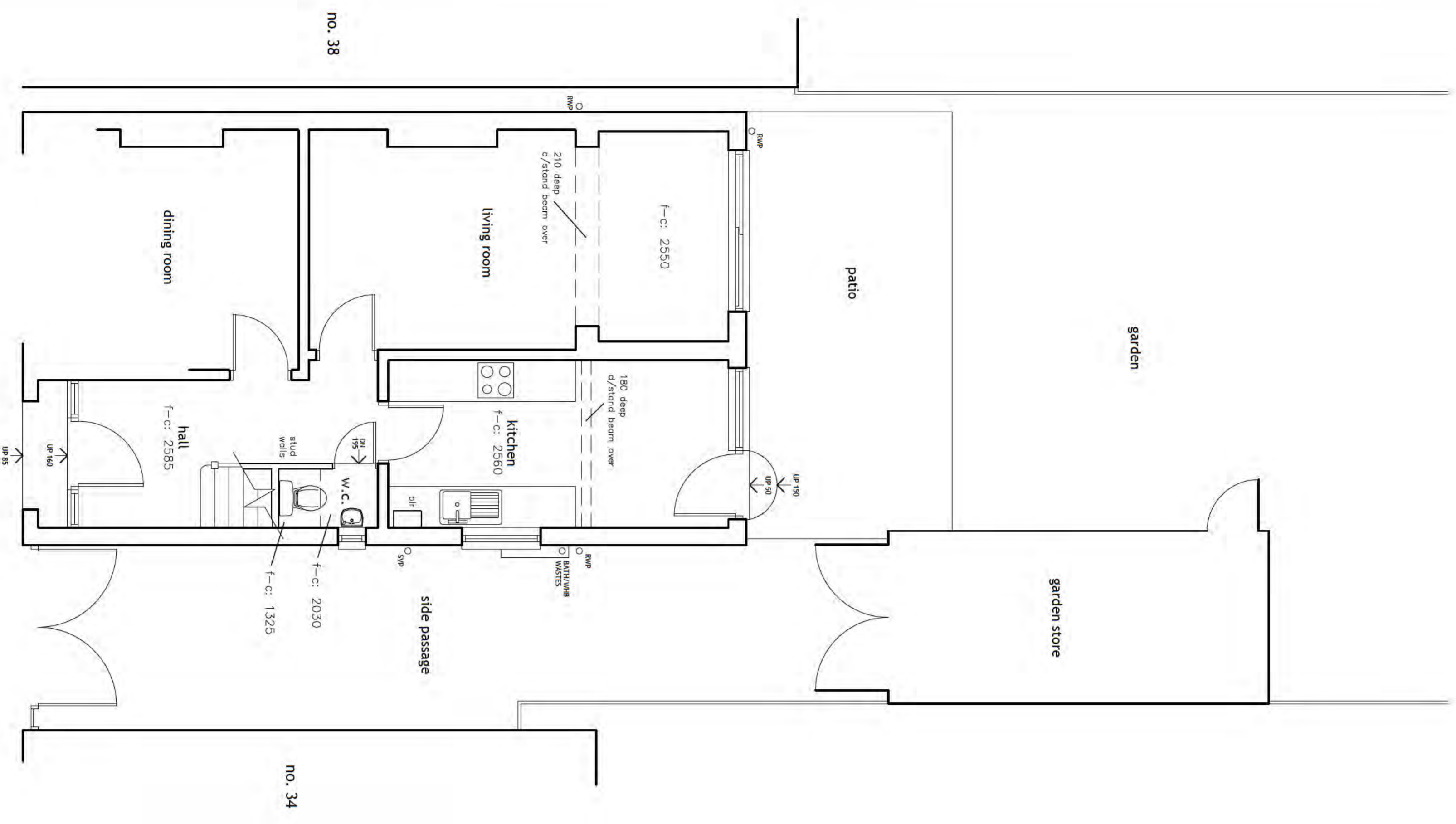
**Windows & external doors**  
Grey PVCu of the configuration shown.

**External bi-fold doors**  
Grey powder coated aluminium of the configuration shown.

**Dormer construction**  
To be finished with the hanging to consist of concrete plain tiles to match the existing roof tiles in size, colour & texture.

**Fascias, barge boards, soffits, etc**  
Black PVCu to match existing.

**Rainwater goods**  
Black PVCu to match existing.



Ground Floor Plan

First Floor Plan

Loftspace Plan

**DESIGN BUREAU**

1st Floor 161 Lower High Street, Stourbridge, West Mids DY8 1TS  
Telephone & Fax: 01384 371705 E-mail: info@harc.co.uk

**Proposed Side & Rear Extensions  
& Loft Conversion at 36 Sandy Road,  
Norton, Stourbridge, West Midlands.**

client: [redacted]

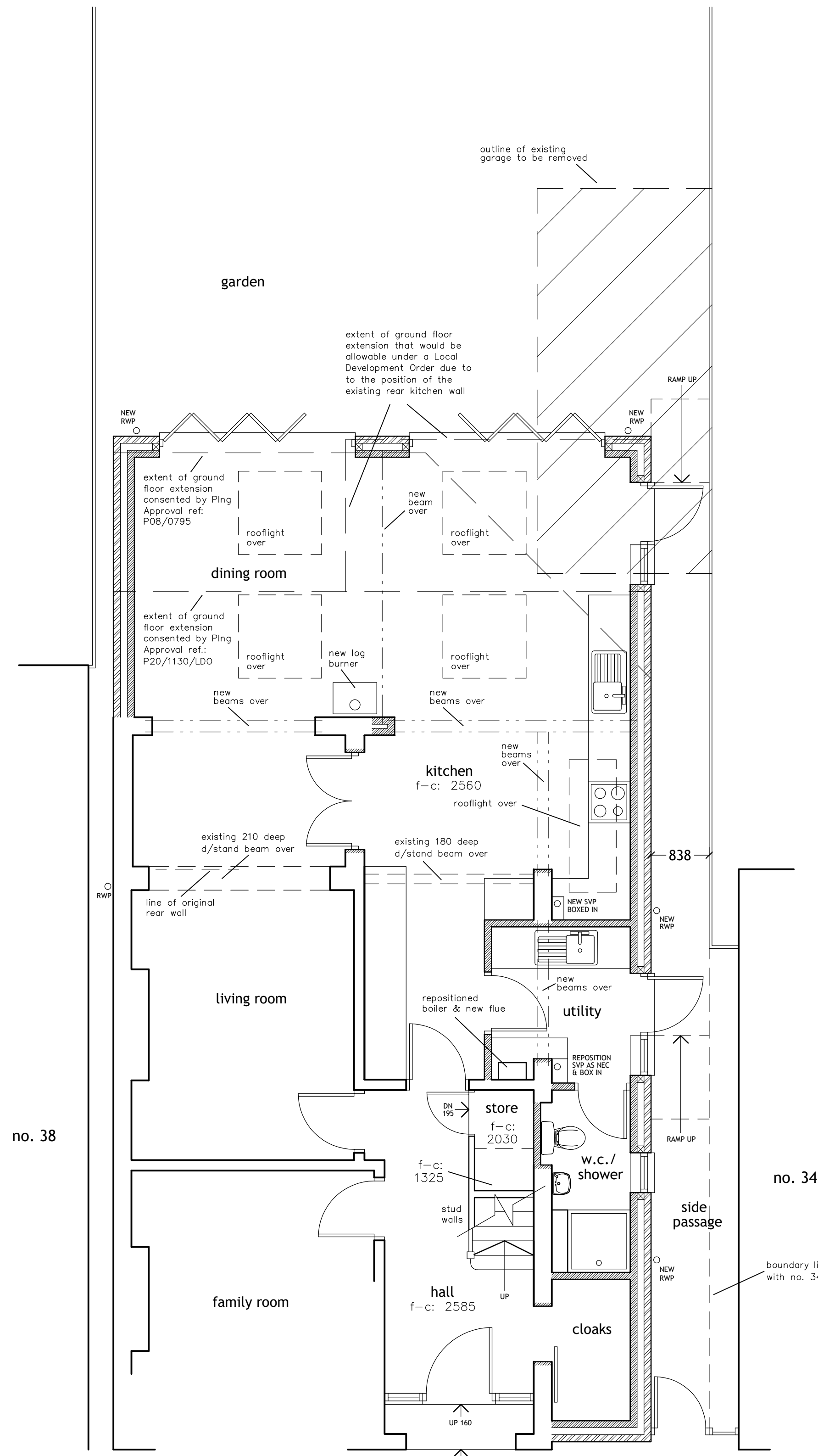
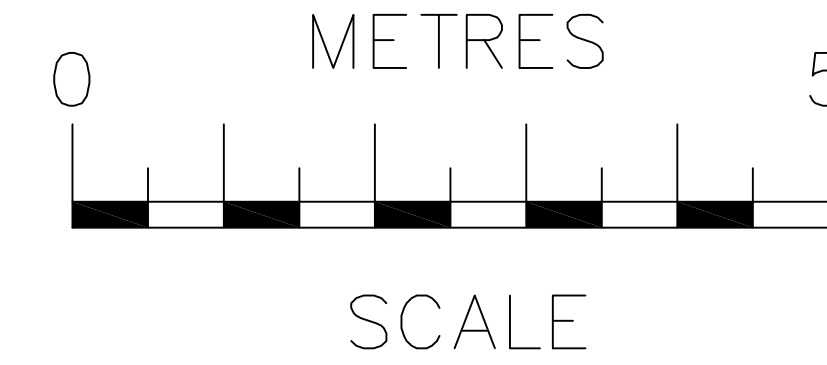
date	rev	drawn	th
Jul 20	2018.002	A	th
		checked	th

Plot File: 2018.002A.003D&004 Plot Date: 04.05.21

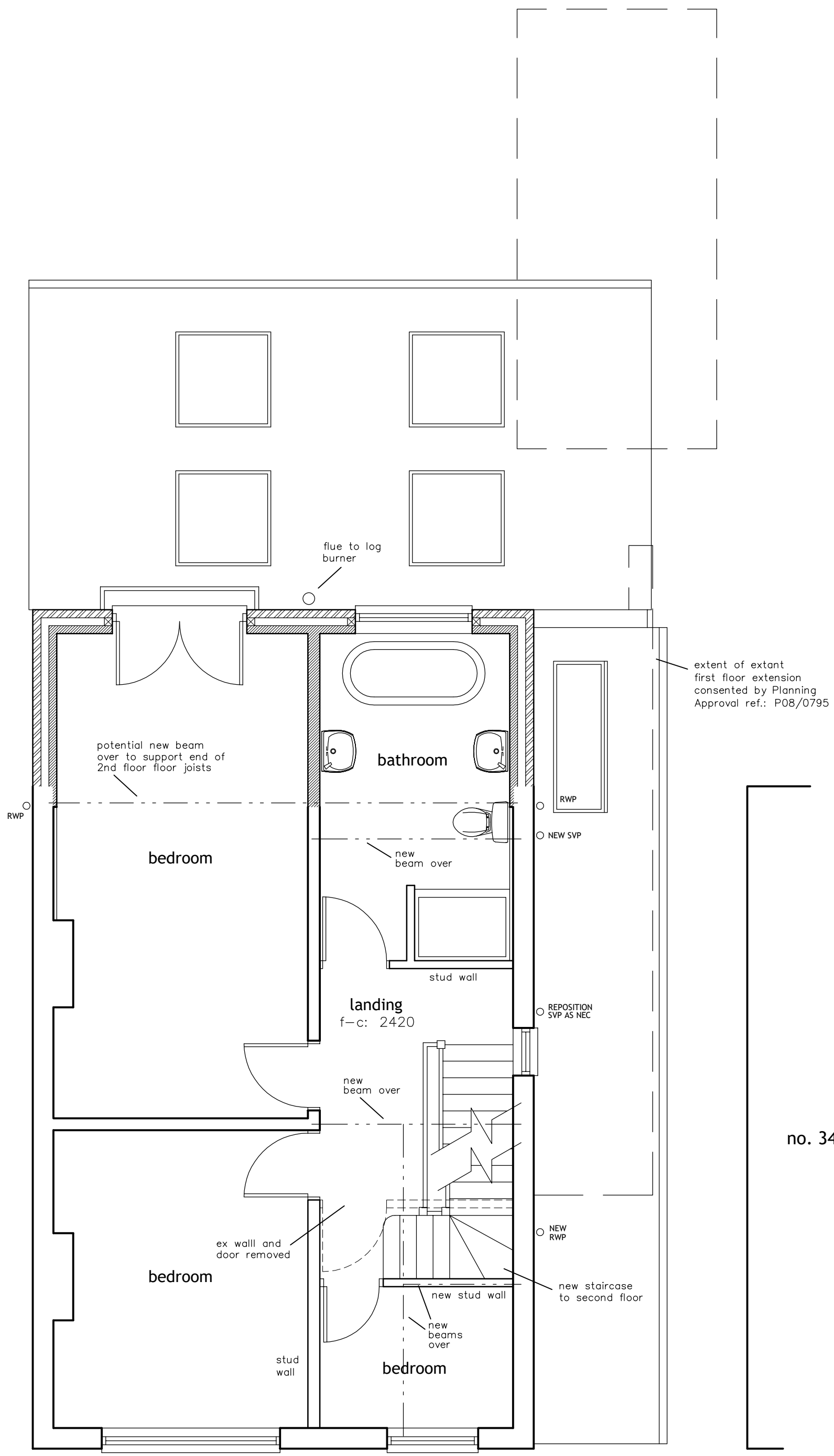


All dimensions to be checked on site This drawing is copyright

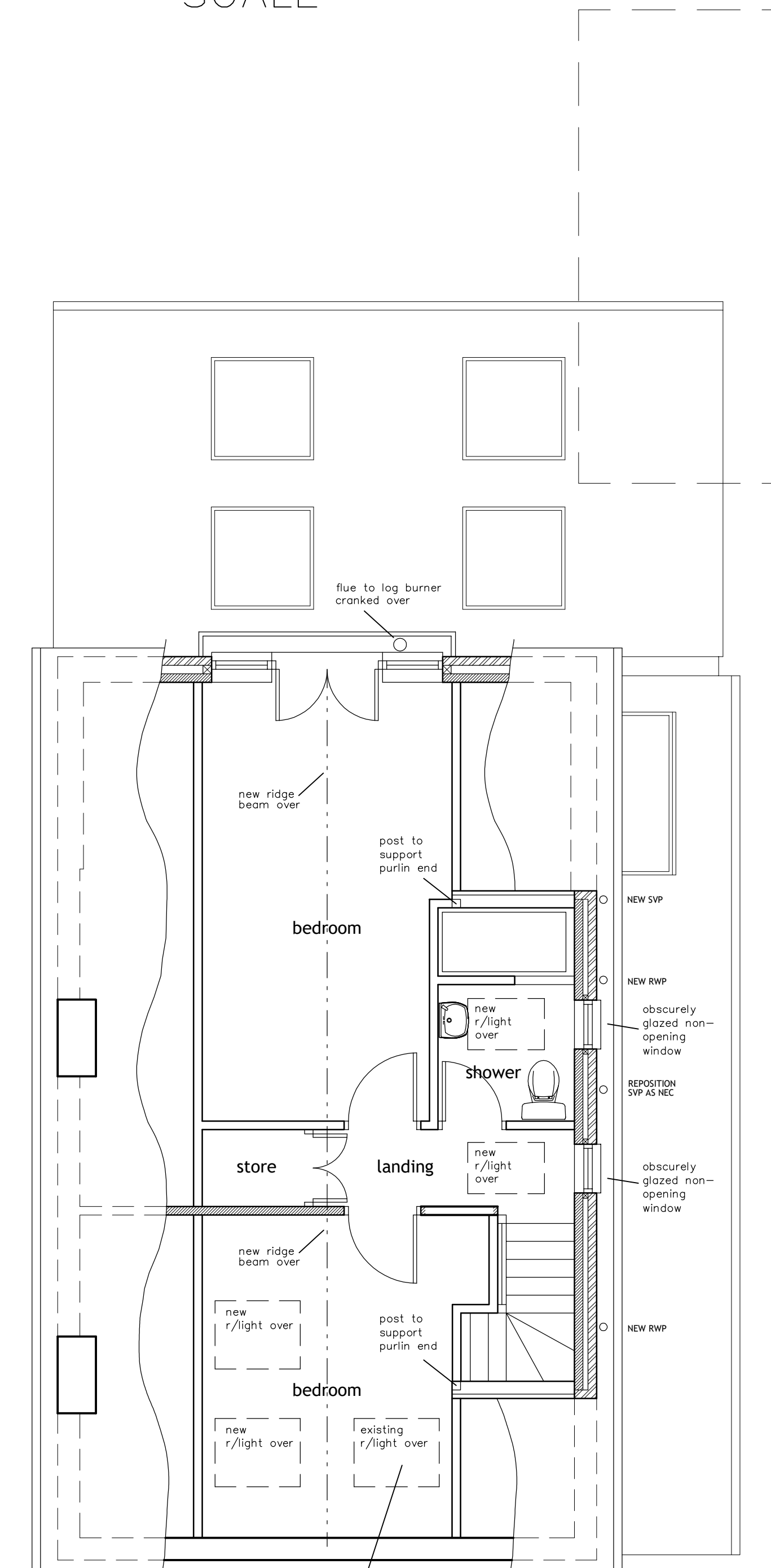
Rev.	Description	Drawn	Chk	Date
A	Proposals amended.	th	th	Sep 20
B	Proposals amended.	th	th	Nov 20
C	Proposals amended.	th	th	Nov 20
D	Ground floor rear extension length reduced.	th	th	May 21
E	Rooflights over s/f landing & shower added.	th	th	May 21
F	Boundary to no. 34 amended slightly.	th	th	Jul 21



Ground Floor Plan



First Floor Plan



Second Floor Plan

Proposed Side & Rear Extensions  
& Loft Conversion at 36 Sandy Road,  
Norton, Stourbridge, West Midlands.

client: [REDACTED]

dwg. title	rev	drawn	th
loft Plans			
scale 1:50	2018.003	F	th
date Jul 20			checked th

Plot File: 2018.002A,003F&004A Plot Date: 20.07.21

## PLANNING APPLICATION NUMBER: P21/1326

Type of approval sought	Full Planning Permission
Ward	Sedgley Ward
Agent	Mr A. Denham, Eclipse Architecture
Case Officer	James Mead
Location:	<b>HILTON LODGE, HIGH PARK CRESCENT, SEDGLEY, DUDLEY, DY3 1QY</b>
Proposal	<b>CHANGE OF USE FROM RESIDENTIAL DWELLING (C3) TO RESIDENTIAL CARE HOME FOR CHILDREN (C2) WITH A FIRST FLOOR EXTENSION AND EXTERNAL ALTERATIONS</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

### SITE AND SURROUNDINGS

1. Hilton lodge is a large residential two storey detached property set within an extensive corner plot off High Park Crescent, Sedgley. The property was constructed in 1938 and used as a dwelling until 1986 when it was converted into a care home for the elderly. The care home operated until 2002 when the property reverted back to a dwelling house.
  
2. The building is set centrally within the site with generous spacing around to each of its boundaries. All boundaries are all extensively landscaped with mature trees and shrubs which results in limited public views of the building. A wall of approximately 1.8m in height extends across the south boundary with timber fencing to all other boundaries.
  
3. Vehicular access is via a driveway to the south with a driveway providing ample off-street parking.
  
4. The area surrounding the site is wholly residential in character with a predominance of detached housing, of a more modern style and age to that of the application site.

## PROPOSAL

5. Approval is sought for a change of use from a dwellinghouse to a care home (Use Class C2) along with a first-floor extension and external alterations.
6. This care home would be specifically run as a residential children's home for up to 6 children. The children would be up to 18 years in age. The home is designed to meet the needs of vulnerable children with complex care or health needs and in need of therapeutic support. Children who would live at the home are those with learning disabilities with additional SEND educational needs, mental health, autism with associated behaviours, children at risk of abuse or harm. All children will require therapeutic specialist care and will have a complexity of needs associated with their disabilities.
7. The children would be educated off site.
8. Supporting information submitted with the application states, there is a requirement for individual care worker support, so up to 6 staff on duty at any one time, with reduced staff during term time and in the day. There will be 2-night staff. Care is on 24-hour basis with shift patterns as follows
  - 7am to 3pm,
  - 3pm to 10pm
  - 10pm to 7am.
9. A car parking area would be laid out to provide space for 12 cars along with a disabled space.
10. External alterations included the removal of an external staircase, the replacement of a door with a window at first floor level and new windows at ground floor.
11. A first-floor extension is proposed to the side of the property, this would be constructed with materials to match the existing building.

## HISTORY

APPLICATION	PROPOSAL	DECISION	DATE
85/50268	Change of use from residential dwelling to residential home for the elderly	Approved with conditions	25/04/1985
94/50883	Erection of bedroom extension.	Approved with conditions	14/07/1994
P21/0909	First floor side infill extension and external alterations	Withdrawn	22/06/2021

## PUBLIC CONSULTATION

12. Letters of notification were sent to the occupiers of eleven neighbouring occupiers and a site notice was posited with the final date for comments to be received being 27<sup>th</sup> August 2021.
13. A petition signed by 73 signatories has been received objecting to the application on the grounds that the proposal introduces a commercial care homes into a quiet residential location and detracts from the established character of the area. Objection in relation to unacceptable level of noise and disturbance have also been made due to intensity of use and increased traffic.
14. Nine letters of objection have been received from neighbouring occupiers objecting to the application on the following grounds
  - Introduction of a care home is incompatible with the residential locality.
  - A commercial venture is not appropriate in a residential area.
  - A care home will be detrimental to character and amenity
  - Increase in noise and disturbance during construction work.
  - Increase in noise and disturbance from the care home use.
  - Increase in intensity of use of the site.

- Not enough parking is proposed.
- Loss of community cohesion
- Loss of existing housing
- There is Japanese Knotweed on the site.
- There are restrictive covenants on the site
- No proper consultation carried out

## OTHER CONSULTATION

15. Head of Planning and Regeneration (Highways) –  
No objection, a car park will be provided that provides sufficient parking.
16. Head of Environmental Safety and Health –  
No objection subject to safeguarding conditions.
17. West Midlands Police  
West Midlands Police have assessed this application based on the likely impact on prospective local residents, and the resources of both the local authority and police. In particular, against paragraph 92 of the National Planning Policy Framework (NPPF) which recommends that local planning authorities ensure their policies and decisions aim to create safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion. West Midlands Police have no objections to this planning application if as stated in the planning statement this is going to be a home for children with disabilities.

## RELEVANT PLANNING POLICY

18. National Planning Guidance
- National Planning Policy Framework (2021)
19. Black Country Core Strategy (2011)
- DEL1 - Infrastructure Provision

- HOU5 - Education and Health Care Facilities
- TRAN2 - Managing Transport Impacts of New Development
- ENV2 - Historic Character and Local Distinctiveness
- ENV3 - Design Quality

20. Dudley Borough Development Strategy

- S6 - Urban Design
- S8 - Local Character and Distinctiveness
- S16 – Access and Impact of Development on the Transport Network
- S17 – Access & Impact of Development on the Transport Network
- L1 – Housing Development, extensions and alterations to existing Dwellings
- L2 – Supported Accommodation
- D2 – Incompatible Land Uses
- D5 – Noise Pollution

21. Supplementary Planning Documents

- Parking Standards (2012)
- New Housing Development (2013)
- PGN 10: Residential care/nursing homes and community care homes

## ASSESSMENT

22. The key issues for consideration in this application are as follows:

- Principle
- Visual Amenity
- Residential Amenity
- Access and Parking

### Principle

23. Providing a range of housing tenures is fundamental in creating inclusive communities and providing a choice for new and existing residents in the Borough. Policy L2 of the Dudley Borough Development Strategy (2017) supports the provision of supported accommodation for people with specific needs such as the proposed use, providing criteria such as amenity, character, access and parking can be successfully resolved.
24. In regard to the principle of conversion, the application property is a detached residential house that is located in a residential area. Notwithstanding all other material considerations, it is considered that the conversion of this dwelling to a residential care use for up to six children with specialist care needs would not adversely impact upon character of the established residential area.

### Visual Amenity

25. The design of the extension and external alterations would relate satisfactorily to the existing building. The extension is located to the side of the property and reflects the nature of many first-floor additions added to many properties across the borough so would not be an alien feature of out of character within the residential environment. It is therefore considered that there would be no demonstrable harm to the street scene or character and appearance of the area. In this respect the proposal is therefore considered compliant with Policy L1 within the Dudley Borough Development Strategy and PGN 17 – House Extension Design Guide.

### Residential Amenity

26. The site comprises detached dwelling in a residential area. The characteristics of the proposed use would include up to 6 children residing at the property receiving care, staff arriving and departing on a regular basis (there would up to 6 staff members on site, but not at all times; two staff member on site during the night). There would be limited visits from social workers, family and friends in addition to the staff and occasional visits from maintenance personnel. It is considered that this level of coming and going would be slightly more than what would be expected of a dwelling at this location. However, it is noted that the entrance to the site is to the

south and no other properties are accessed from this part of High Park Crescent. There would no need for any traffic associated with the care home to enter the main section of High Park Crescent to the west of the site. As such, it is considered that the proposal would not have any additional potential impact on the neighbours' amenities than that of the existing premises.

27. The secure rear garden is enclosed by fencing and hedgerow that is fully overlooked by the application property, the area of which exceeds the 60sqm recommended by the Planning Guidance Note 10: Residential care/nursing homes and community care homes (PGN 10). Furthermore, the garden area is sited away from the driveway, is not overshadowed by buildings and is not directly overlooked by adjacent properties. Therefore, the garden complies the foregoing criteria outlined in PGN 10 and is ideal for the proposed care home.
  
28. Vehicles entering and leaving the site could have the potential to adversely affect the amenities of the adjacent residents by reason of noise and disturbance. However, the comings and goings associated with the proposed use would not be to dissimilar to that of a busy family dwelling and again there is no need for cars to enter the main section of High Park Crescent. The Head of Environmental Safety and Health has considered the application on that basis and has raised no concerns regarding noise issues.

#### Access and Parking

29. There is an established hard surfaced parking area to the front and driveway, and it is proposed to create a car park which would be sufficient to meet the needs of the car home. As such, the proposal would provide sufficient off-street parking provision within its curtilage to accommodate the day to day activities associated with the care facility and would not contribute to an increase in off-street parking in the locality to the degree that would warrant refusal of the application. A condition to secure appropriate porous materials is however recommend.
  
30. Of note is paragraph 111 of the National Planning Policy Framework which sets out that applications should only be refused on highways grounds should there be an



unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe. In this instance, the proposal would comply with the transportation policies outlined above and it is considered that there are no sustainable grounds for refusal the application on highway grounds.

31. Notwithstanding the above, it would be appropriate to condition any approval to restrict the number of residents to be accommodated at the facility to six, in order to prevent further intensification of use at the premises and to protect the amenities of the neighbouring residents.
32. In addition, there are adequate facilities at the property to provide secure cycle provision to encourage alternative modes of transport for staff. It is also recommended that an electric vehicle charging point is installed at the site and a condition to secure this is recommended.

#### Other Matters

33. Objectors note the issue of Japanese Knotweed on the site. The applicants have confirmed that the Knotweed has been treated and provided a Treatment Report to confirm this.
34. Objectors raise concern about restrictive covenants on the site preventing the use of the site for such a use. It is important to note that restrictive covenants are not considered as part of a planning application. Equally, planning permission does not quash any restrictions on title.
35. With respect to consultation carried out, this was done in accordance with agreed procedure, whereby all properties neighbouring the site were written to and a site notice was posted outside the site.

## **CONCLUSION**

36. It is considered that the principle of the change of use is acceptable in this instance. The size and scale of the extension is considered acceptable, and the intensity of the activity proposed would not be to detrimental to the surrounding area.

