

PLANNING APPLICATION NUMBER:P10/0270

Type of approval sought	Full Planning Permission
Ward	KINGSWINFORD NORTH & WALLHEATH
Applicant	Mr Alan John, Corporate Properties
Location:	MAIDENSBRIDGE PRIMARY SCHOOL, BEACHCROFT ROAD, WALL HEATH, KINGSWINFORD, WEST MIDLANDS, DY6 0HX
Proposal	SINGLE STOREY EXTENSION TO CREATE NURSERY AND COVERED PLAY AREA
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

SITE AND SURROUNDINGS

- 1 The application site consists of an existing primary school, dating from the 1950s or 1960s which is mostly single storey. The site is surrounded on three sides by housing although to the north of the site is open countryside and green belt. Access to the site is from either Beachcroft Road or from Maidensbridge Road.

PROPOSAL

- 2 The application is to provide a nursery extension to the existing primary school. The extension would be located on the south-eastern part of the site close to the existing vehicular access on land which is currently used as an open play area. The extension would be single storey and would incorporate a canopy to allow outside play and teaching. The extension would be finished in brick. The proposed extension (excluding the canopy) would provide a little over 110m² of additional space. The extension has been designed with a curved wall on the one elevation to provide more interest.
- 3 In addition to the building some additional car parking is to be provided to the rear of the existing school.

HISTORY

APPLICATION No.	PROPOSAL	DECISION	DATE
BH/56/2000	Erection Of County Primary School On 4.25 Acres Of Land.	Grant	29/08/56
DB/68/3727	Classroom And Toilet Extensions.	Grant	14/05/68
98/50591	Laying Out Car Park Extension (Regulation 3)	Grant	10/06/98
P03/0043	Extension To Existing Staff Room New Head Teachers Room And Relocation Of Main Entrance Doors	Grant	14/02/03
P05/1346	Erection of Storage Garage	Grant	13/07/05
P07/0663	Erection of extension to provide first aid room.	Grant	12/06/07
P07/0764	Erection of 2m high tango rail fencing and access gates along part of school boundary and within school boundary	Grant	13/06/07
P08/0113	Overlay existing mineral felt on pitched roof with profile tiles	Grant	18/04/08

PUBLIC CONSULTATION

- 4 No representations received at the date of agenda preparation, although the neighbour consultation period will not expire until the 2nd April 2010.

OTHER CONSULTATION

- 5 Group Engineer (Development): No objections subject to the provision of the additional parking prior to occupation.
- 6 Head of Environmental Health and Trading Standards: No adverse comments.

RELEVANT PLANNING POLICY

Unitary Development Plan

S1 Social Inclusion, Equal Opportunities and Social Wellbeing

DD1 Urban Design

DD4 Development in Residential Areas

DD6 Access and Transport Infrastructure

DD7 Planning Obligations

CS3 Community Facilities

NC9 Mature Trees

NC10 The Urban Forest

Supplementary Planning Guidance/Documents

Parking Standards and Travel Plans Supplementary Planning Document

Planning Obligations Supplementary Planning Document

ASSESSMENT

- 7 The main issues are
- Policy
 - Design
 - Neighbour Amenity
 - Trees
 - Access and Parking
 - Planning Obligations

Policy

- 8 Policy CS3 of the Dudley Unitary Development Plan supports the provision of new community facilities where they meet a recognised need, are located within the community they are intended to serve, are accessible by public transport and do not adversely affect the character or amenity of the area. In this case the proposal meets the first three tests, with the impact on character and amenity explored below.

Design

- 9 As stated above the existing school is a mostly single storey 1950s/1960s building with a flat roof. The proposed extension reflects this form also being single storey with a flat roof. In addition some interest is added to the form of the extension by the curved wall to the north east elevation and the roof light and as such the main part of the extension is considered to be acceptable. The provision of the canopy to the front elevation is also considered to be acceptable and would read as part of the main extension.

Neighbour Amenity

- 10 The nearest dwelling to the proposed extension is 65 Beachcroft Road which is 15m away. However, it is not considered the proposal would have any significant impact as the dwelling is sited sideways onto the proposed extension. Other close by dwellings are located on the south eastern side of Beachcroft Road. It is considered that with a separation distance of at least 25m combined with the single storey nature of the proposal again the development is unlikely to cause any undue harm to amenity.