Furthermore, the proposal would provide appropriate parking provision. The proposal would not have an adverse impact upon the character of the area, on residential amenities, or highway safety and would be compliant with adopted Black County Core Strategy Policies DEL1, HOU5, TRAN2, ENV2 and ENV3, Dudley Borough Development Strategy Policies L1, L2, D2, D5, S16, and S17, and the Parking Standards SPD.

## RECOMMENDATION

37. It is recommended that the application be APPROVED subject to the attached conditions.

### Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
REASON: To comply with Section 91(1) of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:2107/001; 2107/002 and 2107/003  
REASON: For the avoidance of doubt and in the interests of proper planning.
3. The premises shall be used for residential children's home and for no other purpose, including any other purpose in Class C2 of the Schedule to the Town and Country Planning (Use Classes) Order 1987 (as amended), or in any provision equivalent to that class in any statutory instrument revoking or re-enacting that Order with or without modification.  
REASON: In the interests of amenity and to comply with Borough Development Strategy 2017 Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part) and Policy L8 Protecting the Viability and Integrity of Industrial and Business Uses (in part) Policy D2 Incompatible Land Uses (in part).
4. Notwithstanding the provisions of the Town and Country Planning (Use Classes) Order 1987 (as amended) and the General Permitted Development Order 2015 (as amended), no more than 6 occupiers receiving supported accommodation care shall reside at the property at any one time.  
REASON: In order to secure the satisfactory development of the site, in accordance with Development Strategy Policies D2, L2,and S17
5. The use shall not commence until details of the electric vehicle charging points, to be provided for the care home in accordance with the Council's standard (Parking Standards SPD), has been submitted to and approved in writing by the Local Planning Authority. Prior to first occupation the electric vehicle charging points shall be provided in accordance with the approved details and shall be

maintained for the life of the development.

REASON: In the interests of creating a sustainable form of development and to encourage the use of ultra low emission vehicles in accordance with Policies ENV8 (Air Quality) and DEL1 (Infrastructure Provision) of the Black Country Core Strategy.

6. No development shall commence (excluding demolition, site clearance and initial ground investigation works) until details of the access(es) into the site, together with parking and turning area(s) [including details of lines, widths, levels, gradients, cross sections, drainage and lighting] have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the access(es) into the site, together with parking and turning area(s) within the site have been laid out in accordance with the approved details. These area(s) shall thereafter be retained and not be used for any other purpose for the life of the development.

REASON: In the interests of highway safety and to comply with Borough Development Strategy 2017 Policy S6 Urban Design, Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part) and policies CSP5, DEL1, TRAN2, CEN8 and TRAN5.

7. The development shall be first occupied/used until details of the bin stores have been submitted to and approved in writing by the Local Planning Authority. The bin stores shall be provided in accordance with the approved details prior to the first use/occupation of the development and shall thereafter be retained and maintained for no other purpose for the life of the development.

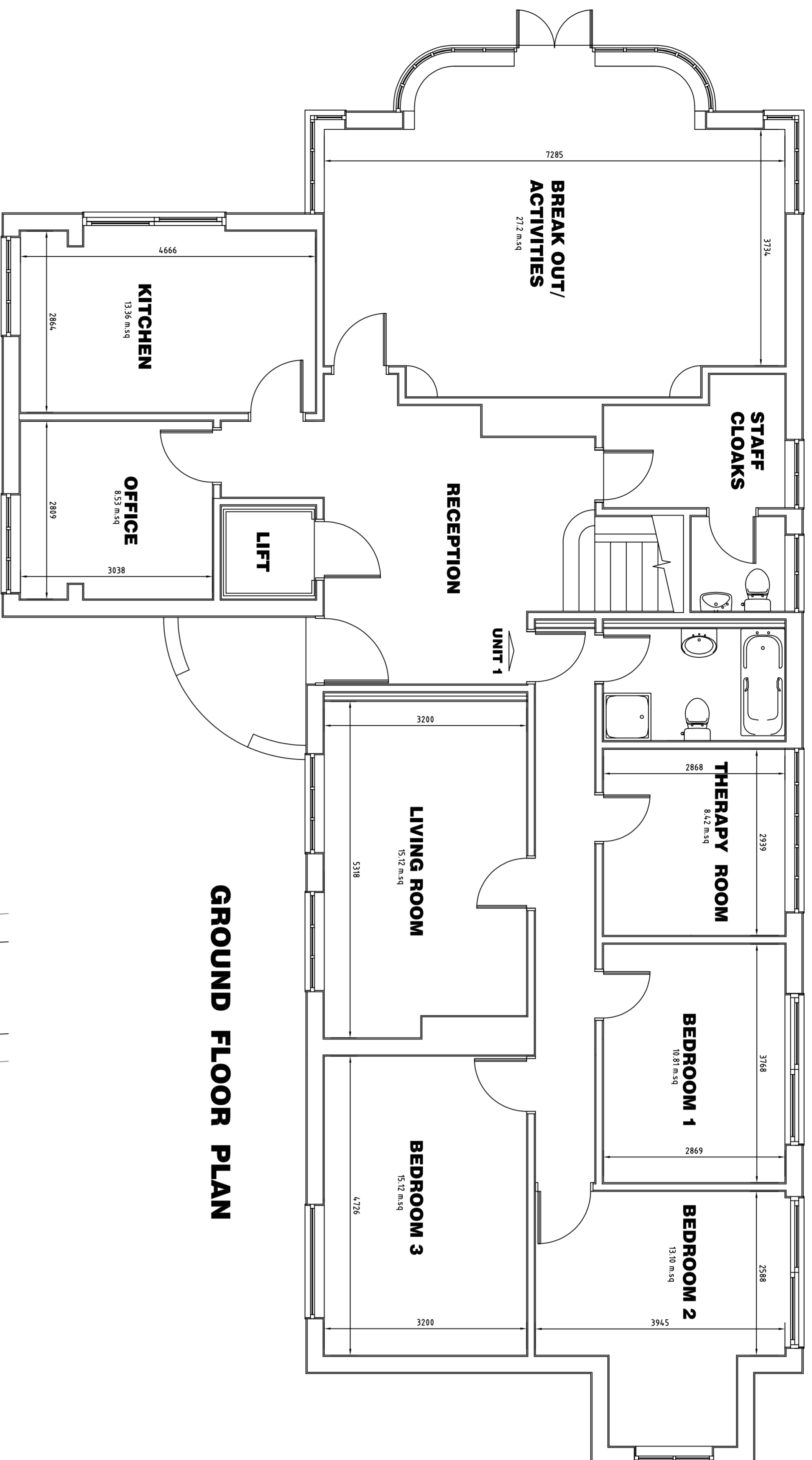
REASON: In the interests of highway safety and to comply with Borough Development Strategy 2017 Policy S6 Urban Design, Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part) and policies CSP5, DEL1, TRAN2, CEN8 and TRAN5.

8. The development shall not be occupied/used until details of secure and covered staff cycle storage and shower facilities have been submitted to and approved in writing by the Local Planning Authority. These facilities shall be provided in accordance with the approved details prior to the first use/occupation of the development and shall thereafter be retained and maintained for no other purpose for the life of the development.

REASON: In the interests of highway safety and to comply with Borough Development Strategy 2017 Policy S6 Urban Design, Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part) and policies CSP5, DEL1, TRAN2, CEN8 and TRAN5.

9. The materials to be used in the approved development shall match in appearance, colour and texture those of the existing building unless otherwise agreed in writing with the Local Planning Authority.

REASON: In the interests of the visual amenities of the area and to comply with BCCS Policies CSP4 - Place-Making and ENV2 - Historic Character and Local Distinctiveness and Borough Development Strategy 2017 Policy S6 Urban Design and Policy L1 Housing Development, extensions and alterations to existing dwellings Policy D2 Incompatible Land Uses (in part).



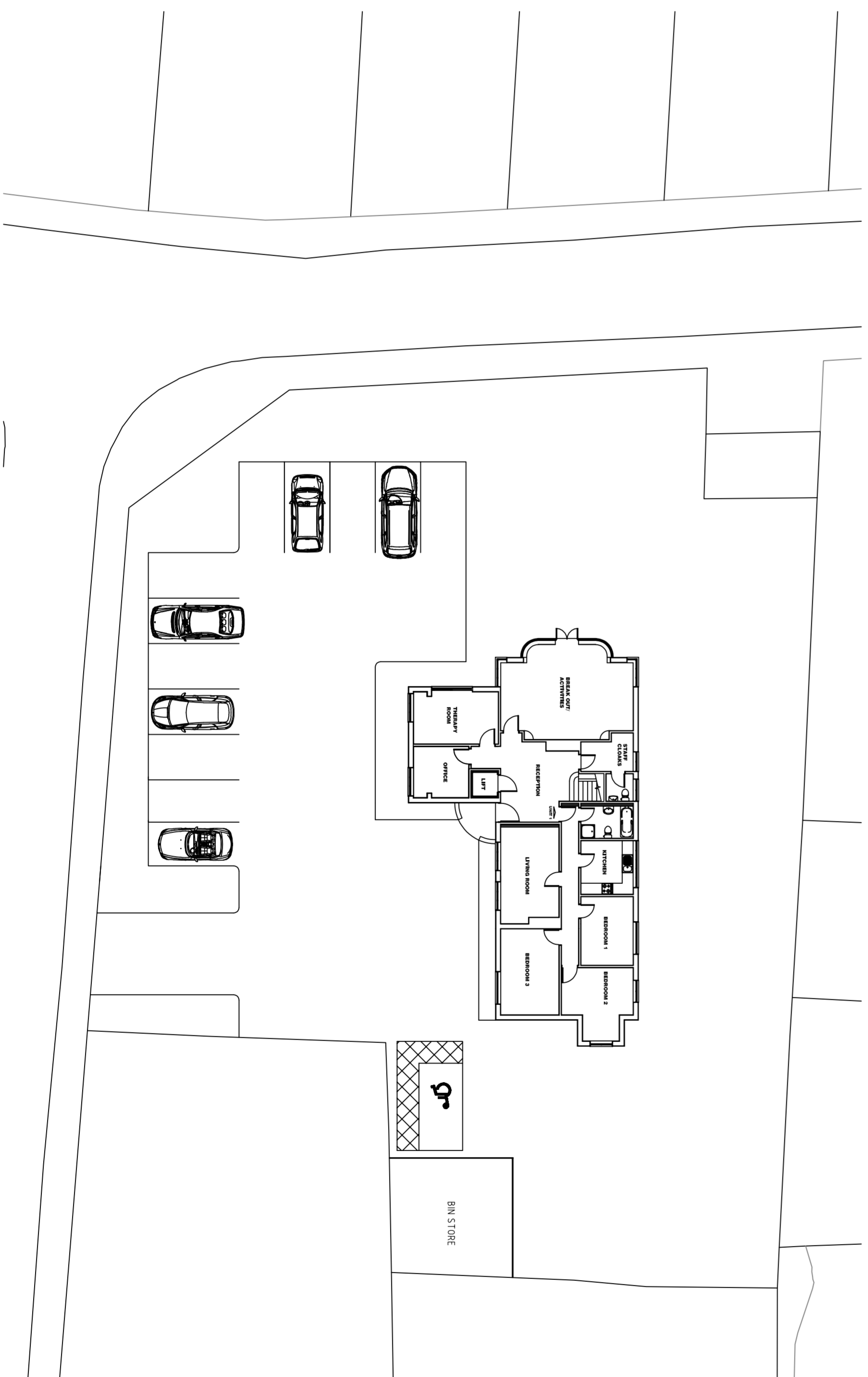
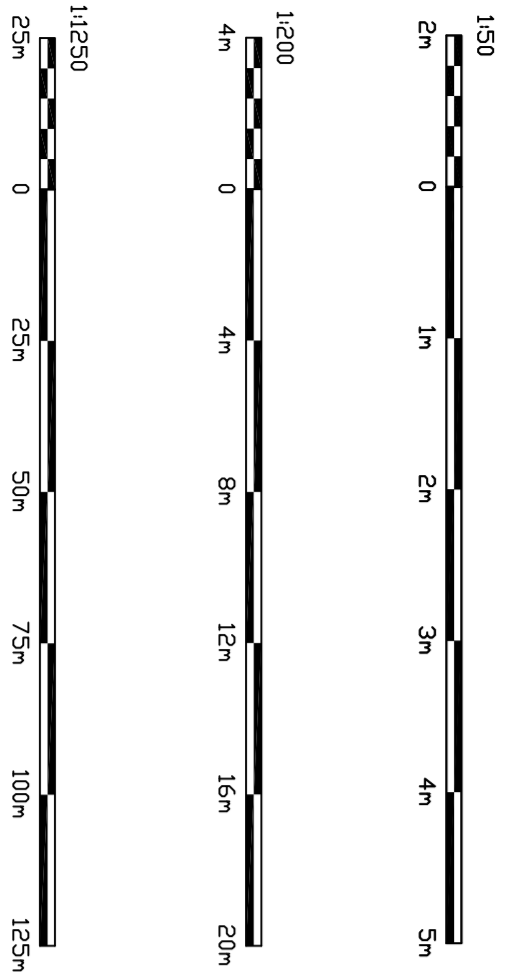
**GROUND FLOOR PLAN**



**NORTH**

Owner: Copyright & Outdoor Right 2018

**LOCATION PLAN 1/1250**



**SITE PLAN 1/200**

Rev	Amendment	Date	By

This drawing is to be read in conjunction with the structural engineers drawings and specifications and the recommendations of the site investigation/geotechnical report where applicable.

**ECLIPSE ARCHITECTURE**  
 ESTABLISHED 1991

17, HILTON STREET, KINGSWIMBOROUGH, DORSET, DT2 8JQ  
 TEL: 01304 831000 FAX: 01304 831001  
 EMAIL: info@eclipsearchitect.co.uk

**Client:**  
 Hilton Lodge  
 High Park Crescent  
 Sedgley DY3 1QY

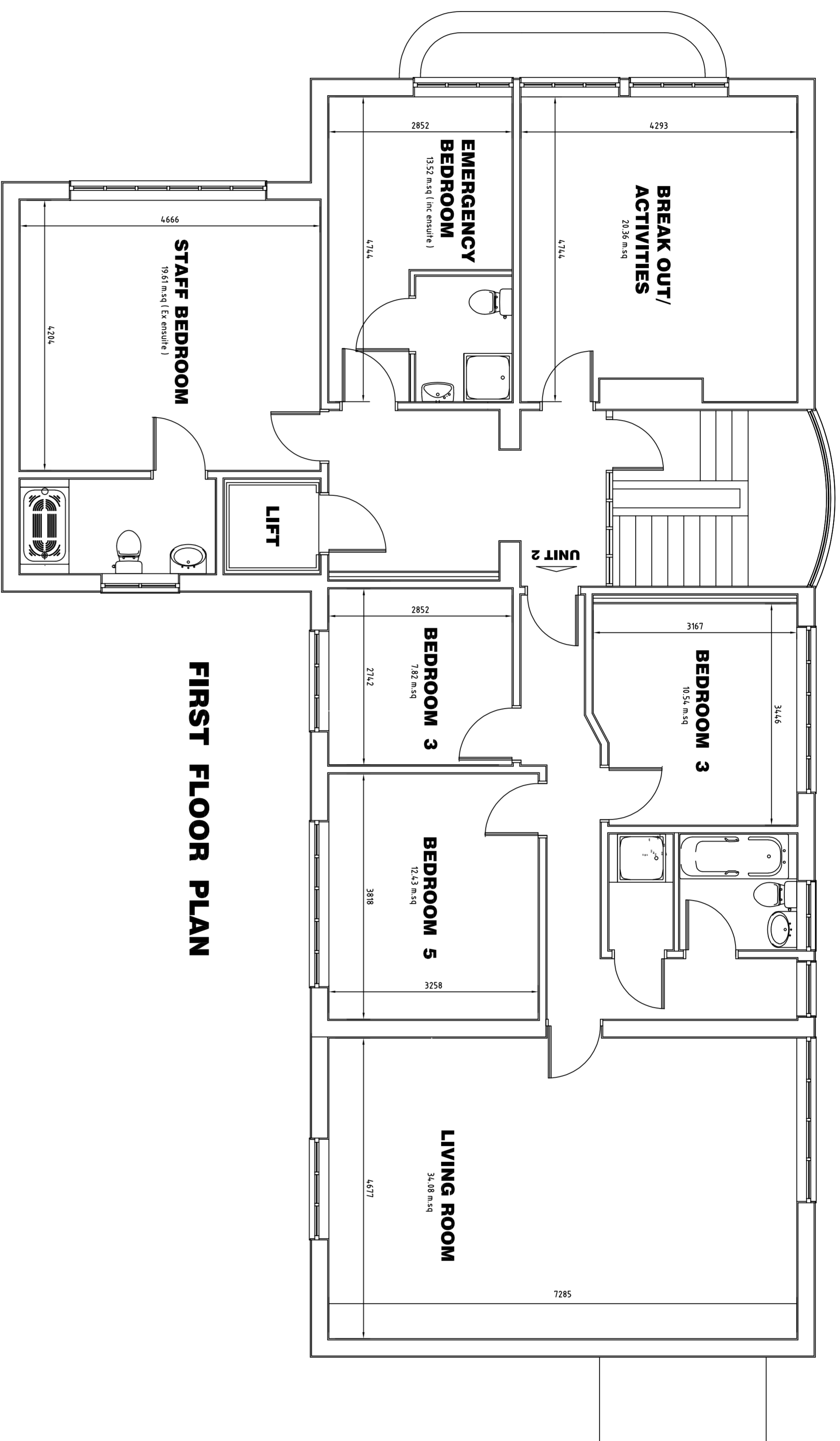
**Title:**  
 Ground Floor Plan & Site Plan

**Scale:**  
 1/50, 1/200, 1/2500

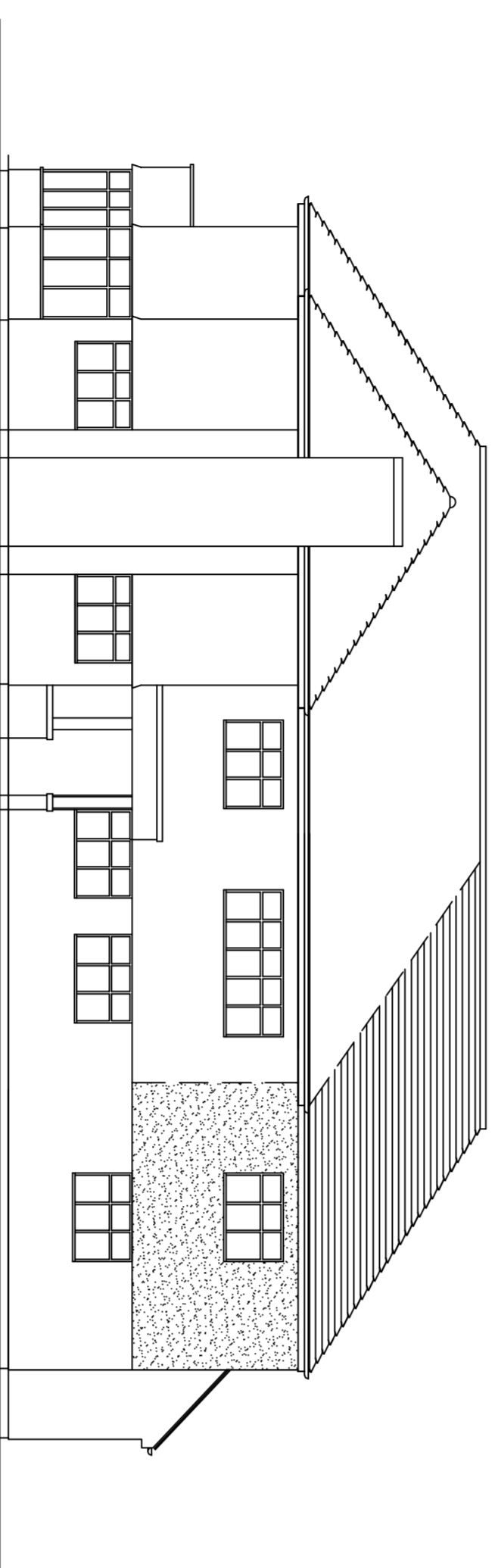
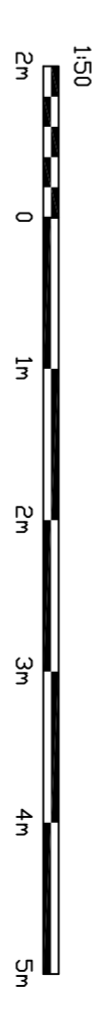
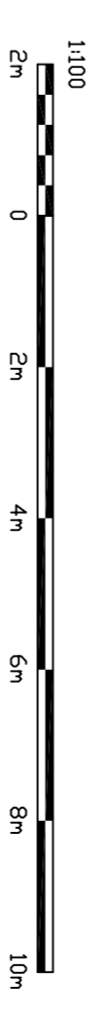
**Date:**  
 Feb 2021

**Rev. No.:**  
 2107/001

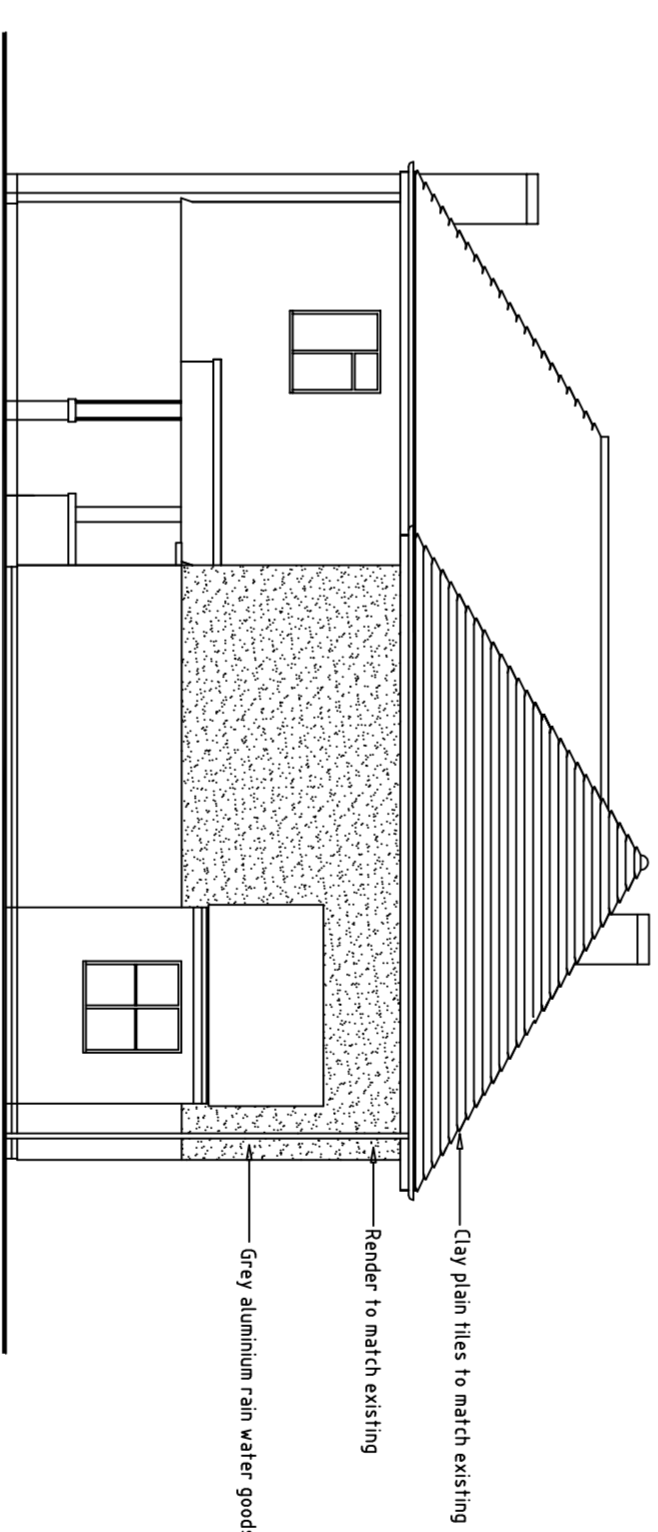
© Eclipse Architecture (UK) 2021



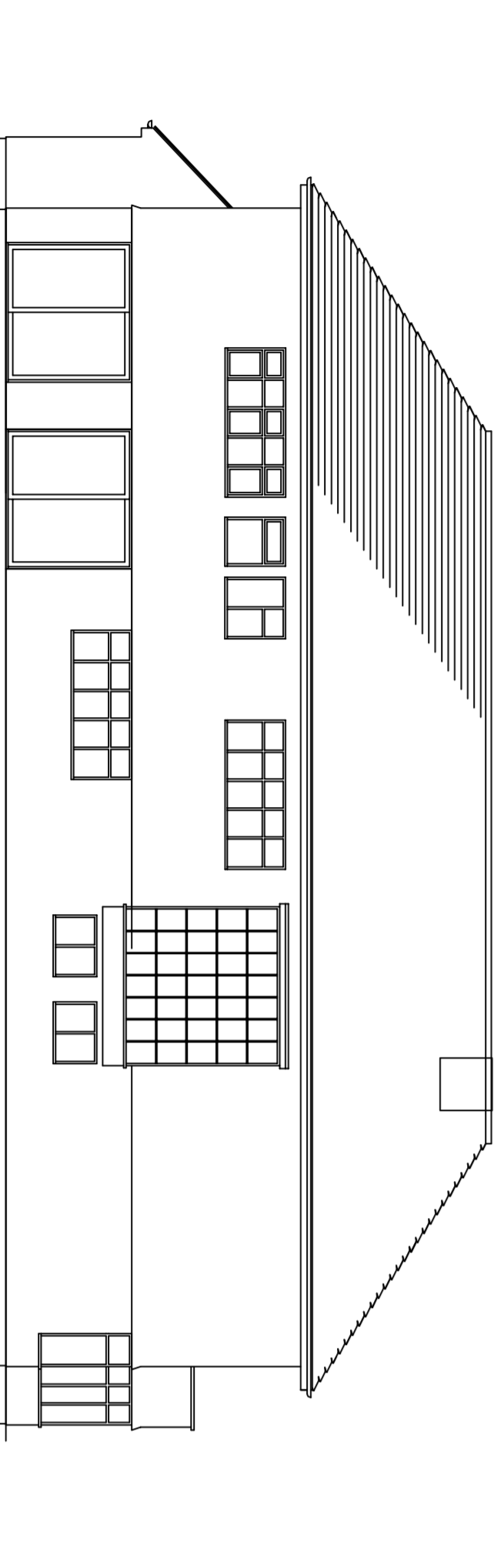
**FIRST FLOOR PLAN**



**FRONT ELEVATION**



**SIDE ELEVATION**



**REAR ELEVATION**

Rev	Amendment	Date	By

This drawing is to be read in conjunction with the structural engineers drawings and specifications and the recommendations of the site investigation/geotechnical report where applicable.



**ECLIPSE ARCHITECTURE**

ESTABLISHED 1991

17, HILTON LODGE, HILTON LODGE, HIGH PARK CRESCENT, SEDGLEY DY3 1QY, DERBY, DERBYSHIRE, DE7 2ZG, UK. TEL: 01302 327220. WWW.ECLIPSE-ARCHITECTURE.CO.UK

Site:

**Hilton Lodge**  
**High Park Crescent**  
**Sedgley DY3 1QY**

The: **First Floor Plan & Elevations**

Scale: **1/50, 1/100**  
Date: **Feb 2021**  
Rev No.: **2107/002**

© Eclipse Architecture (UK) 2021

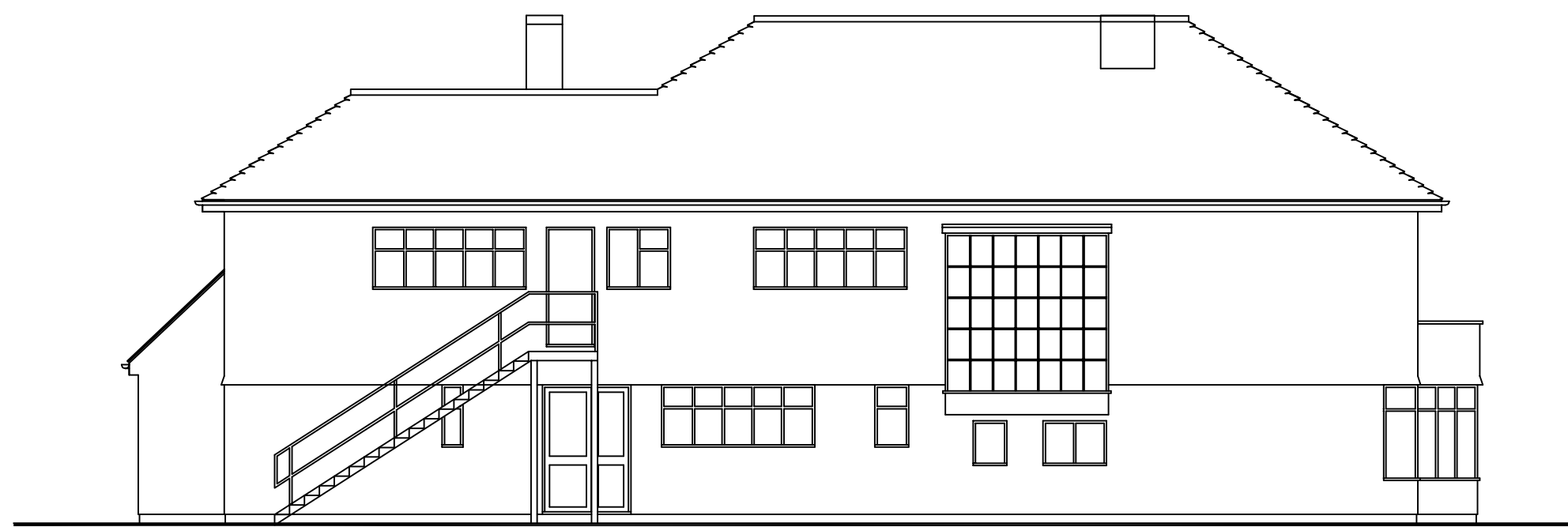




**FRONT ELEVATION**



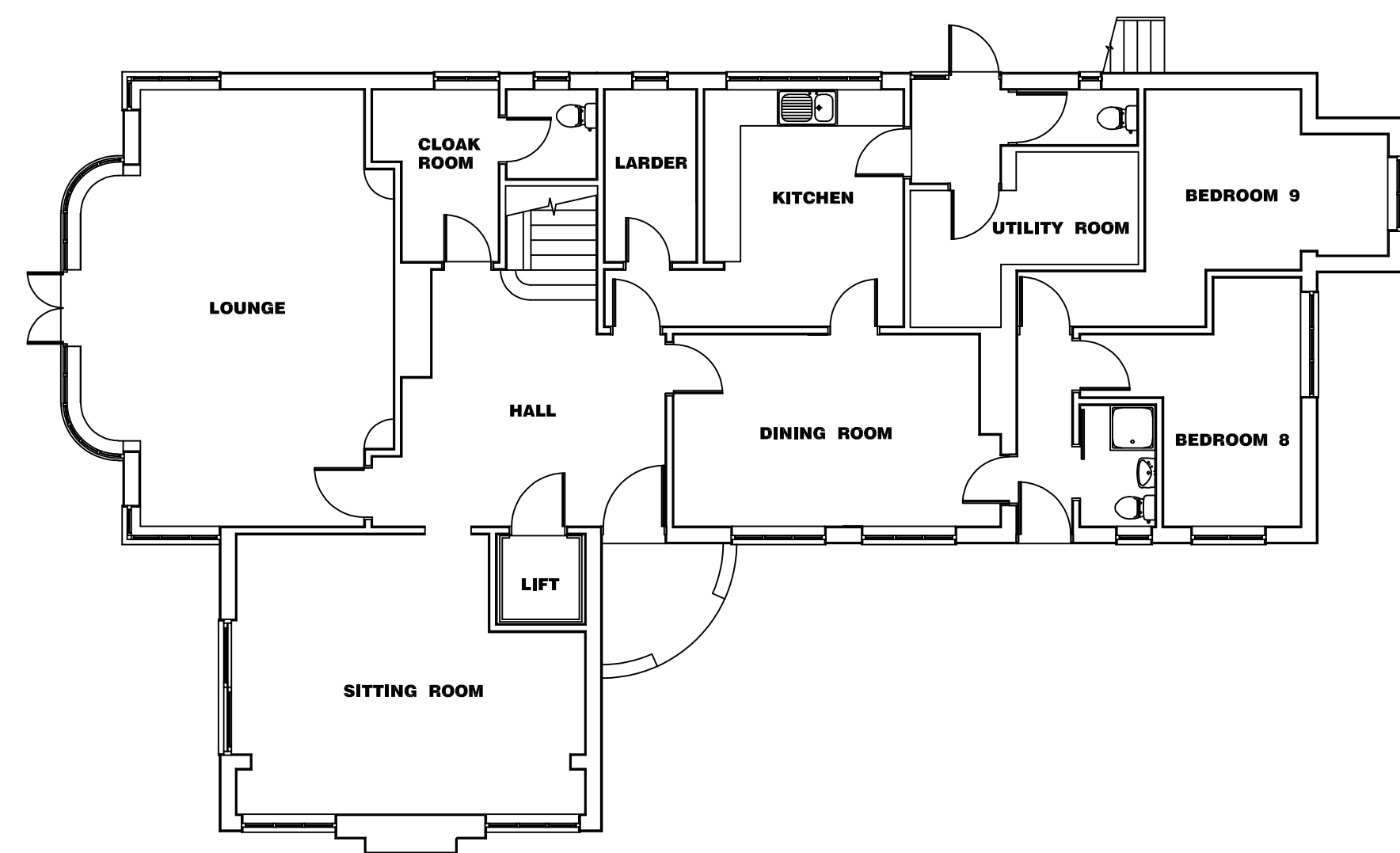
**SIDE ELEVATION**



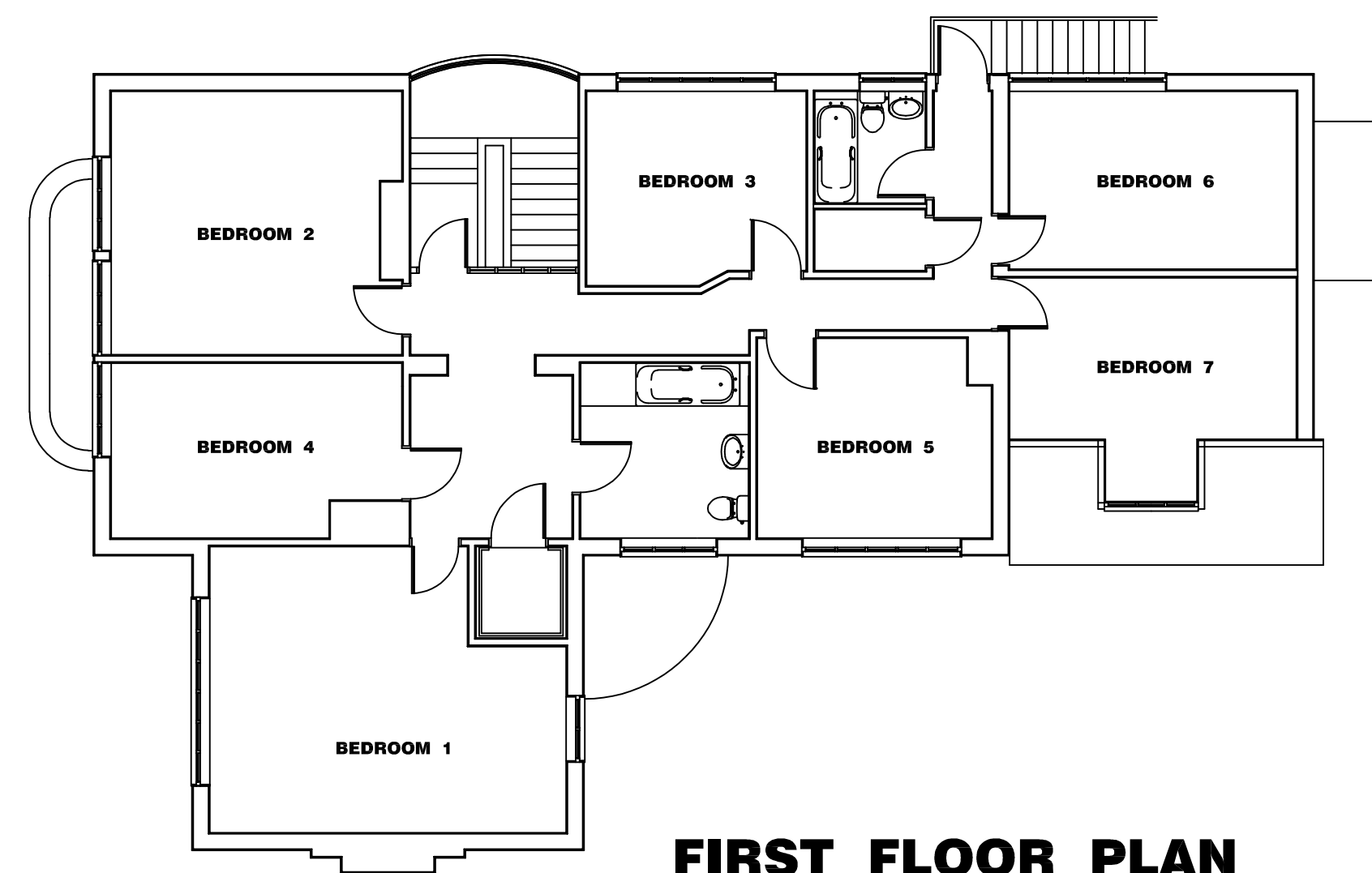
**REAR ELEVATION**



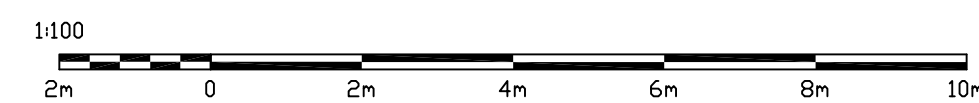
**SIDE ELEVATION**



**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**



Rev	Amendment	Date	Drn
This drawing is to be read in conjunction with the structural engineers drawings and specifications and the recommendations of the site investigation/geotechnical report where applicable.			

**ECLIPSE**  
ARCHITECTURE  
ESTABLISHED 1991

14 HIGH STREET, BARNETT  
KINGSWINFORD, WEST MIDLANDS B96 8XD  
TEL: 0121 358 2770 0121 358 7721  
DESIGN@ECLIPSEARCHITECTURE.CO.UK

Site:  
**Hilton Lodge**  
**High Park Crescent**  
**Sedgley DY3 1QY**  
Title:  
**Existing Floor Plans & Elevations**

Scale: **1/100** Date: **Feb 2021**  
Dwg No.: **2107/003** Rev:

© Eclipse Architecture (UK) 2021

## **PLANNING APPLICATION NUMBER:P21/1396**

Type of approval sought	Full Planning Permission
Ward	Halesowen North Ward
Agent	E. Wyke
Case Officer	Stephanie Hollands
Location:	<b>FAIRFIELD ROAD, HURST GREEN, HALESOWEN.</b>
Proposal	<b>TELECOMMUNICATIONS DEVELOPMENT COMPRISING OF THE INSTALLATION OF ONE 15M PHASE 8 MONOPOLE C/W WRAPROUND CABINET AT BASE AND ASSOCIATED ANCILLARY WORKS.</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

### **SITE AND SURROUNDINGS**

1. The application site forms part of the paved footway on land situated adjacent to The Fairfield Public House and across the road from residential properties. The wider area is mixed use in nature. Existing street furniture is also present in the surrounding area.

### **PROPOSAL**

2. This is a planning application for telecommunications development comprising of the installation of one 15m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.
3. This application follows the recent approval of applications P20/0999/PN16A and P20/1920/PN16A, following these approvals it was identified during the build process that there were additional unknown underground services that rendered the original locations unbuildable. This re-submission has moved the proposed equipment a few metres in order to address this build issue.

4. There is now a requirement to upgrade the UK H3G (Three) network to provide improved coverage and capacity, most notably in relation to 5G services. This proposal is for a 15m SW (Street Works) monopole located on the adopted highways at Fairfield Road. The exact details of this proposal are illustrated on the enclosed drawings (Proposed Phase 8 Monopole C/W wraparound Cabinet at base & associated ancillary works). As with all 5G cells this is an extremely constrained cell search area. Options are extremely limited and the only viable solution that minimises amenity issues has been put forward.
5. The proposed installation is an H3G LTE (Three) Phase 8 Monopole which will house H3G LTE (Three). The proposal is required due to acute capacity issues and will facilitate significantly improved 5G in areas that have started to gain this service and newly introduce it to the areas that have not gained this level of connectivity yet.
6. Three are in the process of building out the UK's fastest 5G network. Three has 140MHz of 5G spectrum (and 100MHz of it contiguous), which means our service will be much faster and able to handle more data. To bring this new technology to the people H3G will need to provide a mix of upgrades to existing sites and the building of new sites. New sites will be needed for many reasons, including that the higher radio frequencies used for 5G do not travel as far as those frequencies currently in use and that sometimes not all existing sites can be upgraded. In this area there is an acute need for a new mast to deliver the above.
7. Details of the Applicant's search for alternative sites has been provided. Full consideration has been given to alternative sites and other existing masts in the vicinity. However, the proposed location and design are considered to provide the optimum solution in this instance.



8. The Applicant states the proposed equipment would be ICNIRP compliant (International Commission on Non-Ionizing Radiation Protection) and has submitted a certificate as part of this application.

## HISTORY

<b>Application No.</b>	<b>Description</b>	<b>Decision</b>	<b>Date</b>
P21/0827/PN16A	Prior approval under schedule 2 part 16 of the Town and Country Planning (GPDO) for a telecommunications development comprising of installation of 1 no. 15m high Phase 8 Monopole C/W wrapround Cabinet at base and associated ancillary works.	Approval is required and refused	25/05/2021
P20/1920/PN16A	Prior approval under schedule 2 part 16 of the Town and Country Planning (GPDO) for a telecommunications development comprising of installation of 1 no. 15m high Phase 8 Monopole C/W wrapround Cabinet at base and associated ancillary works.	Approval is required and approved	04/02/2021
P20/0999/PN16A	Prior approval under schedule 2 part 16 of the Town and Country Planning (GPDO) for a telecommunications development comprising 18m Phase 8 Monopole C/W wrapround Cabinet at base and associated	Approval is required and approved	01/09/2020

	ancillary works.		
--	------------------	--	--

9. P21/0827/PN16A reason for refusal:
- Due to the commencement of the works on site prior approval cannot be given under the terms of schedule 2 part 16 of the Town and Country Planning (GPDO).
10. With regards to the above refusal of consent, as the telecommunications cabinets had been installed on the site an application for “prior notification” could not be supported hence the above refusal. This refusal was as a result of a technicality associated with the application process and not based on the principle of mast in this location.

## **PUBLIC CONSULTATION**

11. Neighbour notification letters have been sent to 26 nearby occupiers and to the Local Ward Members. A site notice has also been displayed. Six individual objections have been received against the application with the following concerns summarised below:
- Health grounds/unsafe
  - Overlooking/outlook
  - Residential area/More suitable locations
  - Previously refused
  - Eyesore
  - Nearby school
12. Of the six individual objections received it is noted that not all are from local residents within the immediate surrounding area, one is anonymous with no address provided and one is from an address located in Kidderminster.
13. Cllr Henley has also objected to the application with the following comments provided:

- This mast is in an unsuitable location, as it is so close to residential properties and there are still concerns on health from these masts also, they reduce property prices. There is no official cost impact on house costs, but it is proved that they do have a negative impact on house prices and sales. They put a lot of future buyers off buying homes by masts, which causes owners to have to reduce the homes to try and get sales.
- This telecommunication company has tried to install this mast previously, the council stopped work on a couple of times, and they continued to do work on the public highway without DMBC permission. They believe they can work without full permissions and this needs to be stopped.
- There are industrial/warehouse land in the area that this mast would be more suited. The objection is not about stopping progress with 4G/5G etc but having these mast put in more suited locations away from homes, these companies should work with the councils, Councillors and locals to find better locations instead of them sitting in an office and putting a pin where they wish to have them.
- This mast would tower over so many homes in the local area and is a blight on the area.

14. Cllr Henley has also provided a link to an on-line petition signed by 100 local residents at the time of writing this report against the application with following reasons given:

- The phone mast so close to properties will reduce property prices around the mast. This mast could go in so many other locations so not to be an issue with residents' homes and local appearance.
- The mast could go on local industrial estates, on the rooftops of commercial buildings. There is/was one locally on the roof Formula One, Long Lane, in Blackheath Town centre, so why do residents have to put up with this one so close to their homes.
- Yes, most of us have and use mobile phones, but a common-sense approach and the feelings of locals need to be taken into consideration.
- Get this mast installed elsewhere that doesn't blight residents' homes.

15. An update on the number of signatories on the online petition will be provided to members by way of pre-committee note.
16. A paper petition has also been received against the application with 31 names, addresses and signatures stating the following:
  - The mast is too close to residential homes and many residents would like the council to look at other sites that do not have an impact on residential homes and their lives. The company who is putting these plans forward have already been stopped due to them carrying out works on our highway without permission.
17. Comments made in relation to house values and difficulty in being able to move in the future are non-material planning considerations so cannot be afforded any weight in the planning assessment of this application.

## OTHER CONSULTATION

18. Highways: Material considerations.
19. The Environmental Safety and Health Team: No adverse comments.

## RELEVANT PLANNING POLICY

20. National Planning Guidance
  - National Planning Policy Framework (2021) - Section 10. Supporting high quality communications Para 114. – Para 118.
21. Black Country Core Strategy (2011)
  - ENV 2 Historic Character and Local Distinctiveness
22. Dudley Borough Development Strategy
  - Policy D8 - Telecommunication Installations
  - Policy S1 - Presumption in favour of Sustainable Development

23. The main issues are:
- Principle / Policy
  - Design / visual impact / impact on wider area
  - Noise
  - Highway safety
  - Health

### Policy/Principle

24. The strategic policies contained within the NPPF (2021) amongst other matters should provide sufficient provision for telecommunications.
25. In support of this, Section 10 of the National Planning Policy Framework (NPPF) states that Local Authorities should support the provision of high quality communications infrastructure as this is essential to support economic growth and social wellbeing for communities. Para 114 of this section outlines that there is specific support the expansion of electronic communications networks *“including next generation mobile technology (such as 5G) and full fibre broadband connections”*. In line with these recommendations, and further suggests in Para 115 that the sites for such provision should be kept to a minimum, should be sufficient to support the needs of the customer, efficient, and should be suitable to provide for future expansion. It further expresses that *“Use of existing masts, buildings and other structures for new electronic communications capability (including wireless) should be encouraged. Where new sites are required (such as for new 5G networks, or for connected transport and smart city applications), equipment should be sympathetically designed and camouflaged where appropriate.”*
26. Para 118 it expresses that *“Local planning authorities must determine applications on planning grounds only. They should not seek to prevent competition between different operators, question the need for an electronic communications system, or*

*set health safeguards different from the International Commission guidelines for public exposure.”*

27. The Telecommunications Installations Policy (Policy D8) in the Dudley Borough Development Plan (2017) states “Modern telecommunications are important in the national and local economy and in people’s lives. Accordingly, the Council will respond positively to telecommunications proposals whilst balancing decisions against the need to protect and enhance the character and the overall environmental quality of the Borough. Proposals for telecommunications masts and equipment shall be accompanied by evidence that the sharing of an existing mast and other alternatives to the provision of a new mast have been considered. Proposals shall be sensitively designed and sited to minimise the impact of development on the environment and surrounding area.
28. In light of the policy framework outlined above, the NPPF sets clear precedent for supporting the provision of high-quality communications infrastructure that in turn supports economic growth and social well-being. As such, the principle of the development is to be supported.
29. It is considered that the overall benefits of the scheme will offset any potential visual impact that may arise. The proposal needs to be seen in the context of the overall benefits that will occur from the introduction of 5G technologies to the area.
30. The proposal has been designed with the aim of achieving a balance between minimising visual impact and achieving the technical requirements needed by the operator. It is necessary for the height of the structure to ensure that interference is avoided, the topography of the landscape does not have an unacceptable impact upon mobile signal quality and that the structure is able to support the 5G antenna and other apparatus.
31. There is an existing presence of vertical features within the immediate area.
32. Furthermore, both local and national planning policy requires operators to provide evidence that the proposed base station conforms to the ICNIRP (International Commission on Non-Ionizing Radiation Protection) exposure guidelines. The

applicant has submitted the necessary certificate confirming that the proposed mast conforms to those guidelines.

33. Finally, and pertinent to the assessment of this application, is the recent approval of two further masts within close proximity of this current site. One mast was approved at 15m in height and one at 18m in height but could not be built out due to underground services. As such, the principal of a mast of this nature in this location has already been established.

#### Visual impact

34. The proposed development at the site is required to deliver the requisite level of electronic communication service on a structure designed to accommodate multiple future users (so enable future site sharing opportunities). The site is required to provide new 5G coverage for H3G LTE in order to improve coverage in the area of Dudley. The cell search areas for 5G are extremely constrained with a typical cell radius of approximately 50m meaning that it would not be feasible to site the column outside of this locale.
35. Prior to selecting the proposed site, a comprehensive investigation was undertaken by the Applicant's network planners, acquisition and planning agents to find a site specifically capable of providing this coverage. Potential sites are considered in terms of their technical suitability to provide the required level of service, the effect on visual amenity and their ability to be acquired, built and maintained. The aim of site identification is to find the most technically efficient site, which has the minimum impact on visual amenity. Various options might theoretically be suitable in terms of one of these considerations, but not the other. A balance between the two must be achieved.
36. A total of 7 alternative sites were surveyed and discounted. The alternative site assessment is robust and the current site provides the most suitable location to provide improvements to the existing and proposed network coverage and meet capacity requirements.



37. The proposed installation is an H3G LTE (Three) Phase 8 Monopole which will house H3G LTE (Three). The proposal is required due to acute capacity issues and will facilitate significantly improved 5G in areas that have started to gain this service and newly introduce it to the areas that have not gained this level of connectivity yet.
38. In keeping with the National Planning Policy Framework (NPPF) guidelines of using high quality communications infrastructure the proposed design has been selected to minimise visual impact upon the street scene by integrating with the existing street furniture, having similar vertical lines and overall appearance to the numerous street lighting columns in this area.
39. The 5G antennas are some 3 times as heavy as previous antennas, while the associated Remote Radio Units also now need to be placed at the top of the pole, thus many street works designs are no longer structurally capable of hosting all the equipment of 2 operators. It should be noted that the alternative option that could accommodate both operators (EE and H3G LTE who have a site sharing agreement) would be a more traditional 'greenfield' mast, with an open headframe and more bulky design, which would be inappropriate in a street scene location. There is no such location in this cell search area where a greenfield mast could be housed and thus site sharing is not a viable proposition.
40. It is acknowledged that the siting of the mast is set back away from the highway and would be set against a backdrop with the presence of existing vertical features within the immediate area and green vegetation. Whilst the height is not ideal the Applicant has demonstrated that the height of this structure cannot be reduced and therefore there are insufficient grounds to warrant a refusal of this mast on visual amenity grounds.

#### Noise

41. The Environmental Safety and Health Team have no adverse comments in respect of noise or air quality. This application is accompanied by a declaration of

conformity with ICNIRP standards for the protection of the public from electromagnetic radiation.

#### Highway safety

42. Highways state the National Planning Policy Framework was update on 20<sup>th</sup> July 2021. The revisions increased the focus on design quality, not only for sites individually but for places as a whole. Terminology is also now firmer on protecting and enhancing the environment and promoting a sustainable pattern of development, i.e., walking and cycling.
43. Section 112 of the NPPF states in terms of considering development: -
  - a. give priority first to pedestrian and cycle movements, both within the scheme and with neighbouring areas; and second – so far as possible – to facilitating access to high quality public transport, with layouts that maximise the catchment area for bus or other public transport services, and appropriate facilities that encourage public transport use;
  - b. address the needs of people with disabilities and reduced mobility in relation to all modes of transport;
44. Highways noted from the plans that the new cabinets will reduce the available width of the footway, 2m is the minimum required by the Disabilities Discrimination Act. Amended plans have been received to show that the dimensions associated with the proposed cabinets and remaining pavement show the retained pavement width at the narrowest point are in excess of 2m.
45. As such, on balance, the siting and design of the mast and associated equipment is considered acceptable.

### Health

46. Whilst health is a material consideration when considering applications for development, the National Planning Policy Framework states that Local Planning Authorities should not reconsider health matters where the applicants have self-certified that the base station conforms to the International Commission on Non-Ionising Radiation guidelines. In this case the applicant has submitted the required information (ICNIRP Certificate) confirming that the proposal would meet the guidelines and therefore no further consideration should be given in this regard.

## CONCLUSION

47. On balance, the proposed structure is acceptable given the support within Local and National Policy. It is concluded that the visual impact of the new structure would not be sufficiently detrimental to the visual amenities to warrant refusal of the application. The applicant has also demonstrated through the submission of an ICNIRP certificate that the structure will not cause harm to health. Consideration has been given to ENV 2 (Historic Character and Local Distinctiveness) of the Black Country Core Strategy and Policy D8 - Telecommunication Installation of the Dudley Borough Development Strategy and the National Planning Policy Framework.