Trees

- 11 The proposal shows the removal of two trees which are located within raised beds to allow the provision of additional parking spaces. The removal of the trees whilst regrettable has to be balanced against the need to provide extra parking required for the nursery use. The other alternative would involve encroachment onto the adjoining playing field which would be contrary to national planning policy which would make that alternative unacceptable from a planning point of view.
- 12 In addition the trees are located at the rear of the building and therefore have less amenity value compared to the ones to the front of the school building which are to be retained.

Access and parking

- 13 The submitted plans show the provision of a number of additional parking spaces. This is to ensure that there is sufficient parking within the site. The parking would be located to the rear of the school and would expand the existing parking area. Vehicular access to the site would remain from Beachcroft Road.

Planning Obligations

- 14 The proposed development has a requirement to provide planning obligations to mitigate against the consequential planning loss to the existing community. Should permission be granted the following contributions would be required:-

- Transport Infrastructure Improvements - £1595.75
- Management and Monitoring Charge - £250.00
- **Total Offsite Contribution equates to £1845.75**

- 15 As this is development by the Council, this contribution would have to be paid through or transfer to the highways budget rather than a Section 106 Agreement. Further details on this will be provided in a pre-committee note.

- 16 The proposal also attracts a requirement for the provision of onsite nature conservation enhancement to the value of £56.19. The provision of this enhancement is to be controlled by a planning condition.

CONCLUSION

- 17 The proposed development is of acceptable design and would cause no significant harm to neighbour amenity. Consideration has been given to policies S1 Social Inclusion, Equal Opportunities and Social Wellbeing DD1 Urban Design DD4 Development in Residential Areas DD6 Access and Transport Infrastructure DD7 Planning Obligations CS3 Community Facilities CS4 Education Provision, NC9 Mature Trees and NC10 The Urban Forest of the Dudley Unitary Development Plan.

RECOMMENDATION

- 18 It is recommended that the application be approved subject to:
- a) a sum of £1595.75 being transferred to the Council's highways budget and £250.00 to the Council's budget for managing and monitoring contributions prior to commencement of the development.
 - b) the following conditions.

Reason for approval

The proposed development is of acceptable design and causes no significant harm to neighbour amenity. Consideration has been given to policies S1 Social Inclusion, Equal Opportunities and Social Wellbeing DD1 Urban Design DD4 Development in Residential Areas DD6 Access and Transport Infrastructure DD7 Planning Obligations CS3 Community Facilities, NC9 Mature Trees and NC10 The Urban Forest of the Dudley Unitary Development Plan.