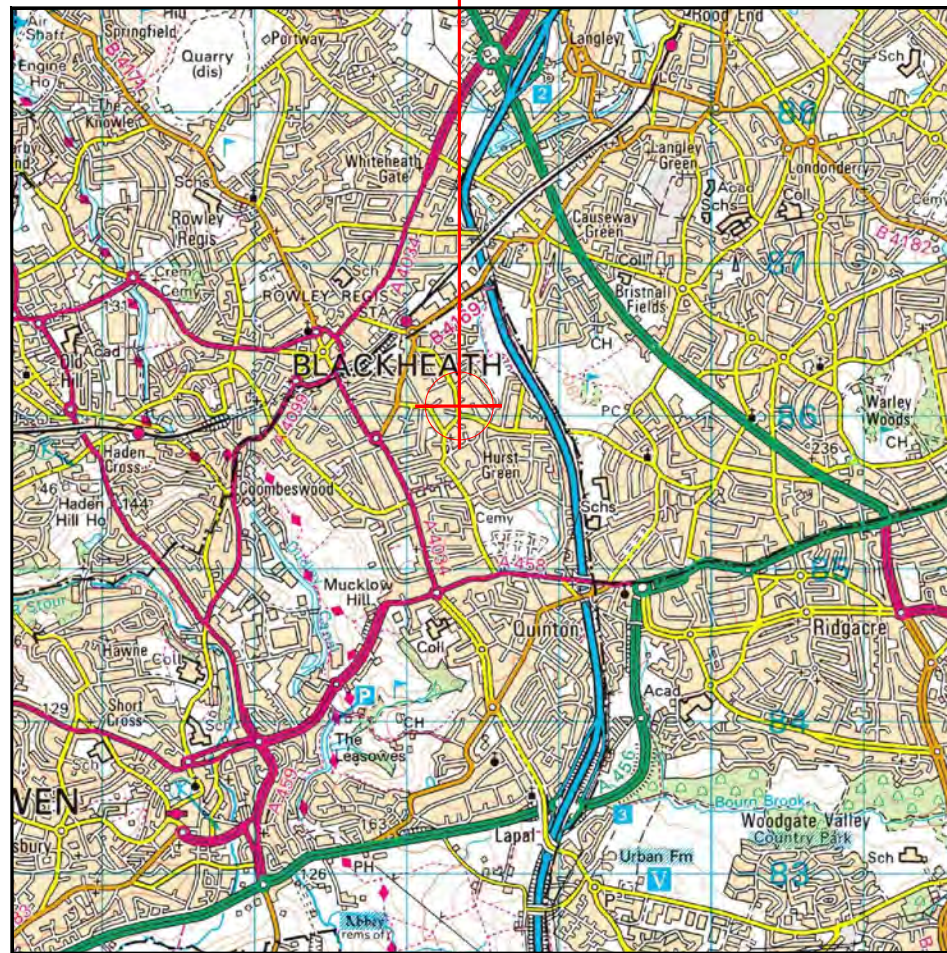
## RECOMMENDATION

48. It is recommended that planning permission is APPROVED subject to conditions.

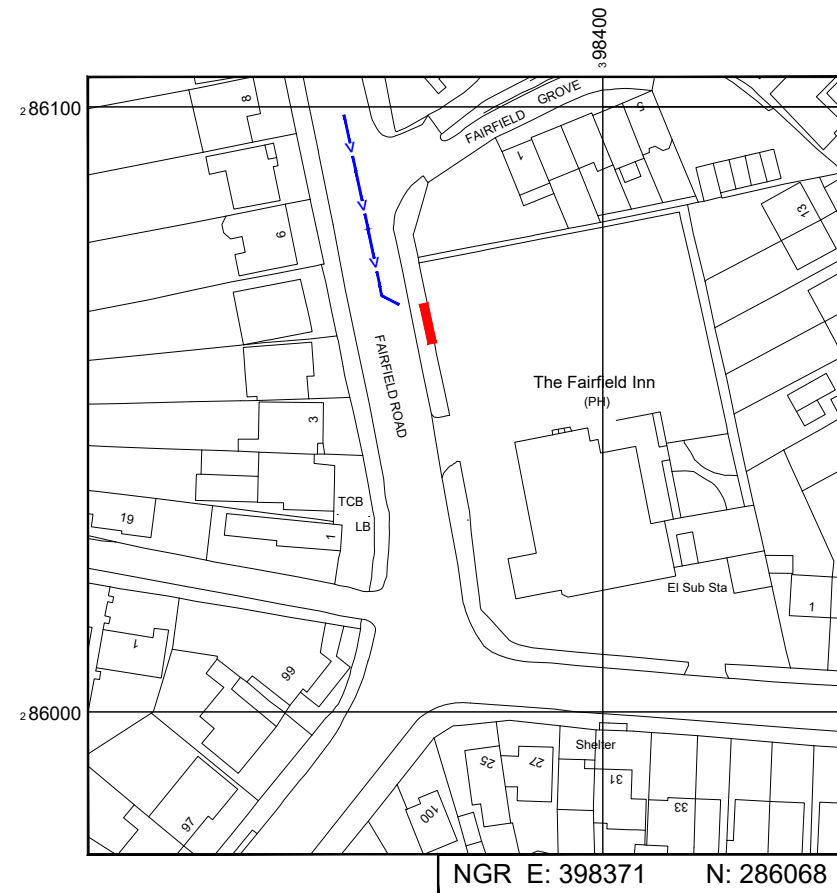
### Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
REASON: To comply with Section 91(1) of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: DUD14833\_M005 F.  
REASON: For the avoidance of doubt and in the interests of proper planning.

SITE LOCATION



Reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office  
All rights reserved. © Crown Copyright licence no. 100022432



Reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office  
All rights reserved. © Crown Copyright licence no. 100022432

NOTES:

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

**DIRECTIONS TO SITE:**  
Head southwest on M5, Take the exit at junction 2, At the roundabout, take the 4th exit, At the roundabout, take the 1st exit onto Wolverhampton Road/A4123, Turn right onto Causeway Green Rd/B4169, Continue to follow B4169, At the roundabout, take the 1st exit onto Nimmings Road/B4169, Turn left onto Fairfield Road, the site is located on the left hand side on the footpath

Site Provider's Property Boundary:



Access Route To Site:



Access Route:



Master: M005	MBNL / EE / H3G	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: E
Date: 03/03/21	Revision / Upgrade Description: Site Relocated			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M004	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: D
Date: 28/01/2021	Revision / Upgrade Description: Tower Height Reduced			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M003	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: C
Date: 10/11/2020	Revision / Upgrade Description: Site Relocated			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M002	MBNL / EE / H3G	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: B
Date: 25/08/2020	Revision / Upgrade Description: Site Relocated			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M001	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: A
Date: 09/07/2020	Revision / Upgrade Description: First Issue - Site nomination dated: 25/06/2020			
Drawn: PS				
Checked: DH				
Approved: SD				



Hutchison 3G UK Limited  
Star House, 20 Grenfell Road  
Maidenhead, SL6 1EH  
Tel: 01628 765 000  
Fax: 01628 765 001

H3G Base Station Information line:  
0845 6043000  
Available 8am-8pm Monday to Friday

Design Consultant & Principal Contractor:



WHP Telecoms  
Unit 1 Maple Park,  
Low Fields Avenue, Leeds  
LS12 6HH  
Tel: 01133023550  
e-mail: info@whptelecoms.com

Site Name: FAIRFIELD ROAD SW

Site ID: DUD14833

Address: FAIRFIELD ROAD,  
THE FAIRFIELDS,  
DUDLEY,  
WEST MIDLANDS,  
B62 9PU

Title: 002 SITE LOCATION PLAN

Project: H3G 5G UNILATERAL

Purpose of Issue: PLANNING

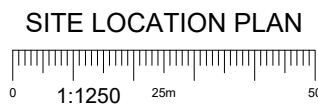
EE Cell ID: N/A	MBNL Cell ID: N/A	3UK Cell ID: N/A
-----------------	-------------------	------------------

Master Drawing No: DUD14833\_M005 Issue: E

100mm  
50mm  
10mm



SITE PHOTOGRAPH



GOOGLE MAPS QR CODE

GOOGLE MAPS -<https://goo.gl/maps/Da4W92KZSLjHsJM18>

GOOGLE STREETVIEW -<https://goo.gl/maps/fpGUL1fCgLLsDXvG7>

Antenna Aperture ID	Proposed 4G/5G Bearing	Operator: Shared/EE/H3G
A1	95°	H3G
A2	95°	H3G
B1	215°	H3G
B2	215°	H3G
C1	335°	H3G
C2	335°	H3G

NOTES:  
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

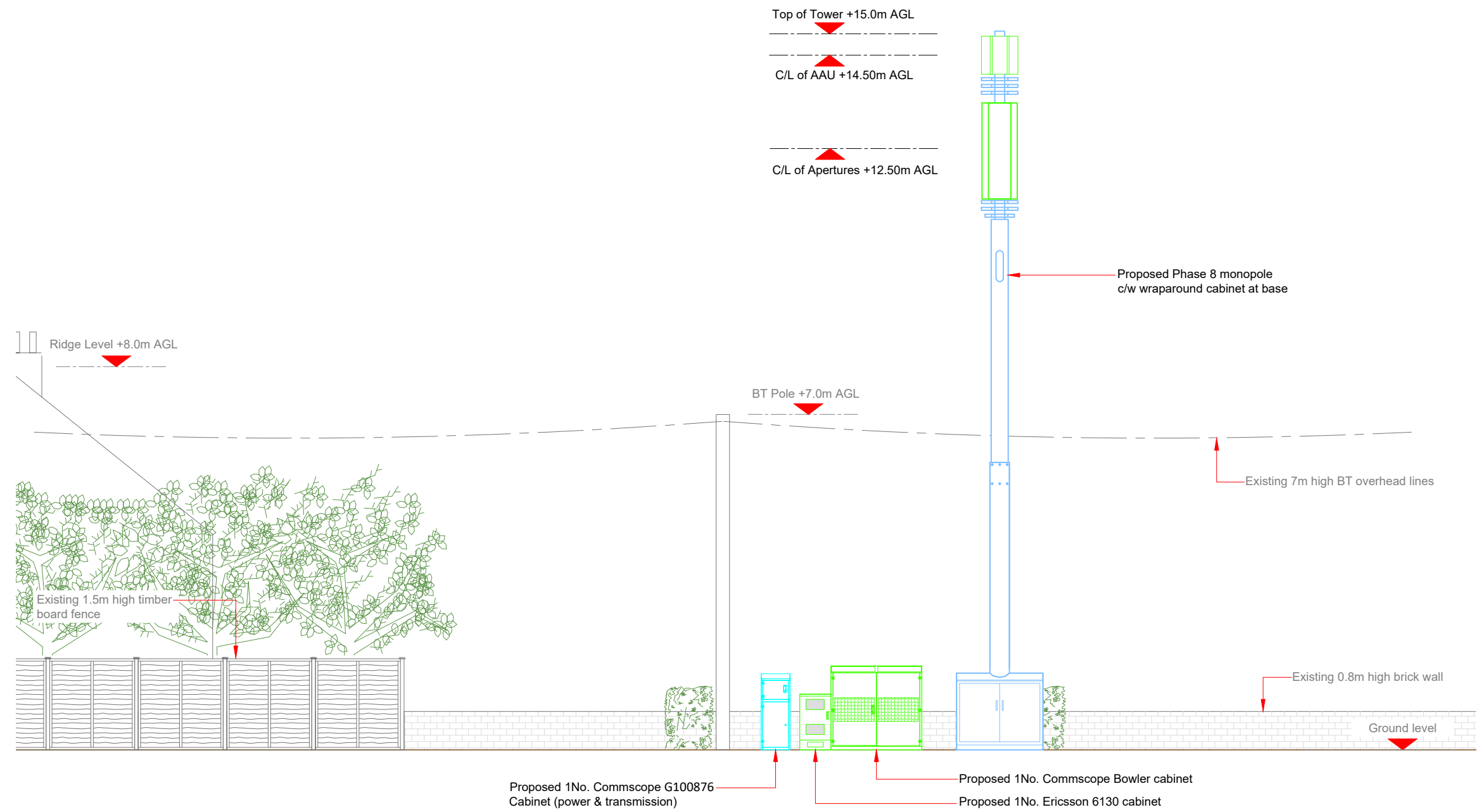
Master	MBNL / EE / H3G	Project	Purpose of Issue	Issue
M005	MBNL	H3G 5G UNILATERAL	Planning	E
Date: 03/03/21 Revision / Upgrade Description: Site Relocated				
Drawn: PS Checked: DH Approved: SD				
M004	MBNL	H3G 5G UNILATERAL	Planning	D
Date: 28/01/2021 Revision / Upgrade Description: Tower Height Reduced				
Drawn: PS Checked: DH Approved: SD				
M003	MBNL	H3G 5G UNILATERAL	Planning	C
Date: 10/11/2020 Revision / Upgrade Description: Site Relocated				
Drawn: PS Checked: DH Approved: SD				
M002	MBNL	H3G 5G UNILATERAL	Planning	B
Date: 25/08/2020 Revision / Upgrade Description: Site Relocated				
Drawn: PS Checked: DH Approved: SD				
M001	MBNL	H3G 5G UNILATERAL	Planning	A
Date: 09/07/2020 Revision / Upgrade Description: First Issue - Site nomination dated:25/06/2020				
Drawn: PS Checked: DH Approved: SD				



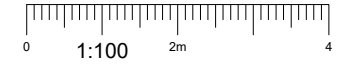
**Hutchison 3G UK Limited**  
Star House, 20 Grenfell Road  
Maidenhead, SL6 1EH  
Tel: 01628 765 000  
Fax: 01628 765 001  
  
H3G Base Station Information line:  
0845 6043000  
Available 8am-8pm Monday to Friday

Design Consultant & Principal Contractor:  
**WHP Telecoms**  
Unit 1 Maple Park,  
Low Fields Avenue, Leeds  
LS12 6HH  
Tel: 01133023550  
e-mail: info@whptelecoms.com

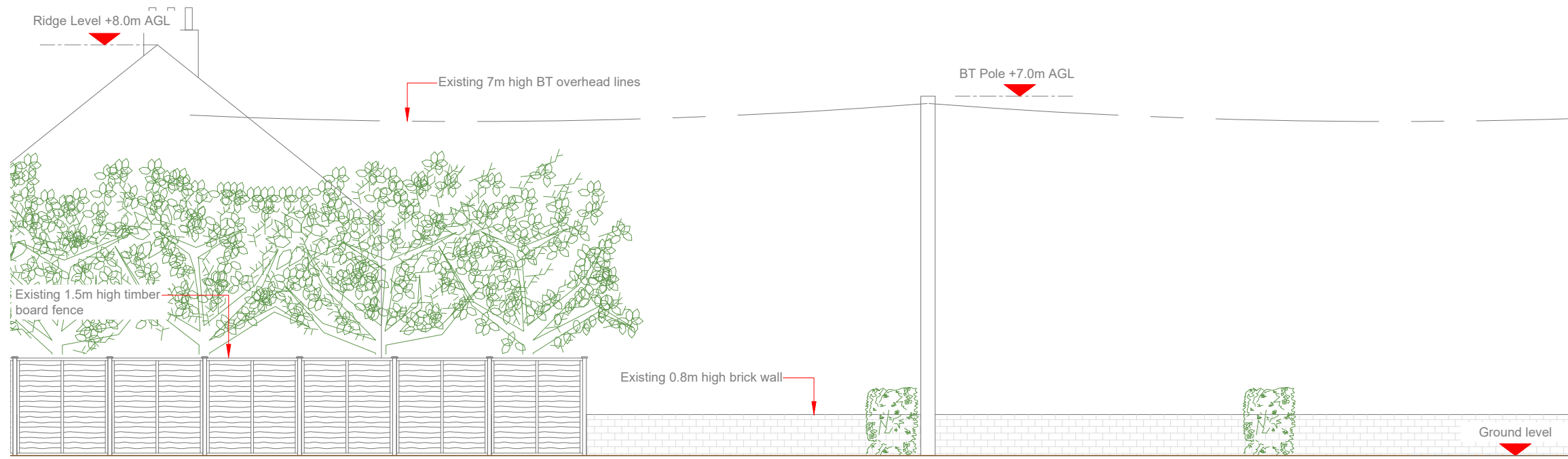
Site Name:	FAIRFIELD ROAD SW		
Site ID:	DUD14833		
Address:	FAIRFIELD ROAD, THE FAIRFIELDS, DUDLEY, WEST MIDLANDS, B62 9PU		
Title:	260 PROPOSED H3G ELEVATION		
Project:	H3G 5G UNILATERAL		
Purpose of Issue:	PLANNING		
EE Cell ID:	N/A	MBNL Cell ID:	N/A
		3UK Cell ID:	N/A
Master Drawing No:	DUD14833_M005		Issue:
			E



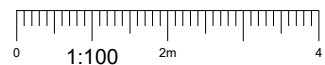
PROPOSED H3G CONFIGURATION ELEVATION



100mm  
50mm  
10mm



EXISTING ELEVATION A



NOTES:  
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Master: M005	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: E
Date: 03/03/21	Revision / Upgrade Description: Site Relocated			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M004	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: D
Date: 28/01/2021	Revision / Upgrade Description: Tower Height Reduced			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M003	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: C
Date: 10/11/2020	Revision / Upgrade Description: Site Relocated			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M002	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: B
Date: 25/08/2020	Revision / Upgrade Description: Site Relocated			
Drawn: PS				
Checked: DH				
Approved: SD				
Master: M001	MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: A
Date: 09/07/2020	Revision / Upgrade Description: First Issue - Site nomination dated: 25/06/2020			
Drawn: PS				
Checked: DH				
Approved: SD				



Hutchison 3G UK Limited  
Star House, 20 Grenfell Road  
Maidenhead, SL6 1EH  
Tel: 01628 765 000  
Fax: 01628 765 001  
  
H3G Base Station Information line:  
0845 6043000  
Available 8am-8pm Monday to Friday

Design Consultant & Principal Contractor:



WHP Telecoms  
Unit 1 Maple Park,  
Low Fields Avenue, Leeds  
LS12 6HH  
  
Tel: 01133023550  
e-mail: info@whptelecoms.com

Site Name: FAIRFIELD ROAD SW

Site ID: DUD14833

Address: FAIRFIELD ROAD,  
THE FAIRFIELDS,  
DUDLEY,  
WEST MIDLANDS,  
B62 9PU

Title: 150 EXISTING ELEVATION A

Project: H3G 5G UNILATERAL

Purpose of Issue: PLANNING

EE Cell ID: N/A	MBNL Cell ID: N/A	3UK Cell ID: N/A
-----------------	-------------------	------------------

Master Drawing No: DUD14833_M005	Issue: E
----------------------------------	----------

## **PLANNING APPLICATION NUMBER:P21/1486**

Type of approval sought	Full Planning Permission
Ward	St. Thomas's Ward
Agent	Mr Ibrahim Villasenor
Case Officer	James Mason
Location:	<b>36, ST MARKS ROAD, DUDLEY, DY2 7SD</b>
Proposal	<b>SINGLE STOREY REAR EXTENSION</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

### **REFERRAL TO DEVELOPMENT CONTROL COMMITTEE**

1. The application has been referred to Development Control Committee as the applicant is a Councillor.

### **SITE AND SURROUNDINGS**

2. The application site refers to 36 St Marks Road, a north facing detached dwelling with a pitched roof with a gablet features to the front. The dwelling is characterised by a brick finish, a ground floor bay window, a small porch and an existing two storey side extension. The dwelling benefits from a driveway with access to off-street parking for three cars. The street scene is comprised of residential dwellings reflective of the application site in regard to age and design.
3. To the rear of the dwelling is an existing conservatory and a 12.3m long rear garden with a width of 19.5m. The existing boundary treatment of the site consists of high hedges. To the rear of the application site is the side elevation of No. 38 St Marks Road.
4. To the east of the application site is the vehicular highway 'St Marks Road' and the junction for 'St Catherines Close'.

5. The neighbouring property to the west is No.34 St Marks Road. This is a detached dwelling with a pitched roof and gable features to the front. This dwelling is reflective of the application site in regard to age, type and design. There is an existing conservatory to the rear of the dwelling.

## PROPOSAL

6. The application seeks approval for a single storey rear extension. This proposal will provide the occupier with a new utility/storage on ground floor. The application proposed the use of materials to match the existing dwelling.
7. The proposed single storey rear extension would be built from the rear wall of the existing garage and adjoin the side elevation of the existing rear conservatory. The proposed development would have a maximum depth of 1.9m and a maximum width of 3.45m. The proposed extension would have a flat roof with a height of 2.75m (2.55m to the eaves) and would include a sky lantern with a maximum height of 3.2m.

## HISTORY

APPLICATION No.	PROPOSAL	DECISION	DATE
96/50796	Erection of garage.	Approved with Conditions	05/07/1996
99/50282	Proposed two storey side extension comprising of garage and two bedrooms.	Refused	08/04/1999
99/50612	Proposed two storey side extension comprising of garage and one bedroom.	Approved with Conditions	27/05/1999
99/51266	Erection of two storey side extension to provide garage with bedroom above.	Approved with Conditions	22/09/1999



## PUBLIC CONSULTATION

8. As of the date of this report two adjoining neighbours have been consulted, no representations have yet been received. If any comments are received these will be included within the Pre-committee notes. The final date for comment is the 12<sup>th</sup> September 2021.

## OTHER CONSULTATION

9. None

## RELEVANT PLANNING POLICY

- National Planning Guidance  
National Planning Policy Framework (2019)  
Planning Practice Guidance (2014)
- Black Country Core Strategy (2011)  
CSP4 Place Making  
ENV 2 Historic Character and Local Distinctiveness  
ENV 3 Design Quality
- Dudley Borough Development Strategy (2017)  
S6 Urban Design  
S8 Conservation and Enhancement of Local Character and Distinctiveness  
L1 Housing Development, extensions and alterations to existing Dwellings
- Supplementary Planning Guidance/Documents  
PGN 12. The 45 degree code  
PGN 17. House extension design guide

## ASSESSMENT

10. The main issues are
- Design
  - Neighbour Amenity

### Design

11. The proposed rear development is deemed acceptable in both scale and design and would be in keeping with the character of the host dwelling. There will be no detrimental impact to the street scene, as the proposed extension is sited at the rear and would be effectively screened by existing high hedges. Notwithstanding this, given the modest scale, and siting of the extension it is considered that the extension would be viewed as a sympathetic addition that would not cause any undue impact on the visual amenity of the wider streetscene.
12. Dudley Borough Development Strategy Policy L1 states that extensions to residential dwellings will be allowed provided they do not adversely affect the character of the area or residential amenity. On assessment of the application it is considered that the proposal will cause no demonstratable harm to the street scene or character and appearance of the area therefore complies with Dudley Borough Development Strategy Policy L1 – Housing Development, Extensions and Alterations to Existing Dwellings.

### Neighbour Amenity

13. For all house extensions, the Council will seek to ensure that any such proposals would not harm the occupiers of adjacent properties in terms of daylight, outlook and privacy.
14. Planning Guidance Note 12 (The 45 Degree Code) is a tool for measuring the potential loss of light to habitable rooms in neighbouring properties. With respect to the proposed extensions, the 45 degree line is taken at the mid-point from the nearest habitable room window on the ground floor of the neighbouring dwelling.

15. It is considered that the neighbouring properties would suffer no significant harm in terms of light, outlook or privacy given the scale and the position of the proposed works. The extension will not breach the 45 degree code to either neighbouring property. In this respect, the proposal complies with both PGN 12 – The 45 degree code and PGN 17 – House Extension Design Guide.

## CONCLUSION

16. The proposed development is considered to be of an appropriate design, scale and appearance that would satisfactorily relate to the host dwelling. There would be no detrimental impact to the character of the area, and there would be no significant impact on the amenity of adjoining neighbours. Therefore, the application is considered acceptable in relation to Dudley Borough Development Strategy Policy L1 and Planning Guidance Notes 12 and 17.

## RECOMMENDATION

It is recommended that the application be APPROVED subject to the following conditions:

Conditions and/or reasons:

- 1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
REASON: To comply with Section 91 of the Town & Country Planning Act 1990, as amended by Section 51 of the Planning & Compulsory Purchase Act 2004.
- 2) The development hereby permitted shall be carried out in accordance with the following approved plans: Location and site plans Drg No. P000 & Proposed floor and elevation plan Drg No. P002.  
REASON: For the avoidance of doubt and in the interests of proper planning.
- 3) The materials to be used in the approved development shall match in appearance, colour and texture those of the existing building unless otherwise agreed in writing with the Local Planning Authority.  
REASON: To ensure the satisfactory appearance of the development in accordance with BCCS Policy ENV2 - Historic Character and Local Distinctiveness and Borough Development Strategy 2017 Policy S6 Urban Design and Policy L1 Housing Development, extensions and alterations to existing dwellings/ Policy D2 Incompatible Land Uses (in part)



**LOCATION PLAN**  
 North SCALE 1:1250



**SITE PLAN**  
 North SCALE 1:500

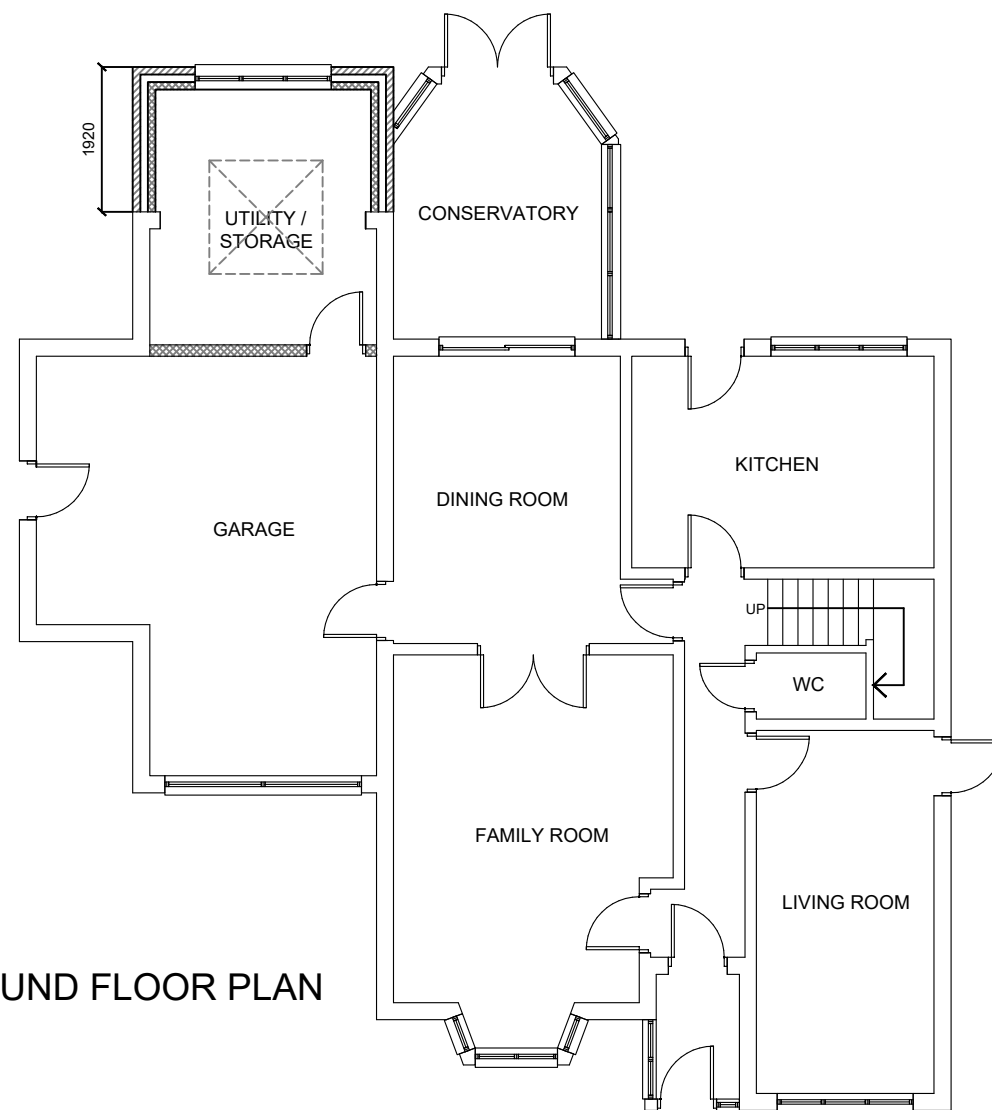
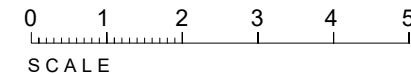
**GENERAL NOTES:**

- ALL DIMENSIONS TO BE CHECKED
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS, CONSTRUCTION NOTES AND/OR PROJECT SPECIFICATION.
- ANY CONSTRUCTION WORK CARRIED OUT PRIOR TO RECEIVING NECESSARY APPROVALS IS ENTIRELY AT THE PROPERTY OWNERS/CLIENTS/BUILDERS RISK.
- ALL MATERIALS AND METHODS OF WORK TO COMPLY WITH ALL RELEVANT BRITISH STANDARDS AND/OR B.S. CODES OF PRACTICE. THE BUILDER IS TO ENSURE THAT ALL MATERIALS USED ARE FIT FOR THE PURPOSE.
- CONTRACTOR IS TO CARRY OUT A RISK ASSESSMENT FOR ALL ASPECTS OF THE CONTRACT, IN ACCORDANCE WITH THE HEALTH & SAFETY AT WORK ACT, AND IS TO COMPLY IN FULL WITH THE CDM REGULATIONS GIVING THE REQUIRED NOTICES TO ALL REGULATIVE BODIES (INCLUDING THE HEALTH & SAFETY EXECUTIVE).
- IT IS THE BUILDERS / PROPERTY OWNERS RESPONSIBILITY TO OBTAIN ALL NECESSARY PARTY WALL AGREEMENTS. THESE SHOULD BE OBTAINED PRIOR TO ANY WORK BEING CARRIED OUT.

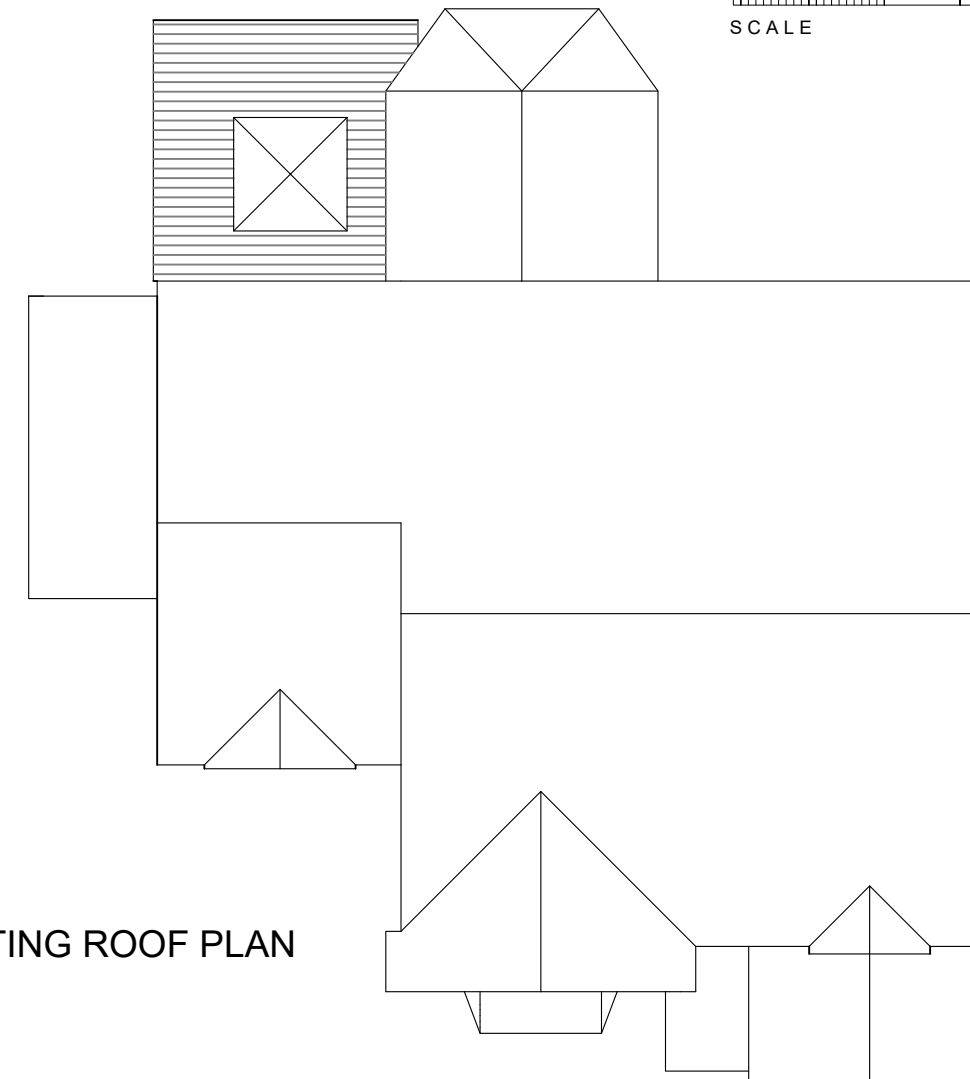
- PRIOR TO THE COMMENCEMENT OF ANY WORKS, THE BUILDER IS TO CHECK AND/OR DETERMINE ALL CONSTRUCTION DETAILS, INCLUDING CHECKING SITE LEVELS AND DIMENSIONS.
- CLIENT TO CONFIRM IF THERE ARE ANY PUBLIC DRAINAGE PIPES WITHIN 3M OF THE PROPOSED EXTENSION AND THEN SECURE APPROVAL FROM WATER AUTHORITY TO BUILD OVER OR CLOSE TO ACCESS TO A MANHOLE TO BE ADVISED BY CLIENT FOR ALL NECESSARY CCTV SURVEYS TO SATISFY WATER AUTHORITY PRE AND POST BUILDING WORKS.
- ALL WORKMANSHIP SHOULD BE CARRIED OUT IN WORKMAN LIKE MANNER AND STRICTLY IN ACCORDANCE WITH CODE OF PRACTICE AND TO BRITISH STANDARDS.
- SHOULD THE CONTRACTOR FIND ANY ERROR/S IN THE DRAWINGS THEN HE MUST INFORM PLANNING, DESIGN & BUILD PRIOR TO COMMENCEMENT / ORDERING ANY MATERIAL.

COPYRIGHT © - THIS DRAWING IS COPYRIGHT & SHOULD NOT BE REPRODUCED WITHOUT PERMISSION

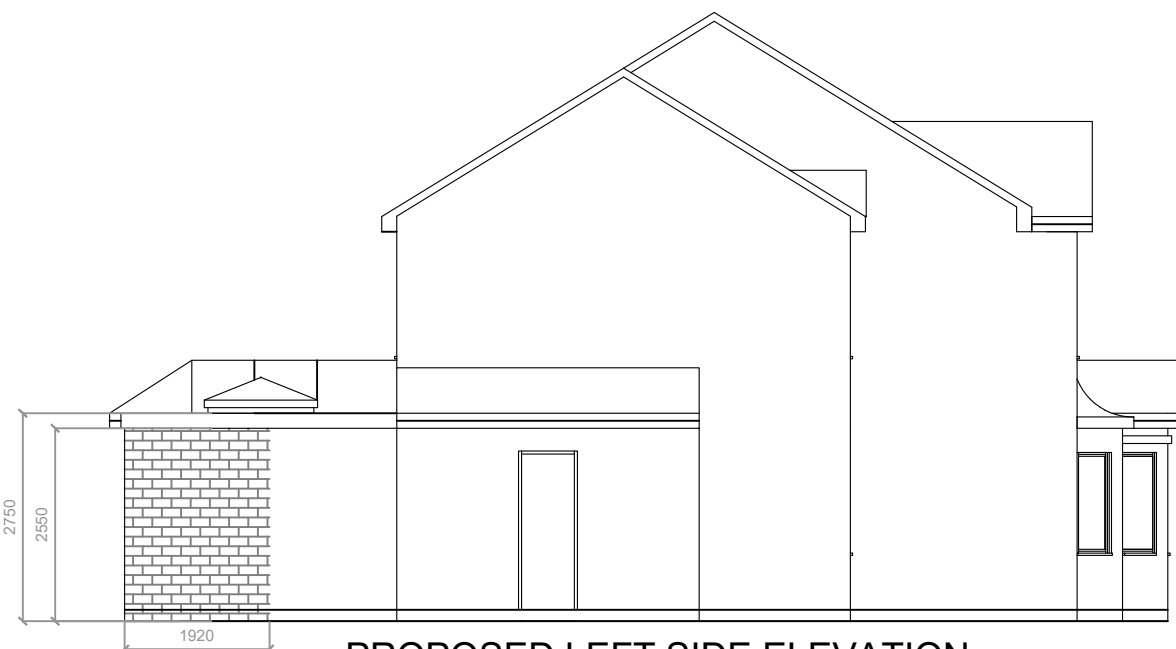
<b>CADDWORX</b> ibrahim_villasenor@yahoo.com 07 588 490689	ADDRESS: 36 ST MARK'S ROAD DUDLEY DY2 7SD	Drawing No: P000 Rev:
	PROJECT:	DRAWING: LOCATION AND SITE PLANS



PROPOSED GROUND FLOOR PLAN



EXISTING ROOF PLAN



PROPOSED LEFT SIDE ELEVATION



PROPOSED REAR ELEVATION

**GENERAL NOTES:**

- ALL DIMENSIONS TO BE CHECKED
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS, CONSTRUCTION NOTES AND/OR PROJECT SPECIFICATION.
- ANY CONSTRUCTION WORK CARRIED OUT PRIOR TO RECEIVING NECESSARY APPROVALS IS ENTIRELY AT THE PROPERTY OWNERS/CLIENTS/BUILDERS RISK.
- ALL MATERIALS AND METHODS OF WORK TO COMPLY WITH ALL RELEVANT BRITISH STANDARDS AND/OR B.S. CODES OF PRACTICE. THE BUILDER IS TO ENSURE THAT ALL MATERIALS USED ARE FIT FOR THE PURPOSE.
- CONTRACTOR IS TO CARRY OUT A RISK ASSESSMENT FOR ALL ASPECTS OF THE CONTRACT, IN ACCORDANCE WITH THE HEALTH & SAFETY AT WORK ACT, AND IS TO COMPLY IN FULL WITH THE CDM REGULATIONS GIVING THE REQUIRED NOTICES TO ALL REGULATIVE BODIES (INCLUDING THE HEALTH & SAFETY EXECUTIVE).
- IT IS THE BUILDERS / PROPERTY OWNERS RESPONSIBILITY TO OBTAIN ALL NECESSARY PARTY WALL AGREEMENTS. THESE SHOULD BE OBTAINED PRIOR TO ANY WORK BEING CARRIED OUT.

- PRIOR TO THE COMMENCEMENT OF ANY WORKS, THE BUILDER IS TO CHECK AND/OR DETERMINE ALL CONSTRUCTION DETAILS, INCLUDING CHECKING SITE LEVELS AND DIMENSIONS.

- CLIENT TO CONFIRM IF THERE ARE ANY PUBLIC DRAINAGE PIPES WITHIN 3M OF THE PROPOSED EXTENSION AND THEN SECURE APPROVAL FROM WATER AUTHORITY TO BUILD OVER OR CLOSE TO ACCESS TO A MANHOLE TO BE ADVISED BY CLIENT FOR ALL NECESSARY CCTV SURVEYS TO SATISFY WATER AUTHORITY PRE AND POST BUILDING WORKS.
- ALL WORKMANSHIP SHOULD BE CARRIED OUT IN WORKMAN LIKE MANNER AND STRICTLY IN ACCORDANCE WITH CODE OF PRACTICE AND TO BRITISH STANDARDS.
- SHOULD THE CONTRACTOR FIND ANY ERROR/S IN THE DRAWINGS THEN HE MUST INFORM PLANNING, DESIGN & BUILD PRIOR TO COMMENCEMENT / ORDERING ANY MATERIAL.

COPYRIGHT © - THIS DRAWING IS COPYRIGHT & SHOULD NOT BE REPRODUCED WITHOUT PERMISSION

**CADDWORX**

ibrahim\_villasenor@yahoo.com  
07588490689

PROJECT:

ADDRESS:

36 ST MARK'S ROAD  
DUDLEY  
DY2 7SD

DRAWING:

PROPOSED LAYOUT PLANS  
AND ELEVATIONS

Drawing No: P002

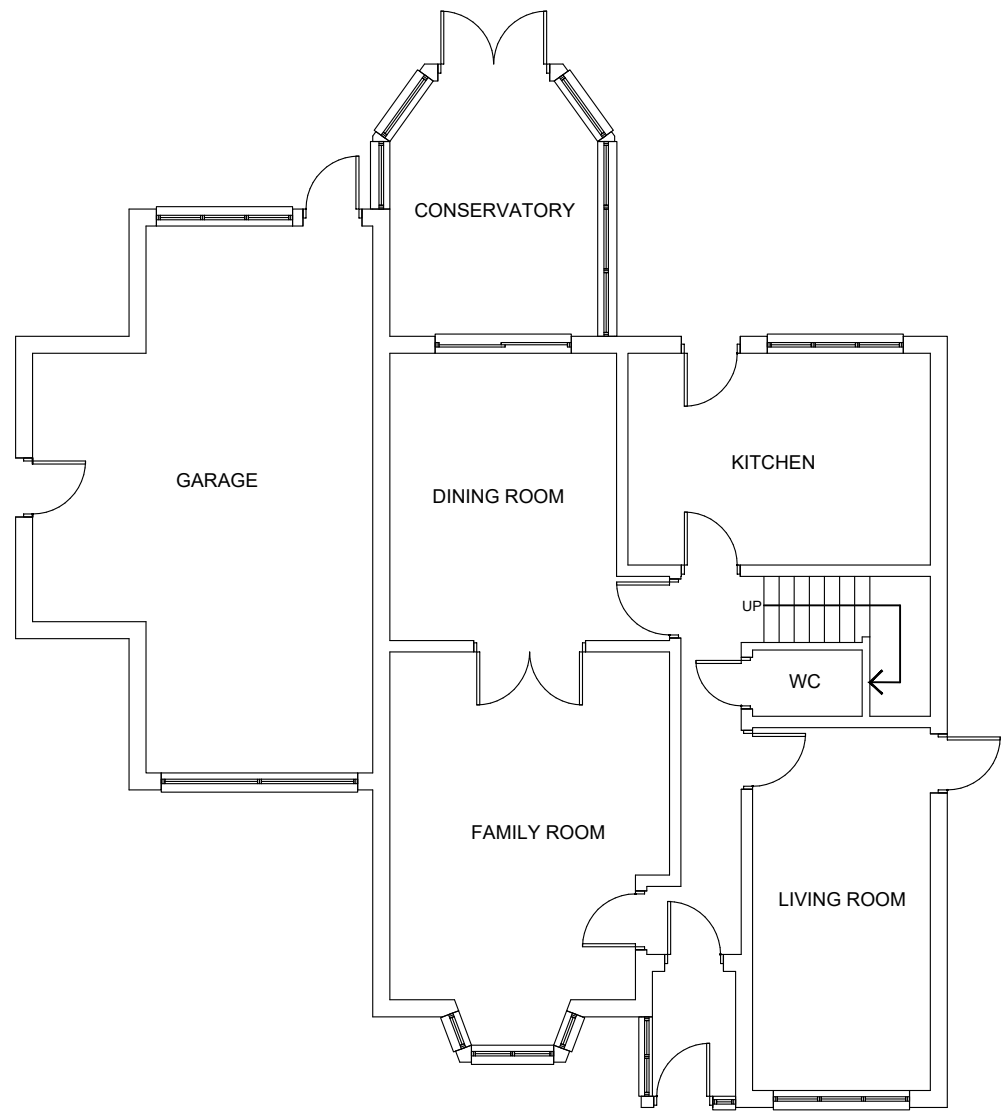
Rev:

Scale: 1:100 @ A3

Drawn By: IV

Checked By: VI

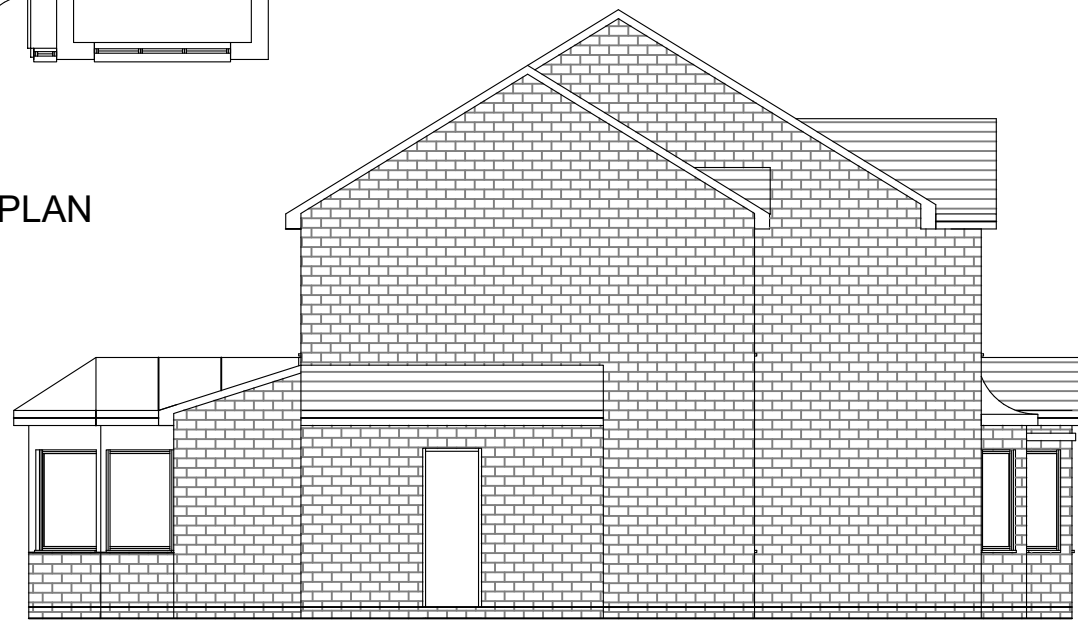
Date: 20-07-2021



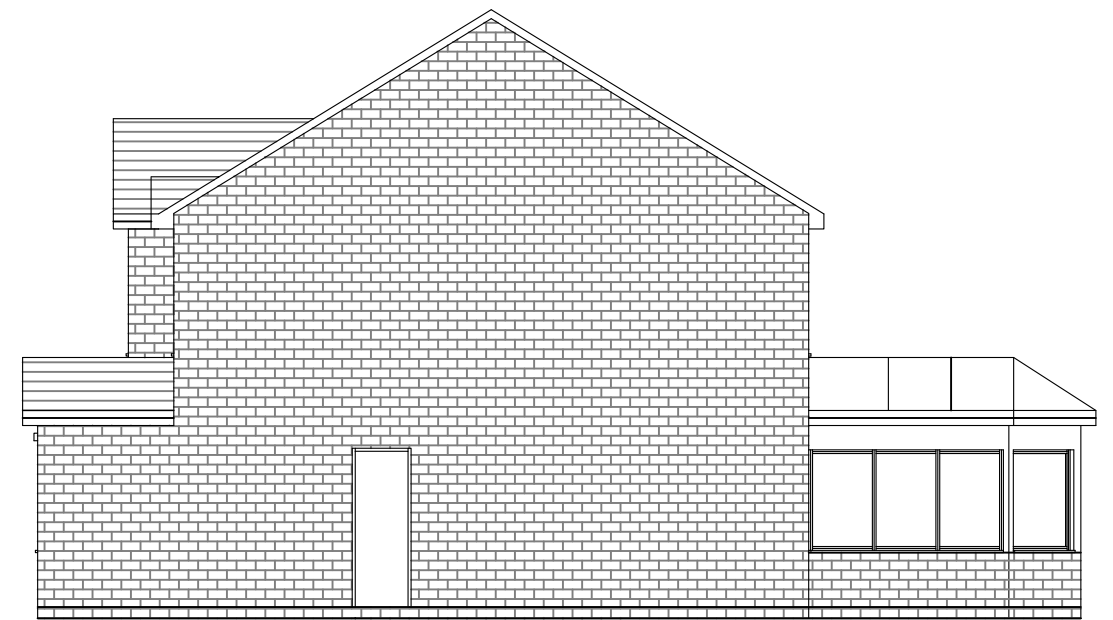
EXISTING GROUND FLOOR PLAN



EXISTING REAR ELEVATION



EXISTING LEFT SIDE ELEVATION



EXISTING RIGHT SIDE ELEVATION

**GENERAL NOTES:**  
 - ALL DIMENSIONS TO BE CHECKED  
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS, CONSTRUCTION NOTES AND/OR PROJECT SPECIFICATION.  
 - ANY CONSTRUCTION WORK CARRIED OUT PRIOR TO RECEIVING NECESSARY APPROVALS IS ENTIRELY AT THE PROPERTY OWNERS/CLIENTS/BUILDERS RISK.  
 - ALL MATERIALS AND METHODS OF WORK TO COMPLY WITH ALL RELEVANT BRITISH STANDARDS AND/OR B.S. CODES OF PRACTICE. THE BUILDER IS TO ENSURE THAT ALL MATERIALS USED ARE FIT FOR THE PURPOSE.  
 - CONTRACTOR IS TO CARRY OUT A RISK ASSESSMENT FOR ALL ASPECTS OF THE CONTRACT, IN ACCORDANCE WITH THE HEALTH & SAFETY AT WORK ACT, AND IS TO COMPLY IN FULL WITH THE CDM REGULATIONS GIVING THE REQUIRED NOTICES TO ALL REGULATIVE BODIES (INCLUDING THE HEALTH & SAFETY EXECUTIVE).  
 - IT IS THE BUILDERS / PROPERTY OWNERS RESPONSIBILITY TO OBTAIN ALL NECESSARY PARTY WALL AGREEMENTS. THESE SHOULD BE OBTAINED PRIOR TO ANY WORK BEING CARRIED OUT.

- PRIOR TO THE COMMENCEMENT OF ANY WORKS, THE BUILDER IS TO CHECK AND/OR DETERMINE ALL CONSTRUCTION DETAILS, INCLUDING CHECKING SITE LEVELS AND DIMENSIONS.  
 - CLIENT TO CONFIRM IF THERE ARE ANY PUBLIC DRAINAGE PIPES WITHIN 3M OF THE PROPOSED EXTENSION AND THEN SECURE APPROVAL FROM WATER AUTHORITY TO BUILD OVER OR CLOSE TO ACCESS TO A MANHOLE TO BE ADVISED BY CLIENT FOR ALL NECESSARY CCTV SURVEYS TO SATISFY WATER AUTHORITY PRE AND POST BUILDING WORKS.  
 - ALL WORKMANSHIP SHOULD BE CARRIED OUT IN WORKMAN LIKE MANNER AND STRICTLY IN ACCORDANCE WITH CODE OF PRACTICE AND TO BRITISH STANDARDS.  
 - SHOULD THE CONTRACTOR FIND ANY ERROR/S IN THE DRAWINGS THEN HE MUST INFORM PLANNING, DESIGN & BUILD PRIOR TO COMMENCEMENT / ORDERING ANY MATERIAL.  
 COPYRIGHT © - THIS DRAWING IS COPYRIGHT & SHOULD NOT BE REPRODUCED WITHOUT PERMISSION

<b>CADDWORX</b> ibrahim_villasenor@yahoo.com 07588490689	ADDRESS: 36 ST MARK'S ROAD DUDLEY DY2 7SD	Drawing No: P001
	PROJECT: EXISTING LAYOUT PLANS AND ELEVATIONS	Rev: Scale: 1:100 @ A3 Drawn By: IV Checked By: VI Date: 20-07-2021

---

**Meeting of the Development Control Committee – 13<sup>th</sup> September 2021**

**Report of the Director of Regeneration and Enterprise**

**Adoption of the Revised Dudley Borough Local List**

**Purpose**

1. To seek Development Control Committee's approval and adoption of the Revised Dudley Borough Local List - in order for it to replace the Council's original 1996 version which over time has become outdated.

**Recommendations**

2. It is recommended that:
  - Development Control Committee approve and adopt the Revised Dudley Borough Local List as a replacement for the original 1996 version (**Appendix 1**). The original version was adopted by the Council's (then) Planning Committee in December 1996 and is now considered to be in need of an update to reflect the latest Historic England best practice guidance and the guidance provided in the National Planning Policy Framework (NPPF).

**Background**

3. In 1996 Dudley Council adopted a 'Local List' of buildings and structures of historic or architectural significance that were considered to make a particular contribution to the local character and distinctiveness to the borough and worthy of protections and conservation in their own right. The built heritage of Dudley's was in a lot of cases built after 1840 and so will often not meet the strict national criteria necessary for inclusion on the statutory list. By way of background, the Council drew up and published criteria for selection, based on factors relating to purely local aspects of historic significance. The draft Local List of buildings was subject to public consultation, after which a finalised Local List was produced and then approved for adoption by Development Control Committee (then known as Planning Committee) on 12th December 1996.



4. As the original list is now over 25 years old it requires updating to bring it in line with recent changes in the National Planning Guidance as set out in the National Planning Policy Framework (NPPF) and to also reflect best practice guidance set out by Historic England in their publication '*Local Heritage Listing: Historic England Advice Note 7*' (2021). The purpose of updating this list is to ensure that the Council can respond positively to regeneration opportunities whilst respecting local historic assets of value and where feasible bringing them into beneficial use. It will be the role of Development Control Committee to approve any further additions to the revised list in the future following consideration of officers' recommendations.
5. On the 11th August 2014, Development Control Committee approved the publication and subsequent public consultation of a revised set of criteria by which buildings and structures are to be assessed against in order to decide if they are deemed suitable to be for inclusion on Dudley's Local List.
6. Following further work, a public consultation exercise was carried out on these revised criteria during May and June 2015. Some 720 stakeholders were consulted during this exercise, including known owners and occupiers of locally listed buildings and structures, local interest and history groups such as the Brierley Hill Civic Society, and external bodies such as Historic England (formerly English Heritage) and the Canal and River Trust. A total of 18 stakeholder representations were received by Dudley Council, with a generally high level of support for the revised set of assessment criteria.
7. Following the May/June 2015 consultation exercise, a number of amendments were made to this set of revised assessment criteria – the updated revised set of 16 assessment criteria now includes:
  - A new criteria to cover rarity and (Dudley's) identity;
  - The physical integrity of a given building or structure;
  - A new criterion relating to the 'group value' of buildings;
  - An amendment to include an assessment of landmark quality;
  - Making references to structures as well as buildings; and
  - Amending the headings 'Architectural Merit' and 'And Additionally' to respectively read 'Architectural Interest' and 'Additional Criteria'.
8. On the 23<sup>rd</sup> February 2016, Development Control Committee approved this updated revised set of 16 assessment criteria by which buildings and structures are deemed suitable to be included on a database of Locally Important Buildings and Structures. This database formed the basis of the new revised Local List. At this meeting, the Development Control Committee further approved that these 16 criteria then be used to review those buildings and structures on the current Dudley Local List.
9. Since then, all entries on the 1996 Local List have been re-assessed in terms of whether they should be retained or removed from the List, and a quantity of additional proposed entries put forward for local listing have similarly been considered - the latter resulting from various Historic Landscape Characterisation (HLC) studies carried out by





Dudley Council regarding Brierley Hill, Dudley, Halesowen and Stourbridge town centres and the area known as the Glass Quarter.

10. In total, in excess of 470 heritage assets have been taken into consideration and assessed as part of this Revised Local List exercise resulting in the production of the Revised Dudley Borough Local List (Appendix 1) which now contains a total of 293 locally listed heritage assets.
11. Table 1 in Appendix 1 set out how many buildings since the publication of the original 1996 local list have been upgraded and subsequently added to the statutory list, how many are located in a designated conservation area and therefore do not need to be on the local list and how many have been approved for demolition after very careful consideration against the strict requirements of the local list policy contained in the local plan.

### **Finance**

12. The establishment of a Local List and its subsequent updating are funded from existing budgets and resources dedicated to the protection of the Borough's Historic Environment and the production of Development Plan Documents and other such statutory planning documents.

### **Law**

13. The Local List and its associated planning policies are produced in accordance with the relevant provisions of the Planning and Compulsory Purchase Act 2004, the Town and Country Planning (Local Planning) (England) Regulations 2012 and the National Planning Policy Framework (NPPF) (and associated guidance) (2012).
14. Section 2 of the Local Government Act 2000 allows the Council to do anything that it considers is likely to promote or improve the economic, social, or environmental well-being of the area.

### **Risk Management**

15. Failure to have an up-to-date local list that informs the successful application of relevant local plan policy could result in the inappropriate demolition, partial demolition, alteration or extension of a quantity of heritage assets in the borough - which instead should be conserved and enhanced for the betterment of the borough's local character and distinctiveness.

### **Equality Impact**



16. The Local List is part of a set of planning and historic environment policies and documents which set out to protect the historic character and distinctiveness of the Borough for the benefit of all its communities. This includes meeting the needs of disabled persons as well as children and young people through protecting valuable historic assets for them as well as having a positive effect for future generations.

### **Human Resources/Organisational Development**

17. It is considered that there are no additional human resources or organisational development implications resulting from this report. Work on the draft Revised Dudley Borough Local List has been carried out by the Regeneration & Enterprise Directorate's Planning Policy and Projects and Delivery teams.

### **Commercial/Procurement**

18. There are not considered to be any commercial or procurement implications as a result of this report – all work in producing the draft Revised Dudley Borough Local List being carried out by Council officers.