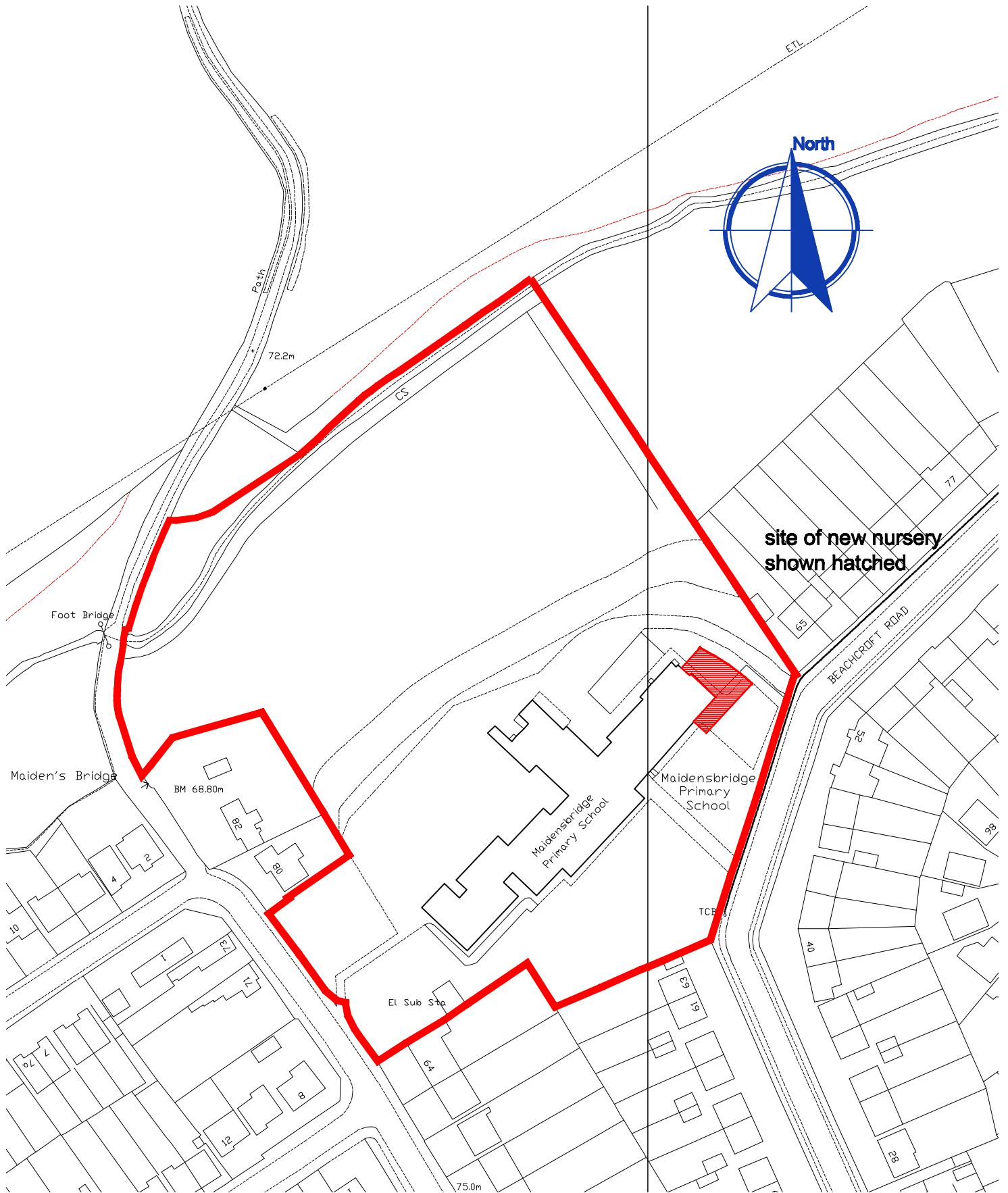
The decision to grant planning permission has been taken with regard to the policies and proposals in the adopted Dudley UDP (2005) and to all other relevant material considerations.

The above is intended as a summary of the reasons for the grant of planning permission. For further detail on the decision please see the application report.

The development hereby permitted shall be built in accordance with the approved plans numbered A010 unless otherwise agreed in writing by the Local Planning Authority.

Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. No part of the development hereby permitted shall be commenced until a schedule of all materials to be used on the external surfaces of the buildings has been submitted to and approved in writing by the Local Planning Authority and thereafter the development shall only be constructed in accordance with these details.
3. The development hereby approved shall not be first commenced until details of the nature conservation enhancement of the site has been submitted to and approved in writing by the Local Planning Authority. The enhancement shall thereafter be provided in accordance with the approved details and provided prior to the extension being first used. The nature conservation enhancements shall thereafter be retained and maintained for the life of the development.
4. The parking area shall be provided prior to first occupation of the building.



Title

Proposed Nursery at Maidensbridge Primary School Location Plan



Scale	1: 1250	
Date	12/02/2010	
Drawn	aj	
Job Number	AMPH441	
Dwg. no.	A001	Rev. -