### **Council Priorities**

19. The Revised Dudley Borough Local List will contribute towards various of the 7 aspirations of the Borough Vision, in particular '*Home of rich heritage, inspiring a unique visitor destination*', and is in full accordance with the Council Plan and Future Council Programme.
20. The Revised Dudley Borough Local List will also contribute towards the Council Plan's priority to '*Support stronger and safe communities*' by helping conserve and enhance the borough's local character and distinctiveness, and thereby contributing towards a strong sense of place and belonging.
21. The Revised Dudley Borough Local List will not have any implications for existing communities – including as to the local infrastructure of schools, GP and health provision, public transport connectivity, local housing needs, local deprivation, green spaces, and the safety of the community.
22. The Revised Dudley Borough Local List will not have any negative environmental implications and will not impact on the Council's carbon reduction strategy and its aim to reach net zero by 2041.

*Robert Martin*



**Helen Martin**  
**Director of Regeneration & Enterprise**

Contact Officers: Jayne Pilkington  
Telephone: 01384 814168  
Email: [jayne.pilkington@dudley.gov.uk](mailto:jayne.pilkington@dudley.gov.uk)

Carl Mellor  
Telephone: 01384 814157  
Email: [carl.mellor@dudley.gov.uk](mailto:carl.mellor@dudley.gov.uk)

**Appendices**

Appendix 1 – Dudley Borough Local List - September 2021

**List of Background Documents**

Planning Committee on 12th December 1996

Development Control Committee on 11th August 2014

Development Control Committee on 23<sup>rd</sup> February 2016

Local Heritage Listing: Historic England Advice Note 7, (2021) -  
<https://historicengland.org.uk/images-books/publications/local-heritage-listing-advice-note-7/>



# DUDLEY LOCAL LIST

---

September 2021



DUDLEY COUNCIL'S REGENERATION & ENTERPRISE SERVICE

**REGENERATING**



## **Contents**

Need for a Local List

Dudley's first Local List

Need for a Revised Local List

Revising the Local List

Local Listing as Heritage Assets

The Effects of Local Listing

Further Information

**Appendix A** - The revised Dudley Local List – September 2021

**Appendix B** - Local List Assessment Criteria

**Appendix C** – Existing locally listed buildings/structures removed from the Local List and the reason given

**Appendix D** – Buildings/structures listed in the Historic Landscape Characterisation studies (HLC's) considered for addition to the Local List but not added and the reasons given

## **Need for a Local List**

There are many buildings and structures in the Borough which do not meet the stringent criteria for national statutory listing but are nevertheless of significant local historical importance and worthy of protection and conservation in their own right.

## **Dudley's first Local List**

Recognising the need for a local list and in common with many other authorities at the time, Dudley Council first prepared a draft 'List of Buildings and Structures of Local importance' during early 1996. Inclusion in what became known as Dudley's 'Local List' was based on the contribution that buildings and structures made to the local character and distinctiveness of the Borough's townscape and landscape.

Following public consultation and any necessary amendments being made, Dudley Council's Planning Committee approved this original Local List for adoption on 12<sup>th</sup> of December 1996. At this time, the Local List stood at over 400 items.

Over the past 25 years the Council's local list policy has been very successfully implemented by the local planning authority resulting in there being a series of buildings and structures that positively contribute to the local character and distinctiveness of the borough. It is to be noted that during this time some of the Locally Listed buildings have been approved for demolition (but only after very careful consideration against the strict requirements of the local list policy contained in the local plan). It is also to be noted that some of the Locally Listed buildings have been upgraded and added to the statutory list.

## **Need for a Revised Local List**

Dudley Council and other stakeholders in the borough's historic environment recognised that Dudley's original 1996 Local List (now 25 years old) needed to be updated to bring it in line with recent changes in National Planning Guidance as set out in the government's National Planning Policy Framework (NPPF) and to also reflect best practice guidance set out by Historic England in their publication '*Local Heritage Listing: Historic England Advice Note 7*' (2021).

The Government in their Planning Practice Guide states: *Plan-making bodies should make clear and up to date information on non-designated heritage assets accessible to the public to provide greater clarity and certainty for developers and decision-makers. This includes information on the criteria used to select non-designated heritage assets*'.

The purpose of updating this list was therefore to ensure that the Council had up-to-date, accessible information and criteria and so it could respond positively to regeneration opportunities whilst respecting local historic assets of value and where feasible bringing them into beneficial use.

## Revising the Local List

Following and informed by a public consultation exercise involving over 700 stakeholders (including known owners and occupiers of Dudley's locally listed buildings and structures), a revised set of updated local listing assessment criteria was approved for use by Dudley Council's Development Control Committee on 23<sup>rd</sup> of February 2016. This set of 16 updated local listing assessment criteria can be found at **Appendix B** of this document.

Since then, all entries on the 1996 Local List have been re-assessed in terms of whether they should be retained or removed from the List, and a quantity of additional proposed entries put forward for local listing have similarly been considered - the latter resulting from various Historic Landscape Characterisation (HLC) studies carried out by Dudley Council.

The results of this exercise can be found in Appendices A, C and D. The final revised Dudley Local List approved by Development Control Committee on the 13<sup>th</sup> September 2021 can be found in **Appendix A**. The existing locally listed buildings assessed and identified for removal from the local list can be found in **Appendix C** and the buildings/structures listed in the HLC's for consideration for local listing assessed and not added to the final local list can be found in **Appendix D**.

The reasons for removal from the local list or for them not being added to the local list are as follows:

- They don't sufficiently meet the adopted local list criteria;
- They have been added to the statutory list;
- They have been demolished;
- They are in a Conservation Area or covered by another designation (e.g. archaeological priority area, APA).

As part of the review exercise, the decision was taken to remove all known demolished heritage assets from the Local List given that their physical value in historic environment terms had clearly been lost. The knowledge of these now demolished locally listed heritage assets will not be lost as they will all be recorded on the Council's Historic Environment Record as 'LLBD' which means 'Locally Listed Building Demolished'.

Also removed from or not added to the revised Dudley Local List were those existing entries on the 1996 list and those proposed under the various HLC studies that are located within a designated conservation area or are more appropriately represented by another, equally significant, designation such as the site being within an identified archaeological priority area (APA).

The reasoning behind this approach is that non-listed buildings/structures being in a conservation area affords a heritage asset a higher level of historic environment protection (in planning policy terms) as compared to being locally listed. This is because, in line with sections 72 and 74 of and therefore section 16 and 17 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and paragraph 207 of the NPPF (2021) non-listed buildings of positive contribution are to be treated as if

they are statutory listed building when being considered for demolition – NPPF paragraph 207 stating:

*‘Not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated as either substantial harm under paragraph 200 or less than substantial harm under paragraph 201, as appropriate....’*

In total some 470 heritage assets have been taken into consideration and assessed as part of this Revised Local List exercise and a summary of the results of the Local List re-assessment exercise is set out in **Table 1** below.

**Table 1 - Re-assessment of Heritage Assets – Summary of Results**

Identifier	Comment	Quantity of heritage assets	Outcome
Assets that have been Demolished	Identified prior to the Review	39	Removed from the List
	Identified during the Review	13	
Assets in Conservation Areas	Existing entries on the List	78	
	Proposed entries in the various HLC studies	12	Not added to the List
Assets in Archaeological Priority Areas (APAs)	Proposed entries in the various HLC studies	1	Not added to the List
Assets upgraded to statutory listed status since 1996	Statutory listing provides a higher degree of heritage asset protection	14	Removed from the List
Assets <u>not</u> sufficiently satisfying the updated local listing assessment criteria	Existing entries on the List	20	Removed from the List
	Proposed entries in the various HLC studies	1	No action required
Assets that <u>did</u> sufficiently satisfy the updated local listing assessment criteria	Existing entries on the List	236	Retained onto the Revised List
	Proposed entries in the various HLC studies	57	Added onto the Revised List
Total number of heritage assets assessed		470	
<b>Total number of heritage assets on the Revised Local List</b>		<b>293</b>	<b>Total number of heritage assets on the Revised Local List</b>



What **Table 1** above highlights is that since the creation of the Local List, 14 of the buildings have been added to the statutory list. This clearly evidences the important role the local list has played over the past 25 years. What is placed on the statutory list is decided by the Secretary of State and it is important to note the last authority-wide survey of the borough for statutory listed buildings was undertaken by Historic England in the 1970's. Since that time Historic England have undertaken only thematic surveys for additions to the statutory list focusing on World War 1 memorials and on inter-war public houses, for other additions they have relied on individual applications being made, such as the request Dudley Council made for the Lye and Wollescote Cemetery Chapel to be added to the statutory list. The Local List has therefore been significant in highlighting buildings/structures that are not only locally significant but also of potential national significance.

**Table 1** above also highlights that the 20 assets removed from the local list (because they no longer sufficiently satisfy some or all of the 16 updated local listing assessment criteria) were in the majority of cases dwelling houses. This was significant because what was clear was that due to the General Permitted Development Order (GDPO), householders benefit from having a large number of permitted development rights - such as the replacement of original windows and doors, roofing materials, removal of front boundary walls, installation of satellite dishes etc.

Hence a large number of alterations are able to be undertaken to dwelling houses without requiring the consent of the local planning authority - resulting in alterations being undertaken that collectively harm the significance of the non-designated heritage asset. It is important to stress however that although these particular buildings are being removed from the Local List they will still remain on the Council's Historic Environment Record.

Table 1 also illustrates that 78 of the existing locally listed building have been removed from the list because they are located in a designated conservation area.

Following on from the above, this final version document revised 'Dudley Local List' was approved for adoption by Dudley Council's Development Control Committee at its meeting on 13<sup>th</sup> September 2021.

The revised Dudley Local List can be found in **Appendix A** of this document, and an electronic version of the revised Dudley Local List is available at:

<https://www.dudley.gov.uk/residents/planning/historic-environment/listed-local-buildings-in-dudley/>

### **Local Listing as Heritage Assets**

Similarly to the 1996 version, the revised Dudley Local List is a collection of non-designated heritage assets that are not protected in law as statutory listed buildings or scheduled ancient monuments.

The government's National Planning Policy Framework (NPPF, 2021, Glossary) defines a 'heritage asset' as:

*‘A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).*

## **The Effects of Local Listing**

As part of the Council’s Local Plan, planning policies are in place for the Local List. In the Council’s Dudley Borough Development Strategy (adopted in 2017) **Policy S11 – Buildings of Local Historic or Architectural Importance** sets out the policy approach for Locally Listed heritage assets.

As recognised heritage assets, entries on the Local List must be taken into account in determining a planning application, and applications must be determined in accordance with the Council’s Local Plan policies and the NPPF.

Although controls are not as strict as those related to the Statutory List, Dudley Council is committed to resisting proposals to demolish, part demolish or adversely alter Locally Listed buildings and structures, as well as those proposals that would be detrimental to their setting or context unless applicants are able to provide robust justification in accordance with the requirements of the policy.

Inclusion on the Local List does not remove any permitted development rights that a given property may currently enjoy, and therefore works can be carried out as before, without additional consent requirements beyond those already required for planning permission and or building regulation approval.

Inclusion on the Local List does not change the legal status of the building or structure and is not a Local Land Charge. Locally listed buildings and structures are however recorded on the Council’s Historic Environment Record and information about their local list status and the policy that is applied will be provided as a searches disclosure.

## **Further Information**

The revised Dudley Local List follows this ‘Further Information’ section – Appendix A refers.

An electronic version of this revised Dudley Local List is available at:  
<https://www.dudley.gov.uk/residents/planning/historic-environment/listed-local-buildings-in-dudley/>

Further details regarding each entry on the Local List can be found on the Heritage Gateway website managed by Historic England and available at:  
<http://www.heritagegateway.org.uk/gateway/about/default.aspx>

Dudley Council’s Historic Landscape Characterisation (HLC) studies for Brierley Hill, Dudley, Halesowen and Stourbridge town centres and the area known as the Glass Quarter are available at:

<https://www.dudley.gov.uk/residents/planning/historic-environment/historic-landscape-characterisation/>

Dudley Council's planning policy documents including as relating to locally listed buildings and structures can be found at:

<https://www.dudley.gov.uk/residents/planning/planning-policy/>

The government's National Planning Policy Framework (NPPF) can be found at:

<https://www.gov.uk/government/publications/national-planning-policy-framework--2>

## **Appendix A - The revised Dudley Local List – September 2021**

Please be aware that the revised Dudley Local List may occasionally be added to or otherwise amended, subject to approval by Dudley Council's Development Control Committee. Any such changes will be reflected on Dudley Council's 'Locally Listed Buildings in Dudley' webpage and/or the Local List document available there – please see:

<https://www.dudley.gov.uk/residents/planning/historic-environment/listed-local-buildings-in-dudley/>

Further details regarding each entry on the Local List can be found on the Heritage Gateway website managed by Historic England and available at:

<http://www.heritagegateway.org.uk/gateway/about/default.aspx>

<b>ADDRESS</b>	<b>WARD</b>	<b>SMR NUMBER</b>	<b>LISTING DATE</b>	<b>BRIEF DESCRIPTION</b>
Abbey Road; Zoar Chapel	Gornal Ward	4166	12/12/96	Methodist church, red brick, buff terracotta with legend: Zoar Chapel, A.D. 1906 in device over main entrance. Has tower, with accurate clock, on RH.
Adelaide Street, 48A:	Brierley Hill Ward	5090	12/12/96	2-storey corner shop in red brick that retains its original display window & blind. Has yard to rear, accessed from Trinity St.
Adelaide Street, 67 – 73	Brierley Hill Ward	15190	13/09/21	Part of terrace of houses with many original features in very good condition including highly ornate shared porches.
Albion Street, 122, Wall Heath; Barn	Kingswinford North and Wall Heath Ward	7189	12/12/96	Brick and slate 2 storey barn
Albion Street, 234; "Albion House"	Kingswinford North and Wall Heath Ward	7193	12/12/96	Albion House Detached 19th century house in good condition - endangered species!
Albion Street, 16; Shop.	Kingswinford North and Wall Heath Ward	7191	12/12/96	Corner shop building, unusual shape, important position.
Amblecote Road, 25; Terraced cottage.	Amblecote Ward	5132	12/12/96	Yard Buildings before 1822 to end terrace circa 1884.
Amblecote Road, 100; Cottage.	Amblecote Ward	5131	12/12/96	Mid-19th century or earlier cottage under tree.

Attwood Street, Brook Bros.Spade Manuf.	Lye and Stourbridge North Ward	4674	12/12/96	Remaining buildings of site of Brook Bros Spade Manuf.
Attwood Street, Higgins Bros.	Lye and Stourbridge North Ward	4661	12/12/96	Roof with alternating pitches on sheds in use as Higgins since post WW1.Variety of individual buildings.
Audnam House-Audnam Bank Glassworks	Brierley Hill Ward	4810	13/09/21	Audnam House, the glass master's house, sat adjacent to the Audnam Bank Glassworks founded by Henry and Edward Bradley in 1716.
Avenue Road, 35 - 37 Painter's Row	Coseley East Ward	7585	12/12/96	Former Shop. 35 is the home of the Coseley Conservative Club. 37 was the home of R.Hyde, Grocer and Confectioner. Fine example of a terracotta construction
Avenue Road; Painters Arms, PH.	Coseley East Ward	7136	12/12/96	A former shop, now Painters Arms Public House.
Balds Lane, 26; Cottage.	Cradley and Wollescote Ward	7099	12/12/96	2-storey double-fronted house built on a gradient in red brick & carrying a tablet with the legend: "BALDS LANE COTTAGE".
Baptist End Road, 45; The White Swan	Netherton, Woodside and St. Andrews Ward	7405	12/12/96	Public House corner of Baptist End Road
Belmont Road, 67, Lye.	Cradley and Wollescote Ward	7094	12/12/96	House/shop of local interest
Bilston Street, St Andrew's Church.	Sedgley Ward	7139	12/12/96	St Andrew's Church
Birmingham Street, Ebenezer Chapel	Halesowen South Ward	12085	12/12/96	Former Methodist Church and associated bldgs, now shops etc.
Birmingham Street: Queens Head PH.	Halesowen South Ward	7130	12/12/96	Public house - possibly as early as 17th century
Blackberry Lane, Nos. 17 and 19	Halesowen South Ward	15238	13/09/21	A fine distinctive high status example of a nail maker's residence dating from the later 19th century. Constructed of ashlar blocks in predominantly red sandstone.
Blackberry Lane, Nos. 21, 23 and 25	Halesowen South Ward	15233	13/09/21	Amongst the first to be built on Blackberry Lane these buildings lack the architectural pretension of some

				later nail masters premises but form a very significant group.
Bott Lane; Colliery Shaft: Lunts Colliery	Lye and Stourbridge North Ward	4652	12/12/96	Vent to lunts colliery - Bottom 6 - 8' of round chimney/flue like structure.
Broad Street, Pensnett no.1; Bakery.	Brockmoor and Pensnett Ward	7176	12/12/96	Small industrial building, possibly a former bakery, with a tall chimney
Bromley Street, Globe Works.	Lye and Stourbridge North Ward	4656	12/12/96	2-storey range of offices; entrance to court yard; single-storey range of sheds built in alternate courses of red & blue brick; 3 of 18 windows blocked up.
Bromley Street, Central Works.	Lye and Stourbridge North Ward	4675	12/12/96	2 storey office, jettied bay overlooking travelling crane adjacent. Large faded painted sign 'central works' once part of Sergeant Turner Ltd, nail makers
Bull Ring: Clifton Cinema.	Sedgley Ward	7242	12/12/96	The Clifton Cinema was opened on Monday 17th May 1937, designed by Roland Satchwell and built by H.J.Amies of Wolverhampton in steel and concrete.
Bull Street, : Pumping Station.	St. James's Ward	4971	12/12/96	Water pumping station & associated underground reservoir. Comprises 3 interconnected sheds in red brick with an arcaded pattern to the main walls.
Campbell St 77; Methodist Chapel.	Brockmoor and Pensnett Ward	5091	12/12/96	Small squat chapel in rendered brick. Bears the legends: 'WESLEYAN REFORM CHURCH ERECTED 1861. RESTORED 1905.'
Campbell Street, 64: Brockmoor.	Brockmoor and Pensnett Ward	5119	12/12/96	Handel House. Dutch Gabled House, to include yard. Bears a plaque on first floor with the legend: 'HANDEL HOUSE'. Retains many exterior features.

Careless Green Road, 12; House.	Cradley and Wollescote Ward	7209	12/12/96	House approx 1885.
Careless Green Road, 10; House.	Cradley and Wollescote Ward	7095	12/12/96	Extension to 12 No. low two storey range with unusual features (chimneys)
Careless Green Road; Springfield Works	Cradley and Wollescote Ward	4648	12/12/96	Springfield Works 1885; 2 storey range of sheds curving to fit an irregular site.
Castle Mill Works, Castle Mill Road,	Castle and Priory Ward	4952	12/12/96	Castle Mill Works, selected buildings - of British Federal Ltd. Long established works with retains several shops of considerable age.
Catholic Lane, 53; house.	Sedgley Ward	4196	12/12/96	2 storey cottage appears on 1826 maps - Squat, rendered house.
Cemetery Road, 75;Chain Making Works	Lye and Stourbridge North Ward	4647	12/12/96	Industrial range in brick and terracotta - 2 storey works with symmetrical front range
Cemetery Road: Infants School.	Lye and Stourbridge North Ward	4636	12/12/96	Former school - Red brick with refractory brick and terracotta detailing.
Chapel Street, 21; House.	Lye and Stourbridge North Ward	5310	12/12/96	Full hip roofed house - Detached house on corner site. Retains original low curved boundary wall and railings.
Chapel Street, Baptist Chapel	Wollaston and Stourbridge Town Ward	15048	13/09/21	Built on the site of the earlier chapel of 1836 recorded on the 1837 Plan of Stourbridge. Recorded with its present footprint on the OS map of 1881.
Chapel Street, Lye Library.	Lye and Stourbridge North Ward	4678	12/12/96	Lye Library - brick and artificial stone - Tall, single storey red brick, artificial stone, stained glass windows.
Church Lane 10; Hay Moat.	Belle Vale Ward	4631	12/12/96	Cottage at end of Dog Lane and watermill remains - L shaped cottage with extension whose end wall is parallel to river.
Church Road; C of E Primary School, Cradley.	Cradley and Wollescote Ward	1814	12/12/96	School

Church Road; Former Netherton School	Netherton, Woodside and St. Andrews Ward	7535	12/12/96	Former Netherton School, now furniture store.
Church Road; St Peters Church, Cradley.	Cradley and Wollescote Ward	1806	12/12/96	Church. St Peters was founded as part of the Countess of Huntingdon's New Connection. It was built in 1789 and consecrated by the Bishop of Worcester.
Church Road; Trinity Methodist Church	Netherton, Woodside and St. Andrews Ward	7263	12/12/96	Trinity Methodist Church, probably 1912 - Church like chapel in red brick with artificial stone windows and detailing.
Church Street, 78: Milestone.	Brierley Hill Ward	5162	12/12/96	Turnpike milestone, partially chipped on top. Bears a bench mark & various lengths.
Church Street, The Old Crispin	Wollaston and Stourbridge Town Ward	10149	13/09/21	Red brick with historic shopfront.
Churchfield Street, 39; Factory.	St. Thomas's Ward	4961	12/12/96	(near end Brooke Street) small industrial building - 3 storey chapel like boxy building in rustic brick with engineering and refractory brick detailing.
Cobham Road, No. 22	Halesowen South Ward	15230	13/09/21	Excellent example of an Edwardian semi- detached villa that retains all of its original features.
Colley Orchard Works former Sunday School	Cradley and Wollescote Ward	1827	12/12/96	Works. Once a Sunday School to the Chapel that preceded Providence Methodist Church.
Commonside,167: Pensnett.	Brockmoor and Pensnett Ward	5081	12/12/96	Old shop and extensions - now Freemans - Ramshackle 2 storey shop with extension to rear. Clearly of some age.
Commonside,237: House.	Brockmoor and Pensnett Ward	5141	12/12/96	2 storey cottage opposite Dell stadium - in rustic brick with extension to the left and tall chimneys
Cot Lane 54; The Old Cot.	Kingswinford South Ward	7081	12/12/96	The farm/cottage house appears on a 1775 map. Reputed to be older.



Cot Lane, 67: Wordsley.	Kingswinford South Ward	7407	12/12/96	Late 19th century red brick house, barge boards, terracotta bricks in chimneys
Cotwall End Road, ; Spout House Farm	Gornal Ward	7501	12/12/96	Spout House Farm, complex of 19th century farm buildings.
Crabbe Street, Wollescote Board School.	Cradley and Wollescote Ward	4638	12/12/96	Wollescote Boarding School - 2 storey Italianate style block with single storey ranges to rear.
Cradley Forge; The Waggon and Horses	Quarry Bank and Dudley Wood Ward	7233	12/12/96	Cradley Forge Pub
Cradley Road; Methodist Chapel	Netherton, Woodside and St. Andrews Ward	7272	12/12/96	Noahs Ark Methodist Church especially 1896 part to rear - Chapel in dark rustic red brick with art stone windows and detailing.
Delph Road, 41; Cottage.	Amblecote Ward	5128	12/12/96	Brick cottage opposite Blackhorse Lane. 2 storey cottage in red brick. Is of considerable age and retains many external features
Delph Road; The Vine Inn & Brewery.	Brierley Hill Ward	2737	12/12/96	The Vine/The Bull & Bladder, birthplace of genuine beer - public house with attached brewery, largely C19 with C20 additions
Dudley Road, 153; The Blue Brick PH.	Brockmoor and Pensnett Ward	7500	12/12/96	The Blue Brick Pub, described by its name
Dudley Road, 16; House.	Kingswinford North and Wall Heath Ward	7194	12/12/96	House, has unusual multipaned cast iron windows and wooden porch/veranda.
Dudley Road, Lye Town Goods Station	Lye and Stourbridge North Ward	4694	12/12/96	Original buildings for goods station & yard; station approach & weighbridge with equipment remaining.
Dudley Road/Engine Lane; Corner Shop.	Lye and Stourbridge North Ward	4616	12/12/96	Shop on corner - 2 Storey shop with ornamental niche over 1st floor level entrance doorway. New front window and door. Mainly original.
Dudley Road; G.K.Harrison Brickworks.	Lye and Stourbridge North Ward	4646	12/12/96	Offices to former George King Harrison Brickworks - built of refractory brick
Dudley Road; Site of Railway Station - Footbridge	Lye and Stourbridge North Ward	4401	12/12/96	Lye Town Goods Station' Original station demolished late

				1950's. Footbridge still survives
Dudley Wood Road, 14-16; Bungalows.	Quarry Bank and Dudley Wood Ward	7526	12/12/96	Pair of semi-detached colonial style bungalows
Earls Way, Earls High School	Halesowen South Ward	15111 & 15112	13/09/21	Earl's High School designed by AT Butler in 1931 and built in a Neo-classical style.
Ebenezer Street, Ebenezer Chapel	Coseley East Ward	7137	12/12/96	The Chapel was opened in September 1858. Brick and slate, with rendered three-bay pedimented and pilastered front dated 1857.
Edgehill Drive, Hickmerelands Farm	Sedgley Ward	7416	12/12/96	A model farm built in 1834 according to the stone inserted into the farmhouse wall.
Engine Lane 4; MEB substation.	Lye and Stourbridge North Ward	4643	12/12/96	Exemplar MEC (MEB) Sub-station - Single storey cabin in cast concrete.
Enville Road; Derelict windmill. (rear of 105)	Kingswinford North and Wall Heath Ward	2740	12/12/96	Windmill and farm buildings reputedly built by 1818. Derelict red brick tower with slight batter.
Enville St 24-26: House.	Wollaston and Stourbridge Town Ward	7401	12/12/96	Gothic style 3 storey pair of residential properties.
Enville Street, Royal Exchange Public House, (Next to No. 77)	Wollaston and Stourbridge Town Ward	15037	13/09/21	A mid 19th century public house with a prominent frontage on Enville Street and retaining an attractive public house frontage to the street.
Fenton Street, No. 120	Brierley Hill Ward	5118	13/09/21	Detached house with many original features
Fletcher Street, 8	Cradley and Wollescote Ward	12025	12/12/96	Bucket & Bath Works rear of house
Forge Lane, Former Halesowen Spade and Shovel Works (now Units 2 and 3, 6 and 7, Halas Industrial Estate)	Halesowen North Ward	6180	13/09/21	Large, blocky red-brick industrial structures on the north side of Forge Lane. On the Ordnance Survey Map of 1916-1924 when they were noted as a Cycle Works.
Forge Lane: Pump House.	Halesowen North Ward	7129	12/12/96	Forge Pump House
Foxcote Ln; Beechtree Colliery Baths	Cradley and Wollescote Ward	2057	12/12/96	Remnant of Beech Tree Colliery, in use as scout hut

Garratt St Chapel	Netherton, Woodside and St. Andrews Ward	7325	13/09/21	Squat chapel in rustic brick, with stone detailing and cast iron windows.
Gate St/Tipton Street,22: House on corner.	Sedgley Ward	7142	12/12/96	House occupying corner site. Townscape Value.
George Street, Audnam, No. 20	Brierley Hill Ward	12867	13/09/21	A particularly imposing corner building of early 19th century construction with particularly interesting architectural details.
Glasshouse Hill, The Cross Inn	Pedmore and Stourbridge East Ward	15052	13/09/21	An inn which acts as a landmark at the corner of Hagley Road and Heath Lane and a visual indicator of the historic focus of Oldswinford village.
Gorge Road; 30: Bungalow.	Sedgley Ward	7498	12/12/96	Brick sizes mock stone bungalow
Great Cornbow, 27; Corner Shop	Halesowen South Ward	12258	12/12/96	Corner shop, very traditional form and front.
Great Cornbow, Cornbow Bridge.	Halesowen South Ward	7396	13/09/21	The bridge was associated with a mill and was first mentioned in a document of 1668-9 as being in a state of disrepair.
Great Cornbow, Helen House.	Halesowen South Ward	15144	13/09/21	Built in 1877 by John Skipworth Gibbons of The Leasowes this was the Halesowen Institute incorporating a Reading Room and Library
Green Lane, Halesowen: Tin Tabernacle	Halesowen North Ward	7181	12/12/96	Tin Tabernacle - Brick based, corrugated iron Sunday school
Greenfield Avenue, No. 1	Wollaston and Stourbridge Town Ward	15033	13/09/21	The Stourbridge Dispensary, built in 1893 following a foundation laying ceremony involving Viscountess Cobham. Has an interesting Neo-Jacobean design.
Hagley Road, 290-292: House.	Belle Vale Ward	7186	12/12/96	Pair of stone cottages - Red sandstone ashlar dwelling house divided into two dwellings.
Hagley Road, 91: Cottage.	Halesowen South Ward	7174	12/12/96	Simple cottage with rear extension
Hagley Road, 107; Westhill House.	Pedmore and Stourbridge East Ward	12077	26/02/02	Imposing Edwardian townhouse with garden and 'Turret' feature.