Corporate Property

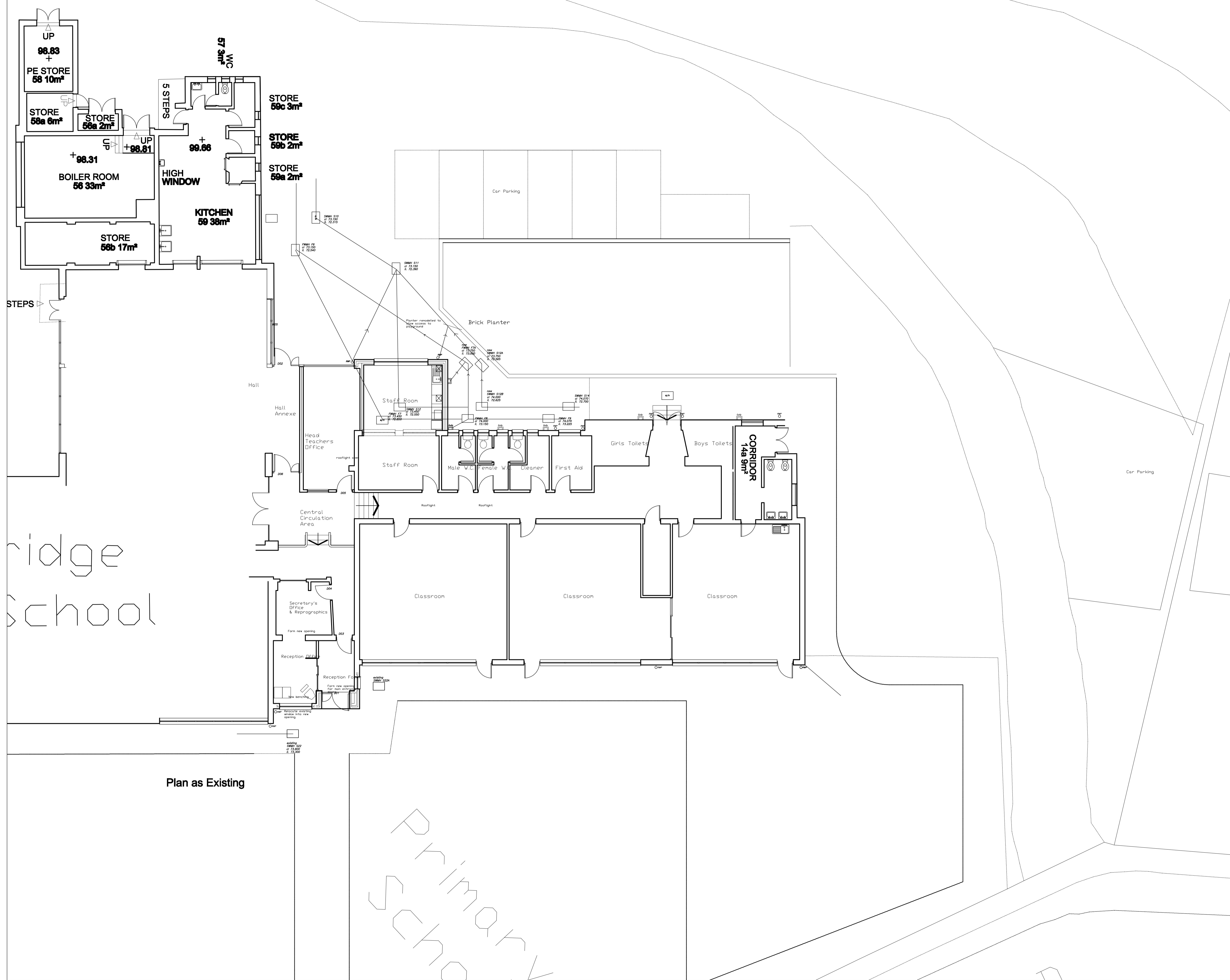
3, St. James's Road, Dudley, West Midlands DY1 1HZ
 Directorate of Law, Property & Human Resources.
 Dudley Metropolitan Borough Council

Interim Director
 Philip Tart, L.L.B.
 Assistant Director
 B. Gordon, B.Comm., M.B.A., M.Sc.
 Ordnance Survey H.M.S.O.
 Licence Number LA 100019566.



BSI 389/001/2005 FEB 2005
 Registered for Major Capital Works

NOTES



Maidensbridge
 School

Plan as Existing

Maidensbridge
 School

Corporate Property
 AFFIRMED IN ACCORDANCE WITH SECTION 107 OF THE BUILDING ACT 2003
 NOT TO BE USED FOR CONSTRUCTION


REV	DATE	DESCRIPTION	BY

Dudley Corporate Property
 3, St. James's Road, Dudley, West Midlands DY1 1HZ

Directorate of Law, Property & Human Resources.
 Dudley Metropolitan Borough Council

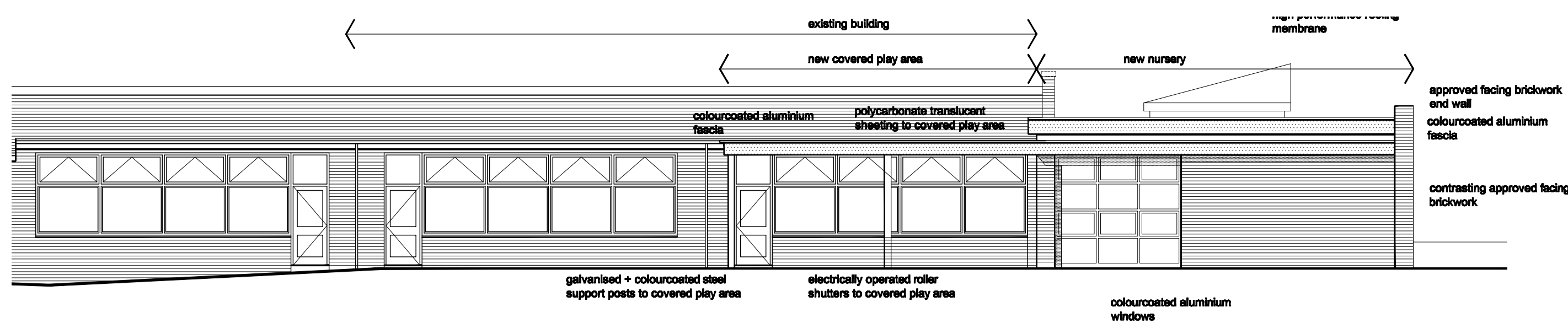
Interim Director
 Philip Tarr, L.L.B.

Assistant Director
 S. Gordon, B.Comm., M.B.A., M.Sc.

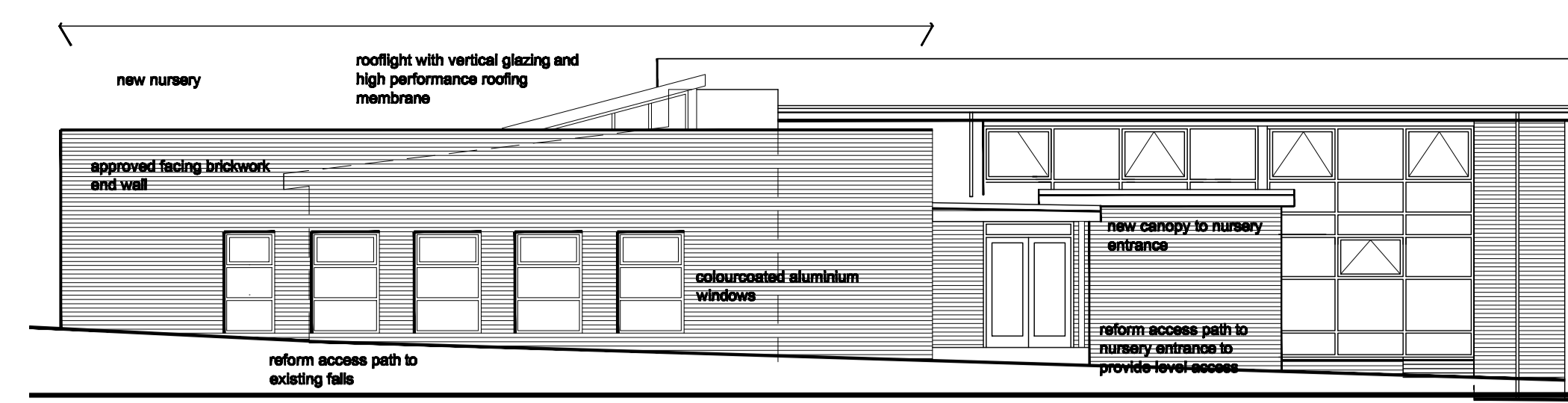


PROJECT
Proposed Nursery at Maidensbridge Primary School
 DRAWING
Plan as Existing

Scale 1:100	Date 18.02.2010	Drawn aj
Job Number AMPH441	Drawing Number A002	Revision -
Plot Sheet size A1		