				Extended at rear for Stourbridge College use.
Hagley Road, 111-121 (odd).	Pedmore and Stourbridge East Ward	15051	12/09/17	Late Victorian terrace of houses
Hagley Road, No. 109	Pedmore and Stourbridge East Ward	15050	13/09/21	An 18th or early 19th century cottage recorded on the 1837 Plan of Stourbridge with some mid-19th century details forming part of the Hagley Road frontage.
Hagley Road, Old Swinford Hospital School, Barn Block	Wollaston and Stourbridge Town Ward	12549	13/09/21	L' shaped structure, west of Maybury House. Shown on 1785 map of Oldswinford and known by the school authorities as 'Barn Block'.
Hagley Road, Old Swinford Hospital School, Foster House	Wollaston and Stourbridge Town Ward	12556	13/09/21	A building with considerable architectural merit designed by Stourbridge architect F. Smalman Smith and completed in 1876. Built in a Jacobean Revival style.
Hagley Road, Old Swinford Hospital School, Gate Lodge	Wollaston and Stourbridge Town Ward	15056	13/09/21	A small late 19th century lodge in Jacobean Revival style at the Hagley Road entrance to Old Swinford Hospital School. It has landmark value on Hagley Road.
Hagley Road, Old Swinford Hospital School, Great Hall	Wollaston and Stourbridge Town Ward	15114	13/09/21	Erected 1905-6 and by the architect Tom Grazebrook. An impressive structure displaying competent use of Jacobean styling.
Hagley Road, Old Swinford Hospital School, Maybury House	Wollaston and Stourbridge Town Ward	12548	13/09/21	Built 1883-7, architect Charles Stephens. Including the attached wall and gates extending to the Founder's House, by Stephens and of 1882 in Queen Anne style.
Hagley Road; 334: Yew Tree Cottage	Belle Vale Ward	7184	12/12/96	Yew Tree Cottage - Two bay brick cottage with slate roof and central porch

Hagley Road; Bird in Hand PH.	Pedmore and Stourbridge East Ward	7215	12/12/96	Bird In Hand - 19th century pub
Hagley Road; Mary Stevens Hospice.	Pedmore and Stourbridge East Ward	7216	12/12/96	Mary Stevens Hospice - Hospice, buildings and setting
Hagley Street, 23; Lloyds Bank.	Halesowen South Ward	7187	12/12/96	Edwardian purpose designed Lloyds Bank.
Hales Road, St John's Church; Mortuary Chapel	Belle Vale Ward	15110	13/09/21	Victorian non-conformist mortuary chapel in the graveyard of St. John the Baptist. Designed by Stourbridge architect Francis Smalman-Smith.
Halesowen Road, 131: Netherton.	Netherton, Woodside and St. Andrews Ward	7218	12/12/96	Shop Front
Halesowen Road, 82-90: Netherton.	Netherton, Woodside and St. Andrews Ward	7221	12/12/96	1908 brick and terracotta group esp. Blooms and Plumes front.
Halesowen Road, 97: Netherton.	Netherton, Woodside and St. Andrews Ward	7219	12/12/96	Shop front; Teds Pets and Aquatics Supplies
Halton Street; Conservative Club.	Netherton, Woodside and St. Andrews Ward	7222	12/12/96	Netherton Conservative Club 1913.
Heath Street, 1 and 2 Meeting House Cottages	Wollaston and Stourbridge Town Ward	15036	13/09/21	Formerly a meeting house of the Plymouth Brethren built during the 1880s – 1890s. Converted into two dwellings but retaining some original features.
Hermit Street; Ruiton; Chapel School.	Upper Gornal and Woodsetton Ward	7117	12/12/96	Stone structure - said to be second oldest Sunday School in England.
Hermit Street; The Old Manse.	Upper Gornal and Woodsetton Ward	7172	12/12/96	Stone building originally used as the pastors dwelling of the nearby chapel and school.
High Holborn; Sedgley Council House	Sedgley Ward	7244	12/12/96	Council House, Red brick and mock stone
High Oak, 36; Independent Chapel.	Brockmoor and Pensnett Ward	5092	12/12/96	Independent Methodist Church, 1894 - Chapel in red brick with red terracotta detailing and cast iron windows
High Park Ave, 14; House.	Wollaston and Stourbridge Town Ward	7507	12/12/96	End terrace property with Cupola, local landmark.

High St No. 32, Church House	Belle Vale Ward	15129	13/09/21	Church Hall and House. Constructed in 1897 as a new Parish Hall for St. John the Baptist Church. Brick-built with a steeply pitched roof.
High Street / Vicarage Road, Amblecote, Holy Trinity Church	Amblecote Ward	7654	13/09/21	A mid 19th century church built of furnace bricks bearing the maker's stamp J.W. King. Some of the earliest use of stained glass in Britain after the Reformation.
High Street, 216- 7;Shop.	Lye and Stourbridge North Ward	7093	12/12/96	Shops
High Street, 49-50; shops.	Quarry Bank and Dudley Wood Ward	5034	12/12/96	2 storey rendered shop which retains original door & front.
High Street, 87-89; Shops.	Halesowen South Ward	7671	12/12/96	19th century impressive tall buildings
High Street, (rear of 10); sheds.	Lye and Stourbridge North Ward	4659	12/12/96	Industrial building, small brick with 2 chimneys - detached, single storey with cast iron windows.
High Street, 101- 102	Wollaston and Stourbridge Town Ward	10151	13/09/21	John Pargeter and Co. Fine brick Georgian house. Fine modern shopfront to ground floor.
High Street, 102- 111: Amblecote.	Amblecote Ward	7133	12/12/96	A row of 19th century 3 storey, red brick, terracotta semi-detached houses
High Street, 12; The Firs.	Kingswinford North and Wall Heath Ward	7198	12/12/96	"The Firs", White house, 8 paned sashes, lower windows and door moulded.
High Street, 133; Warehouse.	Wollaston and Stourbridge Town Ward	7966	12/12/96	19th Century Warehouse
High Street, 152;QuarryBank Liberal Club	Quarry Bank and Dudley Wood Ward	5050	12/12/96	2 storey building in red brick with terracotta detailing.
High Street, 174 ; Denziel House.	Lye and Stourbridge North Ward	4796	12/12/96	"Denziel House" 2 storey shop in red brick and terracotta with original shop front & tablet.
High Street, 31- 40;shop range.	Lye and Stourbridge North Ward	4617	12/12/96	10 shop range of refractory brick. Red brick terracotta detailing. Pre 1885

High Street, 34 35; Shop.	Quarry Bank and Dudley Wood Ward	5033	12/12/96	2 storey shop with rendered front. LH side prominent bay and some of shop front is original.
High Street, 44-48; shops.	Quarry Bank and Dudley Wood Ward	7232	12/12/96	Group of shops.
High Street, 45-49; 'Bank Buildings'.	Lye and Stourbridge North Ward	5309	12/12/96	Bank buildings 1901 group of shops. 3 storey commercial development of 1901-1902. Red brick with buff terracotta detailing.
High Street, 61; Post Office.	Wollaston and Stourbridge Town Ward	7400	12/12/96	Red brick building with terracotta details.
High Street, 70; Cottage.	Amblecote Ward	7134	12/12/96	Late 18th or 19th century cottage.
High Street, 72; Cottage.	Amblecote Ward	7135	12/12/96	Late 18th or 19th century cottage.
High Street, 7A; House.	Kingswinford North and Wall Heath Ward	7196	12/12/96	Part of refractory brick building, ground floor internal shutters
High Street, Amblecote, Fish Inn	Amblecote Ward	12848	13/09/21	A mid 19th century public house - functioned as a general meeting place and place of business for the glassmasters of Amblecote and Audnam.
High Street, Amblecote, Maverick's (formerly The White Horse Public House)	Amblecote Ward	12864	13/09/21	A mid 19th century public house with considerable value as a corner building.
High Street, Amblecote, Summer House and Garden Wall, No. 113	Amblecote Ward	12280	13/09/21	Two storey structure once in the garden of Harlestone House, now in the garden of No. 113 High Street.
High Street, Audnam, Old Dial Public House, No. 17	Brierley Hill Ward	12863	13/09/21	An early 19th century public house of two storeys with rendered frontage and parapet and clay tile roof.
High Street, Church of the Ascension.	Kingswinford North and Wall Heath Ward	7199	12/12/96	Church of the Ascension, single storey 20thC church, unusual spire, New congregational chapel founded by Dr C.A.Berry on 14th May 1895.
High Street, Congregational church.	Quarry Bank and Dudley Wood Ward	5041	12/12/96	Congregational Church 1935 - Chapel, red brick & artificial stone.

High Street, Lyttleton Arms PH.	Halesowen South Ward	7131	12/12/96	Lyttleton Arms PH - Attractive brick corner pub, 19th century
High Street, Market Hall (former cinema).	Lye and Stourbridge North Ward	4677	12/12/96	Former Clifton Cinema 1937, retains many original features.
High Street, Prince Albert PH.	Kingswinford North and Wall Heath Ward	7197	12/12/96	Prince Albert Pub, castellated bays with 12 paned sash windows.
High Street, Public Drinking Fountain, The Moor Centre	Brierley Hill Ward	12739	13/09/21	Inscribed 'Presented to the town by the first local board, 1868'. Designed by William Griffiths.
High Street, Quarry Bank, 71	Quarry Bank and Dudley Wood Ward	15195	12/12/96	Shown on 1st Ed OS Map and relates to an earlier Board School of 1877 (which was demolished when the present school was built in the 1930s). Makes a major contribution to local character and distinctiveness within the High Street
High Street, Unitarian Chapel.	Lye and Stourbridge North Ward	4438	12/12/96	Lye Unitarian Chapel polychrome brick with tower built from red & blue brick. Refractory brick detailing and clock.
High Street: Christchurch.	Quarry Bank and Dudley Wood Ward	5039	12/12/96	Christ Church. Refractory brick with limited stone dressing, erected 1847.
High Street: Green Bank.	Wordsley Ward	7074	12/12/96	Greenbank House, 19thC home built for the Webb family of the nearby Webb Seeds Merchants and later the Stuart's family.
High Street: Mount Sion Chapel.	Lye and Stourbridge North Ward	4630	12/12/96	Mount Sion Congregational Chapel 1887 memorials and Sunday School with many original external features
High Street: Tram Depot	Amblecote Ward	4117	12/12/96	Former Tram depot - Tramsheds of Kinver Light Railway
High Street; 116; The Lamp Tavern.	St. Thomas's Ward	7494	12/12/96	The Lamp Tavern - Traditional Black Country Pub.
High Street; Holy Trinity Tombstones	Wordsley Ward	7967	12/12/96	Holy Trinity Churchyard Graves - Carder, Webb and John Northwood Monuments.



High Street; Hospital Lodge & Gate	Amblecote Ward	7160	12/12/96	Lodge and Entrance Gate/Wall to Corbett Hospital - 19th century wrought iron gates and gate keepers lodge.
Hill Street, 7-11; Terraced Houses.	Upper Gornal and Woodsetton Ward	4190	12/12/96	2 storey house & 4 terraced houses, all of which retain original doors & windows, especially good group
Hill Street, 1A-1B; Terraced Houses.	Upper Gornal and Woodsetton Ward	7171	12/12/96	Pair of stone terraces pre 1826
Hill Street; Bethel Chapel.	Cradley and Wollescote Ward	4633	12/12/96	Bethel Chapel 1900 - Single storey chapel with Sunday School extension to rear.
Himley Road, 416: Wesleyan Chapel.	Gornal Ward	4165	12/12/96	"Wesleyan Chapel", built 1827, rebuilt 1895 - rustic brisk, red brick front.
Himley Road, 486:Ednam Cottage	Gornal Ward	4217	12/12/96	"Ednam Cottage" pre 1826 probably turnpike road toll house - Single storey cottage built on road line.
Himley Road, 359: Cottage.	Gornal Ward	4210	12/12/96	vernacular style, brick built cottage off road, 2 storey detached with outbuilding
Himley Street, Park Congregational Hall	St. James's Ward	4932	12/12/96	Chapel in red brick with red terracotta decoration
Hope Street, File Mills	St. Thomas's Ward	4962	12/12/96	File Mills - Large works complex, incl several ranges in red brick with engineering brick string course detailing.
Hospital Lane; Catholic Church.	Upper Gornal and Woodsetton Ward	7145	12/12/96	Providence Baptist Chapel Built 1809
Illey Lane: Illey Mill	Halesowen South Ward	4326	12/12/96	In existence by 1806. Mill & cottage survive, watercourse & wheel site visible.
Illey Lane; Innage Farm.	Halesowen South Ward	7513	12/12/96	Innage Farm, much altered but still of interest
Ivyhouse Lane, 63: Coseley.	Coseley East Ward	7514	12/12/96	Early cottage
Ivyhouse Lane: near 28; Hitching post.	Coseley East Ward	7167	12/12/96	Possible cast iron hitching post outside 28 Ivyhouse Lane Road
Jews Lane; Public convenience.	Upper Gornal and Woodsetton Ward	4189	12/12/96	Public lavatory block 1938 in rustic brick with concrete bands.
John Street	Brierley Hill Ward	15188	13/09/21	School Wall, Railings and Gatepiers of former school.

John Street, 37-69; St Johns Terrace	Brierley Hill Ward	7175	12/12/96	Ornate terrace above John Street named Little John Street, built in red brick with terracotta detail. Includes walls and piers.
Junction Road, No. 1	Lye and Stourbridge North Ward	12818	13/09/21	1782 map of Oldswinford shows earlier dwelling. Recorded as the site of Greenhill House in 1837. Small cottage with Dutch gable end and plain tile roof.
Kent Street, 109, Ruiton; Britannia Inn.	Upper Gornal and Woodsetton Ward	4183	12/12/96	The Britannia Inn, painted Gornal stone, traditional pub - with brewery at rear.
Kent Street, St. Peter's Church.	Upper Gornal and Woodsetton Ward	4159	12/12/96	Church with Church Hall. Gornal Stone, built 1841 in early English style, incl. Church Hall brick 1935
Kidderminster Road; St Andrews U.R.Church	Kingswinford North and Wall Heath Ward	7200	12/12/96	St Andrews United reformed church
King Street, 1 - 4 Providential Terrace	Cradley and Wollescote Ward	4685	12/12/96	"Providential Terrace" 1879 unusual paired gothic windows - 2 storey terrace, central alley to rear, red & refractory brick.
King Street, 11; Street Sign.	Quarry Bank and Dudley Wood Ward	5076	12/12/96	A street sign for King Street Passage
King William Street, No. 136	Amblecote Ward	12847	13/09/21	A late 19th century building with particular corner value.
Kingsley Street, 11; House.	Netherton, Woodside and St. Andrews Ward	7257	12/12/96	Blue brick double fronted terrace with archway through to rear - 2 storey house in engineering brick with stone lintels and detailing.
Kinver Street, industrial buildings.	Wordsley Ward	4713	12/12/96	The Mill, 19thC at earliest, industrial structure - Whole mill building survives, although stream has been culverted to rear.
Kittiwake Drive, 48-49: Ravensitch.	Lye and Stourbridge North Ward	5077	12/12/96	Ravensitch Cottages, former farm dwellings - A pair of 2 storey cottages with associated outbuildings

Ladysmith Road, Chain shop	Cradley and Wollescote Ward	1824	12/12/96	The Chain Shop - renovated for interpretation. Exceptional site
Lake Street; Lake Street Methodist Church;	Gornal Ward	4163	12/12/96	Now Lake Street Methodist Church and Hall 1926, Double height single storey chapel with contemporary hall to right.
Laurel Lane, Nail Warehouse	Halesowen South Ward	15105	13/09/21	The Nail Warehouse was where the 'foggers' issued iron rod to the nailers and received the finished nails back. Shown on the 1884 Ordnance Survey map
Laurel Lane, Nos. 13,14,15 and 16	Halesowen South Ward	15234	13/09/21	From the 1850's to around 1900, speculative builders bought individual plots of land and developed blocks of building in their own idiosyncratic styles.
Laurel Road: St Francis Church.	Castle and Priory Ward	4926	12/12/96	St. Francis's Church C of E 1920's - Church in rustic brick with narrow full height stained glass windows.
Lawnswood Road; Ashfield Hs, Wordsley.	Wordsley Ward	7515	12/12/96	Ashfield House - 19th century house used as sports rooms
Leys Road, 25; House.	Brierley Hill Ward	7164	12/12/96	2 storey brick house with shallow roof
Limepit Lane; Shavers End Reservoir 1	Castle and Priory Ward	4970	12/12/96	Reservoir and Pumphouse built by Dudley Waterworks Co between 1835-1836.
Lion Passage, No. 19	Wollaston and Stourbridge Town Ward	10161	13/09/21	A very small 18th – 19th century cottage which is recorded on the 1837 Plan of Stourbridge.
Lion Passage; Bollards	Wollaston and Stourbridge Town Ward	7546	12/12/96	2 bollards marked E.R. Circa 1903.
Lion Street, Red Lion public house	Wollaston and Stourbridge Town Ward	15038	13/09/21	A public house, probably of late 17th or early 18th century origin and defining the junction of Lion Street and Green Street.
Long Lane, 273-274; Cottages.	Halesowen North Ward	7150	12/12/96	Pair of cottages, early 19th or late 18th century.

Maidenbridge Road, 82, Wall Heath	Kingswinford North and Wall Heath Ward	7201	12/12/96	Detached cottage, c.17 <sup>th</sup> century, contains a wealth of timber framing inside.
Market Street, 63-81: Kingswinford.	Kingswinford South Ward	7537	12/12/96	Terrace with terracotta details
Maughan Street, 2; Street Sign.	Quarry Bank and Dudley Wood Ward	5075	12/12/96	Cast iron street name for Maughan Street, attached just below eaves level of cottage.
Mears Coppice, 1; House.	Lye and Stourbridge North Ward	5068	12/12/96	18thC/19thC 2 storey cottage, now end terrace in rustic brick with range of outbuildings to rear, possible nailshop behind
Mears Coppice, 9; Cottage.ye	Lye and Stourbridge North Ward	5067	12/12/96	2 storey end cottage. Painted brick. Right proportions for late 18th/early 19th century.
Meeting Lane;Clattershall Entrance Building	Brierley Hill Ward	5106	12/12/96	2 storey weigh bridge office building in brick with rustic brick panels on fronts and end, arch filled in.
Moden Hill, 153: Sedgley.	Kingswinford North and Wall Heath Ward	7527	12/12/96	Gornal stone cottage on incline
Moden Hill, Sedgley; Boundary Stone.	Upper Gornal and Woodsetton Ward	7248	12/12/96	Well worn block of Gornal Stone situated by the side of the road marking extent of holdings of Dudley Priory.
Moor Street, 49a: Brierley Hill.	Brierley Hill Ward	5082	12/12/96	Original shop window with unusual glazing. Detached 2 storey shop in rustic brick
Moor Street, B.H.;Boundary Stone.	Brierley Hill Ward	5153	12/12/96	Cast Iron GWR property boundary marker post.
Moss Grove, 37; Dwelling	Kingswinford North and Wall Heath Ward	12348	14/07/05	A late 19th century, early 20th century red brick dwelling
Mount Pleasant; Methodist Chapel.	Amblecote Ward	5099	12/12/96	Wesley Chapel, 1828 near corner Amblecote Road - Chapel in rustic brick with rendered front.
Mount Road, The Maltings	Lye and Stourbridge North Ward	6182	13/09/21	Malthouse shown on 1885 OS Map, now known as 'The Maltings'
Mucklow Hill: F.W.Wraight Offices.	Halesowen South Ward	7179	12/12/96	Premises of F.L.Wraight & Co Ltd Brick, metal windows, archway.

Mucklow Hill: Fir Tree Farm.	Halesowen North Ward	7177	12/12/96	Fir Tree Farm - Farmstead.
Narrow Lane, 116	Halesowen North Ward	7991	12/12/96	Barn of Thatchers Farm
New Road, 152; House.	Netherton, Woodside and St. Andrews Ward	7224	12/12/96	19th century black and white house in original condition.
New Road, County Court and Police Station	Wollaston and Stourbridge Town Ward	15034	13/09/21	A prominent building on New Road. Built in locally distinctive dark red brick with Neo-Georgian detailing in natural stone.
New Road, Former Conservative Club, No. 11	Wollaston and Stourbridge Town Ward	15035	13/09/21	A doublefronted Regency Period house of two storeys with parapets in white painted stucco.
New Road; Methodist Chapel.	Wollaston and Stourbridge Town Ward	7667	12/12/96	Methodist Church, Sunday School, Manse. Erected in 1882.
New Street, 1; Corner Shop.	Gornal Ward	4153	12/12/96	2 storey corner shop - red brick with stone dressing to windows and doorways.
North Street 52-53: Edward Greys Works.	St. Thomas's Ward	4958	12/12/96	Home of Teddy Gray's Sweets etc - 2 storey detached house, painted off white all over.
North Street 6-7: D.R.Harvey.	St. Thomas's Ward	4959	12/12/96	Low red brick industrial building, iron works.
Northfield Road; Public Hall/Library.	Netherton, Woodside and St. Andrews Ward	7333	12/12/96	Netherton Art Institute - 2 storey public hall and free library in red brick, red terracotta and sandstone
Oldnall Road, 45: Careless Green House	Cradley and Wollescote Ward	7102	12/12/96	Careless Green House, much altered but probably 18C - 3 storey detached house in red brick.
Orchard Lane 24-25; workshop.	Lye and Stourbridge North Ward	4654	12/12/96	Single storey workshop with very tall stack, small shop and range of covered storage
Park Road, 75.	Netherton, Woodside and St. Andrews Ward	7271	12/12/96	2 storey building in rustic red brick with engineering brick detailing and cast iron windows.
Park Road, 82: Quarry Bank.	Quarry Bank and Dudley Wood Ward	5063	12/12/96	Outbuilding to rear, probably a coach house - Large 2 storey house, red brick, almost fully rendered.

Park Street, 32; Shop.	Wollaston and Stourbridge Town Ward	7214	12/12/96	Single storey corner shop.
Parkes Hall Road; Methodist Chapel.	Upper Gornal and Woodsetton Ward	7542	12/12/96	Non-conformist Chapel - Woodsetton Methodist Chapel and Sunday School.
Parkfield Road, The Old Vicarage	Lye and Stourbridge North Ward	15055	13/09/21	A large late Victorian vicarage in a Jacobean Revival style. Built c.1875 as the Vicarage for St John's Church to designs by the Stourbridge architect Thomas Smith.
Pearson Street, 10; House.	Cradley and Wollescote Ward	4690	12/12/96	Wall and railings and odd shaped detached house, red brick, blue brick detailing at corners.
Peckingham Street, 11; House.	Halesowen South Ward	7149	12/12/96	Victorian building with altered shop below, good terracotta.
Pedmore Road, 13; Salem Chapel.	Lye and Stourbridge North Ward	4445	12/12/96	Salem Chapel 1893, in use - 200 seat Wesleyan Reform Chapel. Refractory & red brick.
Pedmore Road: Christadelphian Hall.	Lye and Stourbridge North Ward	4628	12/12/96	Christadelphian Hall 1893 and 1932 - Single storey hall built in red brick, still in use.
Pedmore Road; Stable Block.	Lye and Stourbridge North Ward	4623	12/12/96	2 storey stable block like building set back from road.
Pedmore Road; Woodside Tavern PH.	Netherton, Woodside and St. Andrews Ward	7227	12/12/96	Called the Old Bush Inn on the O.S. 1919 map renamed the Woodside Tavern after WW2.
Pensnett Road, 13- 19; Houses.	Netherton, Woodside and St. Andrews Ward	7228	12/12/96	Three former army houses, good 1920's style, work as group.
Pensnett Road, Brockmoor, 13-17; Houses.	Brockmoor and Pensnett Ward	5123	12/12/96	3 detached 2-storey houses in rustic red brick with metal windows. All 3 are interconnected at ground floor level by walls with round- headed gateways let into each.
Platts Road, Platts Glassworks Buildings	Brierley Hill Ward	4835	13/09/21	Founded post 1704 by Thomas Henzey. Used as plate glass works until the 1870s, and then variously. Some mid to late 19th century buildings survive.