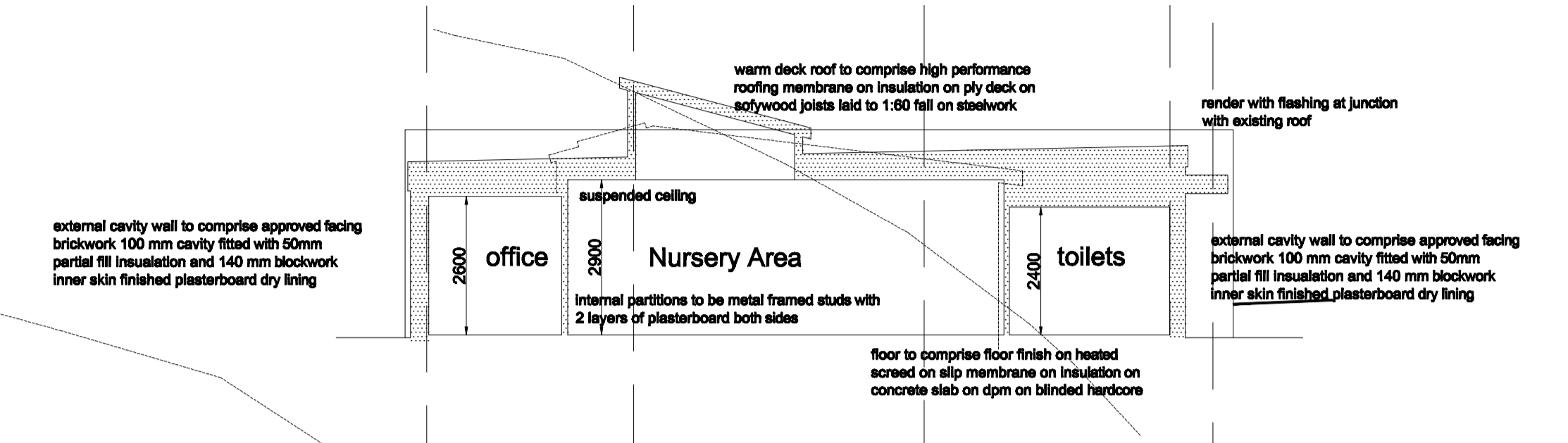
Front Elevation



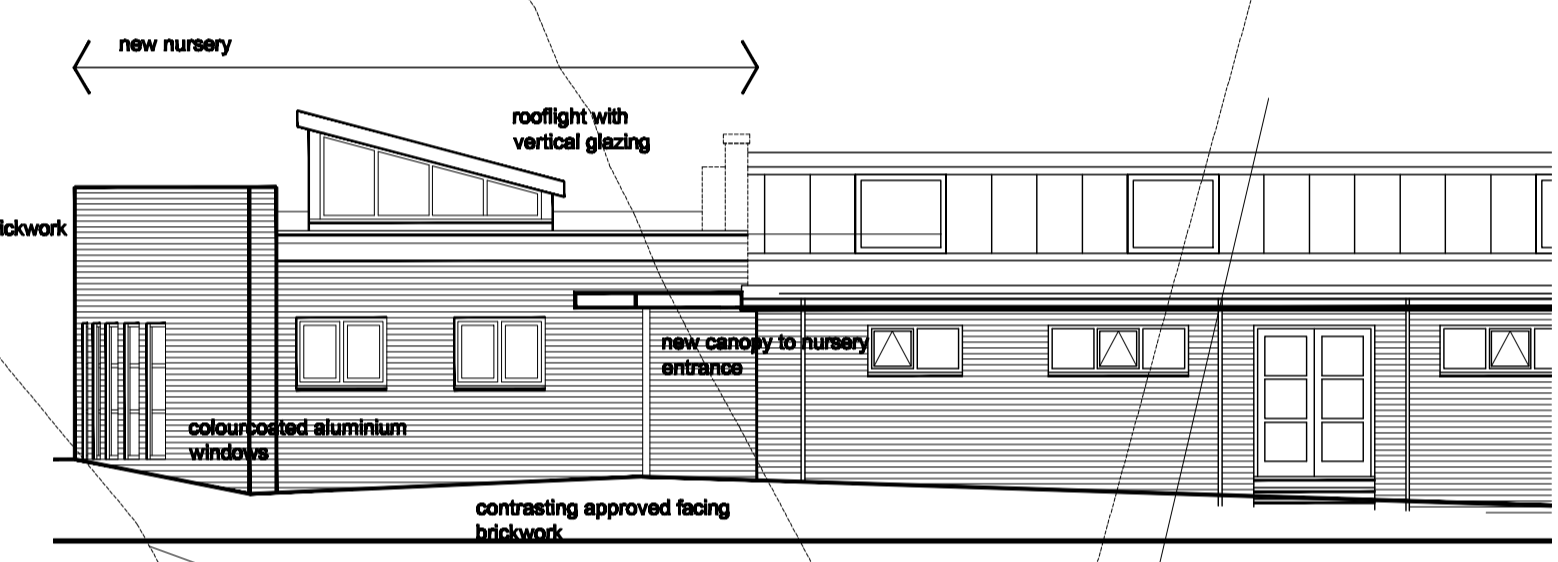
Side Elevation

ORDNANCE SURVEY MAPPING IS REPRODUCED WITH PERMISSION OF THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE © CROWN COPYRIGHT UNAUTHORISED REPRODUCTION INFRINGES CROWN COPYRIGHT AND MAY LEAD TO PROSECUTION OR CIVIL PROCEEDINGS LICENCE NUMBER LA 100019566. DATE AS DRAWING © THIS DRAWING IS COPYRIGHT AND THE CONTENTS MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION.

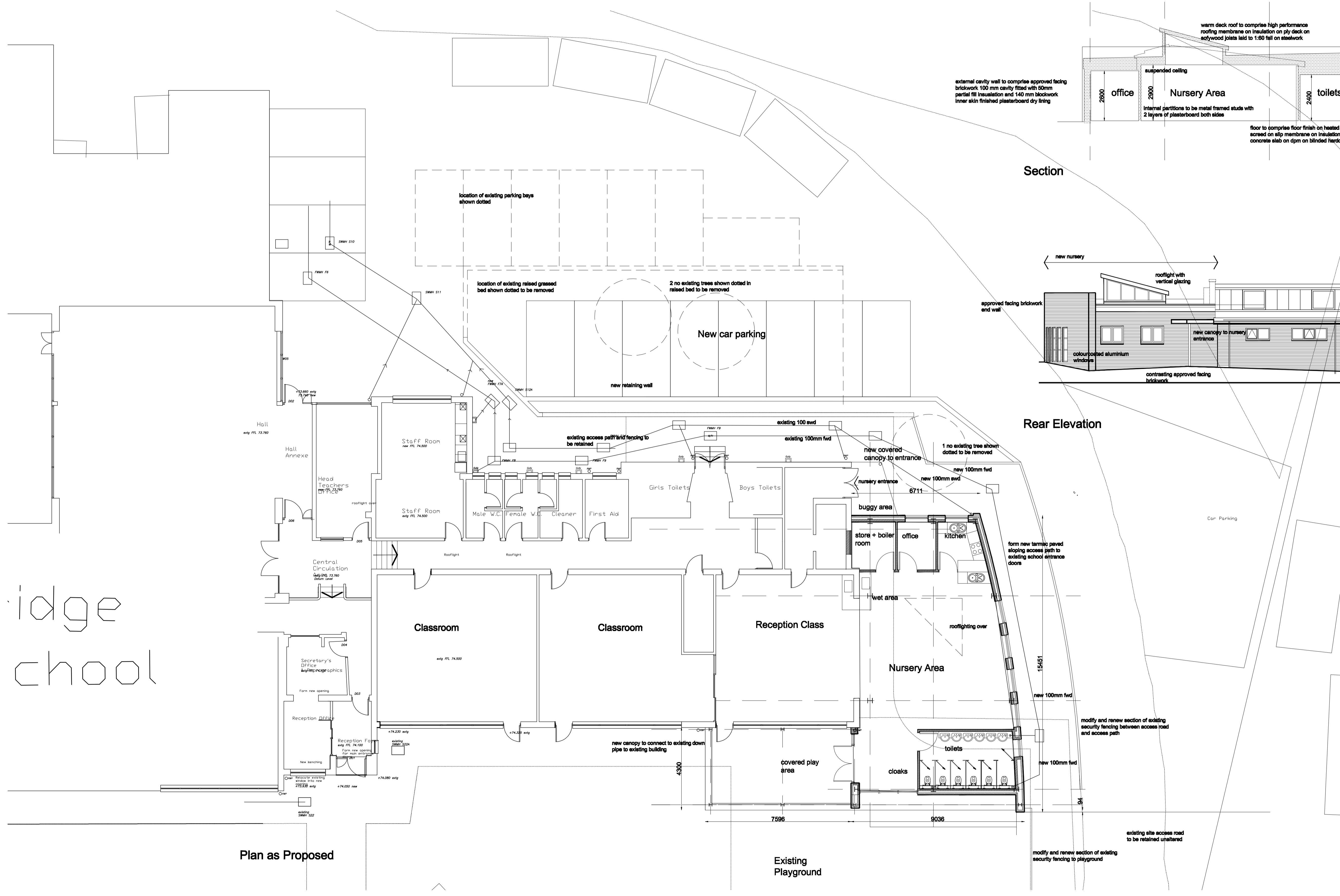
NOTES



Section



Rear Elevation



Plan as Proposed

Corporate Property
PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION

REV	DATE	DESCRIPTION	BY

Corporate Property
3, St. James's Road, Dudley, West Midlands DY1 1HZ
Directorate of Law, Property & Human Resources.
Dudley Metropolitan Borough Council