Providence Row, 21-23; Cottages.	Coseley East Ward	7586	12/12/96	Group of cottages adj 58
Providence Street; Coronation Works.	Lye and Stourbridge North Ward	4655	12/12/96	Coronation Works 1905 - 2 storey range, red brick, blue brick string courses, cast iron windows.
Robert Street; Providence Strict Baptist Chapel	Gornal Ward	4162	12/12/96	"Providence Strict Baptist Chapel" 1874, 2 storey chapel in rustic brick, fronted in red brick
Rock Street, 32; Clent View.	Upper Gornal and Woodsetton Ward	7548	12/12/96	18th century gornal stone dwelling house
Ruiton Street, Five Ways Methodist Chapel	Gornal Ward	4161	12/12/96	"Methodist New Connexion Chapel 1841" - Chapel extended at least twice, one recently.
Russell Street, 2; op Nelson Road,	St. James's Ward	4964	12/12/96	2 storey barn like building with archway and hand made rustic brick and cast iron windows
Sandfield Road; Railway buildings.	Brockmoor and Pensnett Ward	7525	12/12/96	At junction of Sandfields Road and Stallings Lane, next to railway bridge
Sandyfields Road, 108-120: Sedgley.	Gornal Ward	7518	12/12/96	Group of cottages at angle of road some over restored.
Sandyfields Road, 147; Farmhouse	Gornal Ward	7969	12/12/96	The Croft, detached farmhouse, many original features
Sedgley Road West, former Municipal building.	Castle and Priory Ward	12805	14/07/09	The Tipton Urban District Coucil Buildings were purchased from Beans Cars Ltd in 1934 and was opened by Arthur Henderson MP on the 7th March 1935.
Selbourne Road, 23-29; Terrace.	St. Thomas's Ward	5003	12/12/96	Group of Victorian villas, wooden verandas, original - in red brick with terracotta detailing
Smith Street, 14; House.	St. Thomas's Ward	5002	12/12/96	Imposing 2 storey house on a prominent corner site
Spies Lane; Boundary Marker	Halesowen South Ward	7180	12/12/96	Cast Iron boundary markers situated close to 222 Spies Lane
St Andrew's Street, Ebenezer Baptist Chapel	Netherton, Woodside and St. Andrews Ward	7260	12/12/96	Ebenezer Baptist Chapel 1864 - Boxy chapel in dark red brick with stone and engineering brick detailing

St James's Road; Dudley Grammar School	Castle and Priory Ward	4946	12/12/96	Castle High School original building - 2 storey school in deep red brick and terracotta, with leaded windows and a lantern roof vent, surmounted by a weather vane.
St Johns Road; School.	St. Thomas's Ward	4942	12/12/96	School built in the same style and material as the adj. church
St John's Road; St John's Church Hall	St. Thomas's Ward	4994	12/12/96	Church Hall 1931 - Single storied, in red brick with concrete lintels
St John's Street; St John's Methodist Chapel	Netherton, Woodside and St. Andrews Ward	7253	12/12/96	2 storey boxy chapel in red brick and red facing brick frontage.
St Thomas Street, 46	Netherton, Woodside and St. Andrews Ward	7255	12/12/96	House Plaque - Fairview House 1885. - Two storey house in dark red brick with engineering brick base, stone lintels.
Stourbridge Canal: Brockmoor Footbridge	Wordsley Ward	7545	12/12/96	Cast iron bridge, Fleur de Lys pattern on the Fens Branch
Stourbridge Road, 8-14:Shops.	Lye and Stourbridge North Ward	4615	12/12/96	"Centre Buildings" 1903 shops and residential - 4 triple storey terraced shop units, red brick with red & buff terracotta detailing.
Stourbridge Road; Yardley Works.	Lye and Stourbridge North Ward	4640	12/12/96	Yardley & Co Spade Makers - Ranges of Yardley Works, many original features
Straits Road: Fiddlers Arms PH.	Gornal Ward	7144	12/12/96	Fiddlers Arms - 19th century public house
Swan Street; The Peoples Mission Hall	Netherton, Woodside and St. Andrews Ward	7270	12/12/96	Peoples Mission Hall, 1920's - Church like chapel in red brick with artificial stone detailing.
Talbot Street, No. 36	Brierley Hill Ward	15189	13/09/21	Terraced house with many original features in very good condition.
Tenterfields, Tenterfields Primary School	Halesowen South Ward	15231	13/09/21	Built in 1909 by Worcestershire County Council and constructed in a warm red brick with clay tile roofs.
The Broadway. 61: Dudley former County Court	Castle and Priory Ward	4995	12/12/96	County Court building on roundabout, brick and metal windows - a 2 storey municipal



				style building in red brick with stone detailing
The Broadway: Dudley College.	Castle and Priory Ward	4941	12/12/96	Dudley College, extension and sculptures - Building in rustic brick with many period details from the 1930's
The Cross; MEB shop.	Kingswinford North and Wall Heath Ward	7203	12/12/96	Circular shop, built for MEB, landmark, architect known: W.H. Homer
The Drive, Spring Villas, Nos. 59 and 61	Halesowen South Ward	15157	13/09/21	A pair of early Victorian Villas called Spring Villas in the 1880's Ordnance Survey. Designed in a classical vein as a symmetrical pair.
The Hayes: Weighbridge.	Lye and Stourbridge North Ward	4695	12/12/96	Max weight 30 tons, plates for Pooleys & Averys
The Parade.61: Dudley.	Castle and Priory Ward	5005	12/12/96	Vicarage to St James's Church. A large detached 2 storey house built in rustic brick.
The Square : Congregational Church	Netherton, Woodside and St. Andrews Ward	7223		Congregational Church 1882.
The Straits,97: Gornal Wood.	Gornal Ward	7521	12/12/96	Former terrace brick cottage, dog toothed cornice, new extension
The Straits; St Andrew's Church.	Gornal Ward	7523	12/12/96	St Andrews C of E Church, rough rendered, gothic window, cute
The Village; St Mary's C of E Churchyard	Kingswinford North and Wall Heath Ward	15574	12/12/96	The grave of George Woodall. He died 27th February 1925, aged 74.
Thorns Road; Stevens Park	Quarry Bank and Dudley Wood Ward	6464	12/12/96	Est by Quarry Bank Council 1929.
Tipton Road, 199: Woodsetton.	Upper Gornal and Woodsetton Ward	7519	12/12/96	Detached house, white with dutch gables
Tipton Road: Dudley Guest Hospital.	Castle and Priory Ward	4993	12/12/96	Dudley Guest Hospital, older portions early eye hospital. Founded c.1860 by the Earl of Dudley as an almshouse
Tipton Street, 3; Workshop.	Sedgley Ward	7170	12/12/96	19th century 2 storey workshop with many of its cast iron windows

Trinity Street Chapel,	Brierley Hill Ward	5098	13/09/21	Trinity Street Chapel, founded Sept. 1909, small chapel in red brick, former temperance hall
Turls Street, 10-12; Houses.	Sedgley Ward	7146	12/12/96	A pair of semi-detached attractive 19th century houses
Upper Ettingshall Road, Coseley Tavern	Coseley East Ward	7138	12/12/96	The Coseley Tavern - A Public House
Vauxhall Street, No. 2 The Rock Station Public House	Lye and Stourbridge North Ward	15054	13/09/21	A Victorian public house in Gothic Revival style overlooking Stourbridge Bus Station. Recorded on the 1888 Ordnance Survey Map.
Vicarage Lane, Pensnett - Vicarage	Brockmoor and Pensnett Ward	5120	12/12/96	3 storey vicarage to St Mark's Church - in red brick with stone window surrounds.
Victoria Road, 21: Fountain Inn.	Quarry Bank and Dudley Wood Ward	5048	12/12/96	The Fountain Inn - 2 storey public house, red brick with buff terracotta with salt glazed brick to ground floor
Victoria Street, WRVS Headquarters Hall, (Carlisle Hall)	Wollaston and Stourbridge Town Ward	12111	13/09/21	Built with Mary Stevens memorial fund money and incorporating decorative stained glass.
Waddams Pool; Bean Cars Works.	St. Thomas's Ward	12921	12/12/96	Former Bean Car Co - A massive works fronted by an office block in rustic brick
Windmill Hill; Round of Beef PH	Hayley Green and Cradley South Ward	7241	12/12/96	Round of Beef PH - 19th Century Public House
Wolverhampton Street, 143: Dudley.	St. James's Ward	4906	12/12/96	2 storey fruit shop in red brick with its original shop front, blind and window.
Wolverhampton Street, 186-187	St. James's Ward	15569	12/12/96	Pair of traditional 19th century shops on corner site. Shown on the First Edition Ordnance Survey (1881-1887)
Wolverhampton Street, 168; Caretakers House	St. James's Ward	7744	12/12/96	Caretakers house to former infants school.
Woods Lane, 'Stourcot': House.	Lye and Stourbridge North Ward	5142	12/12/96	"Stourcote" cottage opposite Mousehall Farm Road - 2 storey

				rendered cottage of squat proportions
Worcester Street, No. 58 Stourbridge Galleries	Wollaston and Stourbridge Town Ward	15040	13/09/21	A large detached mid-to later 19th century town house of two storeys with attics in a baroque style in dark red brick with natural slate roof and stone string courses.
Worcester Street, Nos. 138 and 140	Wollaston and Stourbridge Town Ward	15041	13/09/21	Two mid 19th century town houses in a baroque revival style. Two storeys with shallow pitched, hipped roofs and imposing arched hoods to the front doors.
Worcester Street, Nos. 46-54	Wollaston and Stourbridge Town Ward	10132	13/09/21	An early 19th century terrace named as Park Terrace on the 1837 Plan of Stourbridge.
Worcester Street, Nos. 61 and 63	Wollaston and Stourbridge Town Ward	15039	13/09/21	A pair of Edwardian villas which stand out as being of particular value. Built in dark red brick with natural slate roofs in a Gothic revival style.
Worcester Street, The Plough and Harrow	Wollaston and Stourbridge Town Ward	12865	13/09/21	A prominently located 19th century public house with a sensitively restored interior and good survival of external architectural features and joinery.
Wrens Nest Hill, off Hillside Road, Cottage.	Castle and Priory Ward	7162	12/12/96	18th century small holding near the lime kilns on Wrens Nest West
Wright Street, Nos. 1 to 16	Halesowen South Ward	15232	13/09/21	Very attractive rendered two storey speculative built terrace dating from around 1900 with a pleasing symmetrical rhythm of chimneys, windows and doors.
Zoar Street,42; Shop.	Gornal Ward	4157	12/12/96	2 storey shop with single storey extension in red & rendered brick. Possible former Library in part 20thC.
Foxyards Cottage, 2, Sedgley Road, Tipton.	Castle and Priory Ward	15414	13/09/21	A simple, unaltered cottage dated 1842. Contemporary with the

				turnpiking of the main road in the 1840s.
Sedgley Road West, Tipton, Former Drill Hall.	Castle and Priory Ward	12806	13/09/21	Drill Hall dated 1910 for the Staffordshire Territorial Force Association.

## **Appendix B – Local List Assessment Criteria**

Revised set of updated local listing assessment criteria as approved by Dudley Council’s Development Control Committee on 23rd of February 2016 (the criteria are not intended to be an exhaustive list and one or more may apply in any given instance):

### **Architectural Interest**

- 1. Is the building or structure the work of a particular architect or designer of regional or local note?*
- 2. Has it important qualities of age, style, materials, plan or other distinctive characteristics significant to the local area?*
- 3. Does it display an innovative or rare example of a locally distinctive form of construction or use local materials?*
- 4. Does it have landmark quality in terms of striking aesthetic value or a strong communal or historical association?*
- 5. Does it have group value - is it part of a group of assets with a clear visual, design, architectural or historic relationship?*

### **Historical Interest**

- 6. Does the building or structure display an important aspect of the area’s social, economic, religious, political or cultural history?*
- 7. Does it serve as a reminder of the development of the settlement in which it stands or of an earlier phase of growth, which may have been masked by later development?*
- 8. Is it unusual in the area or a rare survivor of something that was once common?*
- 9. Does it have an historic association with established features such as the transport network, burgage plots, an urban park or other landscape feature?*

### **Close Historical Association**

- 10. Has the building or structure significant historical associations with local famous people or events which are well documented?*
- 11. Does it relate by age, materials or in any other historically significant way to adjacent statutorily or locally designated sites or areas and contribute positively to their setting?*
- 12. If a structure is associated with a designated landscape, such as walls, terracing or a garden building, is it of identifiable importance to the historic design?*

### **Additional Criteria**

- 13. Does the building or structure contribute towards Dudley’s identity - is it important to the identity or character of the borough or a particular part of it? Does it have aesthetic, evidential, social or communal value?*
- 14. Does it have physical integrity - is it largely complete or in a near to original condition? Careful consideration will be given to the merits or otherwise of buildings or structures which have been extensively altered, extended and or modernised.*
- 15. Buildings or structures which are located within a designated conservation area should not be included in the Local List (such a designation conferring a higher level of safeguard than would inclusion in a local list).*
- 16. The value of buildings should be considered within the context of wider regeneration opportunities and the benefits heritage assets could bring.*

## Appendix C – Existing locally listed buildings/structures removed from the Local List and the reason given

ADDRESS	WARD	SMR NUMBER	DATE REMOVED FROM LOCAL LIST	REASON FOR REMOVAL
Abbey Street, 3; Shop.	Gornal Ward	4154	13/09/21	NO - Does not sufficiently meet the criteria
Albion Street, Iron & Steel Warehouse.	Brierley Hill Ward	2729	13/09/21	NO - in Conservation Area
Albion Street; Chapel.	Brierley Hill Ward	5097	13/09/21	NO - in Conservation Area
Balds Lane, Chainworks	Cradley and Wollescote Ward	7096	13/09/21	NO - Demolished
Bilston Street, 63-65; Cottage.	Sedgley Ward	7140	13/09/21	NO - Does not sufficiently meet the criteria
Birch Coppice 62;cottage.	Quarry Bank and Dudley Wood Ward	5056	13/09/21	NO - Does not sufficiently meet the criteria
Bowling Green Road; Longlands School	Wollaston and Stourbridge Town Ward	7499	13/09/21	NO - Demolished
Bradley Road, 1; Industrial building.	Wollaston and Stourbridge Town Ward	7489	13/09/21	NO - in Conservation Area
Bradley Road; Cast Iron Bridge over Stour.	Wollaston and Stourbridge Town Ward	7240	13/09/21	NO - in Conservation Area
Bull Ring, Red Lion Public House	Sedgley Ward	7495	13/09/21	NO - in Conservation Area
Canal Street, Company Office & Weighbridge	Wollaston and Stourbridge Town Ward	7127	13/09/21	NO - in Conservation Area
Canal Street, Stourbridge Navigation Co; Stables	Wollaston and Stourbridge Town Ward	7159	13/09/21	NO - in Conservation Area
Cemetery Road, Superintendent's House	Lye and Stourbridge North Ward	4684	13/09/21	NO - Added to statutory list
Church Street, 22; House.	Brierley Hill Ward	5135	13/09/21	NO - in Conservation Area
Church Street, 11; Quarry Bank/Cradley.	Brierley Hill Ward	5133	13/09/21	NO - Demolished
Church Street, 7; The Plough PH, Brierley Hill	Brierley Hill Ward	5115	13/09/21	NO - in Conservation Area
Church Street, Brierley Hill War Memorial	Brierley Hill Ward	5143	13/09/21	NO - Added to statutory list
Colley Gate, 106: Cradley.	Cradley and Wollescote Ward	1800	13/09/21	NO - Demolished

Cot Lane, 8-10; Cottages.	Kingswinford South Ward	7207	13/09/21	NO - Does not sufficiently meet the criteria
Court Passage 3; brick building.	St. James's Ward	4980	13/09/21	NO - in Conservation Area
Court Passage; Holloway Hall	St. James's Ward	4950	13/09/21	NO - in Conservation Area
Coventry Street, , 1a/3:The French Connection	Wollaston and Stourbridge Town Ward	7490	13/09/21	NO - in Conservation Area
Coventry Street,23/25:The Duke William PH	Wollaston and Stourbridge Town Ward	7491	13/09/21	NO - in Conservation Area
Dixon's Green Road, 91: Dudley.	St. Thomas's Ward	5026	13/09/21	NO - Demolished
Dudley Road, 17; Bingo Hall (DaniloCinema)	Brierley Hill Ward	5114	13/09/21	NO - in Conservation Area
Dudley Road; The Windmill PH	Lye and Stourbridge North Ward	7210	13/09/21	NO - Does not sufficiently meet the criteria
Ednam Road; Coronation Gardens.	St. James's Ward	7163	13/09/21	NO - in Conservation Area
Ednam Road; Kudos House.	Castle and Priory Ward	7503	13/09/21	NO - Added to statutory list
Etymore Road, 'Parkdale' Houses.	Sedgley Ward	7250	13/09/21	NO - in Conservation Area
Etymore Road; Semi-detached Bungalows	Sedgley Ward	7243	13/09/21	NO - in Conservation Area
Furlong Road, 64; Hodgetts Family Butcher	Cradley and Wollescote Ward	1799	13/09/21	NO - Does not sufficiently meet the criteria
Gospel End St, 79-80	Sedgley Ward	15216	13/09/21	NO - in Conservation Area
Hagley Road, 260;Sandstone Cottage.	Belle Vale Ward	4131	13/09/21	NO - Added to statutory list
Hagley Road, 280: House.	Belle Vale Ward	7504	13/09/21	NO - Does not sufficiently meet the criteria
Halesowen Road; 71: Netherton.	Netherton, Woodside and St. Andrews Ward	7220	13/09/21	NO - Does not sufficiently meet the criteria
High Street 80-81; Former Co-op Store.	St. James's Ward	4912	13/09/21	NO - in Conservation Area
High Street, 101; Shops.	Brierley Hill Ward	5084	13/09/21	NO - in Conservation Area
High Street, 68; Bank.	Brierley Hill Ward	5087	13/09/21	NO - in Conservation Area
High Street, 94; Shop.	Brierley Hill Ward	5085	13/09/21	NO - in Conservation Area
High Street, 94-94a: Dudley.	St. James's Ward	7510	13/09/21	NO - in Conservation Area
High Street, 95: Dudley.	St. James's Ward	7511	13/09/21	NO - in Conservation Area
High Street, 99: Dudley.	St. James's Ward	7512	13/09/21	NO - in Conservation Area

High Street, 117; The New Inn PH	Wordsley Ward	7508	13/09/21	NO - in Conservation Area
High Street, 159: Brierley Hill.	Brierley Hill Ward	5083	13/09/21	NO - in Conservation Area
High Street, 16; shop.	Lye and Stourbridge North Ward	5308	13/09/21	NO - Does not sufficiently meet the criteria
High Street, 161: Brierley Hill.	Brierley Hill Ward	7161	13/09/21	NO - in Conservation Area
High Street, 17; Cottage.	Wordsley Ward	7530	13/09/21	NO - in Conservation Area
High Street, 22; The Rose & Crown	Wordsley Ward	7030	13/09/21	NO - in Conservation Area
High Street, 47: Dudley.	St. James's Ward	4917	13/09/21	NO - in Conservation Area
High Street, 48a;Post Office.	Brierley Hill Ward	5088	13/09/21	NO - in Conservation Area
High Street, 67-69: Wordsley.	Wordsley Ward	7531	13/09/21	NO - in Conservation Area
High Street, 68; The Little Barrel PH.	St. James's Ward	7509	13/09/21	NO - in Conservation Area
High Street, 69; Shops.	St. James's Ward	4914	13/09/21	NO - in Conservation Area
High Street, 77- 79;Bordeaux House.	Wollaston and Stourbridge Town Ward	7213	13/09/21	NO - in Conservation Area
High Street, 80; Moorings Tavern Public House	Wollaston and Stourbridge Town Ward	7128	13/09/21	NO - in Conservation Area
High Street, 81a-82; Shop.	St. James's Ward	4911	13/09/21	NO - in Conservation Area
High Street, 82-85; Shops	Wordsley Ward	7995	13/09/21	NO - in Conservation Area
High Street, B.H.Civic Hall & Police Station.	Brierley Hill Ward	5116	13/09/21	NO - in Conservation Area
High Street, Quarry Bank Primary School	Quarry Bank and Dudley Wood Ward	5042	13/09/21	NO - Demolished
High Street, St Mary's Catholic Church.	Brierley Hill Ward	5096	13/09/21	NO - in Conservation Area
High Street: The Old Bank.	Wollaston and Stourbridge Town Ward	7492	13/09/21	NO - in Conservation Area
Hill Street, Packhorse PH.	Netherton, Woodside and St. Andrews Ward	7538	13/09/21	NO - Does not sufficiently meet the criteria
Himley Road, 379- 381; Shop	Gornal Ward	4147	13/09/21	NO - Does not sufficiently meet the criteria
King Street, 47 - 49: Dudley.	St. Thomas's Ward	4910	13/09/21	NO - in Conservation Area
King Street, Pathfinder Stores.	St. Thomas's Ward	4909	13/09/21	NO - in Conservation Area
Lawnswood Road; Mere Music.	Wordsley Ward	7540	13/09/21	NO - in Conservation Area



Lawnswood Road; Richardson's Hall	Wordsley Ward	7516	13/09/21	NO - in Conservation Area
Long Lane, 108-109; Cottages.	Halesowen North Ward	7152	13/09/21	NO - Does not sufficiently meet the criteria
Long Lane, 110; Cottage.	Halesowen North Ward	7151	13/09/21	NO - Does not sufficiently meet the criteria
Love Lane, 17; House	Norton Ward	7211	13/09/21	NO - in Conservation Area
Lower High Street, 164-168; Shops	Wollaston and Stourbridge Town Ward	7493	13/09/21	NO - in Conservation Area
Lower High Street, 171; Shop	Wollaston and Stourbridge Town Ward	7968	13/09/21	NO - in Conservation Area
Lower High Street; King Edward College	Wollaston and Stourbridge Town Ward	7541	13/09/21	NO - in Conservation Area
Lutley Mill Road; Boundary Plaques.	Hayley Green and Cradley South Ward	7188	13/09/21	NO - in Conservation Area
Maidensbridge Road, 29; Willow Cottage	Kingswinford North and Wall Heath Ward	7202	13/09/21	NO - Does not sufficiently meet the criteria
Market Street, 31-39; Shops	Wollaston and Stourbridge Town Ward	7402	13/09/21	NO - in Conservation Area
Market Street: Stourbridge Social Club	Wollaston and Stourbridge Town Ward	7877	13/09/21	NO - in Conservation Area
Maughan Street, 2; The Crest.	Quarry Bank and Dudley Wood Ward	5058	13/09/21	NO - Does not sufficiently meet the criteria
Mill Street; Dadford's Shed	Brierley Hill Ward	1040	13/09/21	NO - in Conservation Area
Moor Street; Technical Institute & Library	Brierley Hill Ward	5117	13/09/21	NO - Added to statutory list
Mount Pleasant, 52: Kingswinford.	Kingswinford South Ward	7517	13/09/21	NO - Does not sufficiently meet the criteria
New Street, Wordsley Methodist Church	Wordsley Ward	12362	13/09/21	NO - in Conservation Area
Oak Lane; Oak Farm Brickworks	Kingswinford North and Wall Heath Ward	2733	13/09/21	NO - in Archaeological Priority Area
Parkhead Locks; Lock Keepers Cottage	Netherton, Woodside and St. Andrews Ward	7298	13/09/21	NO - in Conservation Area
Parson Street, 2 - 7; Offices.	St. James's Ward	4908	13/09/21	NO - in Conservation Area
Parsons Street, Health centre.	St. James's Ward	7528	13/09/21	NO - in Conservation Area
Peartree Lane, Parkhead Locks	Netherton, Woodside and St. Andrews Ward	2722	13/09/21	NO - in Conservation Area

Peartree Lane; Parkhead Pump Station	Netherton, Woodside and St. Andrews Ward	7297	13/09/21	NO - in Conservation Area
Peartree Lane; Toll House	Netherton, Woodside and St. Andrews Ward	7543	13/09/21	NO - in Conservation Area
Pedmore Road, 109a (rear); Shed.	Lye and Stourbridge North Ward	4662	13/09/21	NO - Does not sufficiently meet the criteria
Plant Street; Cart Shed.	Wordsley Ward	7544	13/09/21	NO - in Conservation Area
Priory Road, King Arthur PH.	Castle and Priory Ward	12899	13/09/21	NO - Demolished
Priory Road; Dudley Baptist Church	Castle and Priory Ward	4938	13/09/21	NO - in Conservation Area
Priory Street; 27-28; Office Block	St. James's Ward	4918	13/09/21	NO - in Conservation Area
Priory Street; Dudley Museum & Art Gallery.	St. James's Ward	4999	13/09/21	NO - in Conservation Area
Priory Street; Old Fire Station.	St. James's Ward	4919	13/09/21	NO - in Conservation Area
Ruiton Street, 6; Five Ways General Store.	Gornal Ward	4156	13/09/21	NO - Demolished
St James's Road; Town Hall	St. James's Ward	5000	13/09/21	NO - in Conservation Area
Stafford Street, 127: Dudley.	St. James's Ward	7529	13/09/21	NO - in Conservation Area
Stafford Street, 53; Builders Yards.	St. James's Ward	4975	13/09/21	NO - Demolished
Steppingstone Street, 55; Brewery	St. James's Ward	4967	13/09/21	NO - in Conservation Area
Stourbridge Road, 64: Shop.	Lye and Stourbridge North Ward	4613	13/09/21	NO - Does not sufficiently meet the criteria
Stourbridge Road; War Memorial.	Netherton, Woodside and St. Andrews Ward	7229	13/09/21	NO - Added to statutory list
Stourbridge Road, Woodside Library	Netherton, Woodside and St. Andrews Ward	7312	13/09/21	NO - Demolished
Straits Road, 24: Cottage.	Gornal Ward	7173	13/09/21	NO - Does not sufficiently meet the criteria
Straits Road, 7: Sandstone Cottage.	Gornal Ward	7524	13/09/21	NO - Demolished
Stream Road, C19th block, Wordsley Hospital	Wordsley Ward	7547	13/09/21	NO - in Conservation Area
Tansey Green Road, 43-45: Pensnett.	Brockmoor and Pensnett Ward	5140	13/09/21	NO - Demolished
The Hayes: Garage.	Lye and Stourbridge North Ward	4619	13/09/21	NO - Does not sufficiently meet the criteria

The Priory, 4; Priory Cottage	Sedgley Ward	7251	13/09/21	NO - in Conservation Area
The Priory, Sedgley; Boundary Stone	Sedgley Ward	7249	13/09/21	NO - in Conservation Area
The Village: Village Pound.	Kingswinford North and Wall Heath Ward	7204	13/09/21	NO - in Conservation Area
Tipton St : Grand Junction PH	Sedgley Ward	7143	13/09/21	NO - in Conservation Area
Tipton St 7: Hortons Timberyard.	Sedgley Ward	7520	13/09/21	NO - Demolished
Tower Street, Fountain Arcade.	St. James's Ward	4922	13/09/21	NO - in Conservation Area
Tower Street, Police & Fire Station.	St. James's Ward	4996	13/09/21	NO - in Conservation Area
Tower Street, 46: The Malt Shovel Pub	St. James's Ward	4990	13/09/21	NO - in Conservation Area



**Appendix D – Buildings/Structures listed in the HLCs considered for addition to the Local List but not added and the reasons given.**

<b>ADDRESS</b>	<b>WARD</b>	<b>SMR NUMBER</b>	<b>REASON FOR NOT ADDING TO LOCAL LIST</b>
Albion Street, No. 14	Brierley Hill Ward	5110	NO - in Conservation Area
Albion Street, No. 7	Brierley Hill Ward	12831	NO - in Conservation Area
Birmingham Street, Bedcote Mill	Lye and Stourbridge North Ward	4390	NO - in Archaeological Priority Area
Bridge Street, Albert Glassworks frontage range	Brierley Hill Ward	4812	NO - in Conservation Area
Canal Towpath off High Street, Cast Iron "Coalbrookdale" Bridge at Bradley's Iron Works	Wollaston and Stourbridge Town Ward	7239	NO - in Conservation Area
Crown Lane, The Mitre Public House	Wollaston and Stourbridge Town Ward	15031	NO - in Conservation Area
Delph Road, The Bell Inn	Brierley Hill Ward	15191	NO - in Conservation Area
Hagley Street, Nos. 6 and 8	Halesowen South Ward	15205	NO - Does not sufficiently meet the criteria
High Street, Market Hall	Brierley Hill Ward	5086	NO - in Conservation Area
High Street, rear of No. 96 and Brierley Hill Market Hall.	Brierley Hill Ward	15192	NO - in Conservation Area
High Street, Red Lion Inn	Brierley Hill Ward	12832	NO - in Conservation Area
Lower High Street, No. 175	Wollaston and Stourbridge Town Ward	15043	NO - in Conservation Area
Market Street, No. 32a	Wollaston and Stourbridge Town Ward	12639	NO - in Conservation Area
Market Street, Nos. 15 – 19	Wollaston and Stourbridge Town Ward	15032	NO - in Conservation Area

<b>Material considerations</b>	<b>Non Material considerations</b>
<b>Layout:</b> does it reflect the character of the area, does it protect existing resident's amenity, does it provide sufficient amenity space, and does it protect businesses/future residents from noise/odour/dust complaints.	<b>Market competition</b> (competition with centres in terms of the requirement for a sequential approach to town centre development is material, but general competition with local shops or business is not).
<b>Design and appearance:</b> materials, scale, massing, style of development in terms of proportions, vertical or horizontal emphasis, heights. Appropriate to host building, immediate neighbours and wider street scene.	<b>Loss of view</b> (unless you own all the land between you and the view you have no right to it).
<b>Landscaping:</b> is this appropriate, sufficient, particularly if forming a screen or providing some form of mitigation	<b>Loss of property value</b>
<b>Highway safety:</b> can safe access and egress be made, is there sufficient car parking, can the site be serviced by fire engines, bin lorries, delivery vehicles.	<b>Matters covered by other legislation</b>
<b>Impact on heritage assets/nature conservation;</b> does the development have a positive, neutral or negative impact on heritage assets. Can the impact be mitigated through the provision of enhancements elsewhere?	Matters that can be adequately controlled by <b>the imposition of a suitably worded condition.</b>
<b>Planning history:</b> has a similar scheme been approved before/refused before? Is there appeal history.	The fact the application is for a <b>retrospective development.</b> Development without consent is not unlawful - it only becomes so once formal enforcement action is taken and the developer fails to comply.
	The fact the application is a <b>repeat application</b> (repeat non amended applications can in exceptional circumstance be refused to be registered but once registered they must be

	considered on their merits).
	The fact the developer/applicant has a <b>history of non compliance</b> with conditions/consents. Non compliance is dealt with through planning enforcement not through decision making.
	What may or may not happen as a <b>result of the decision</b> in the future.