Interim Director
Philip Tart, LL.B.
Assistant Director
B. Gordon, B.Comm., M.B.A., M.Sc.



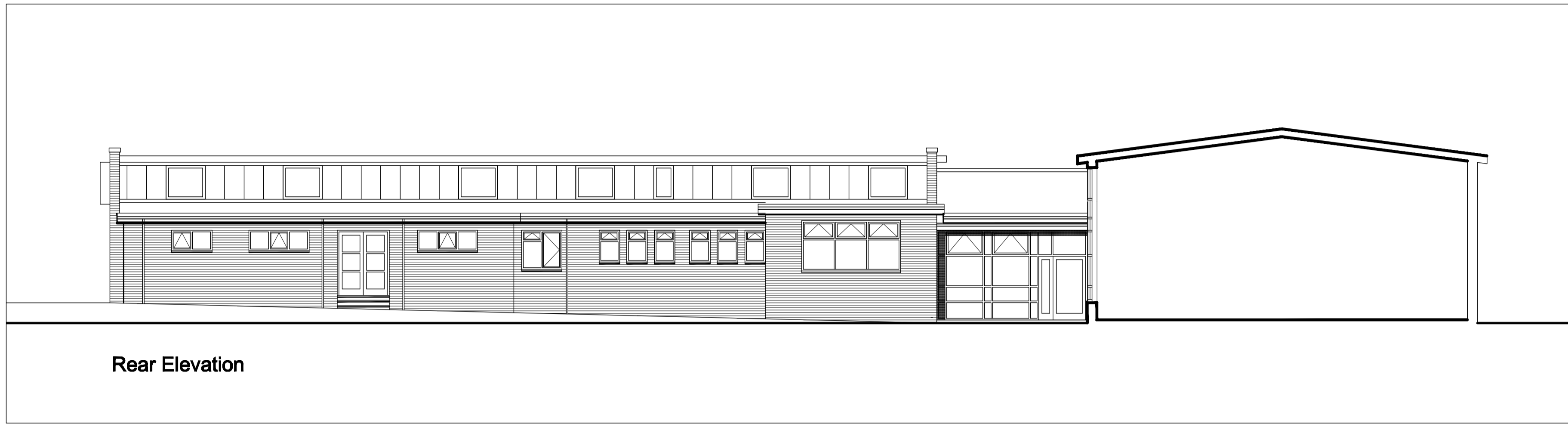
PROJECT
Proposed Nursery at Maidensbridge Primary
DRAWING
Plans + Elevations as Proposed

Scale	1:100	Date	22.02.10	Drawn	aj
Job Number	AMPH 441	Drawing Number	A010	Revision	.
CAD ref:		Plot Sheet size	A1		

NOTES



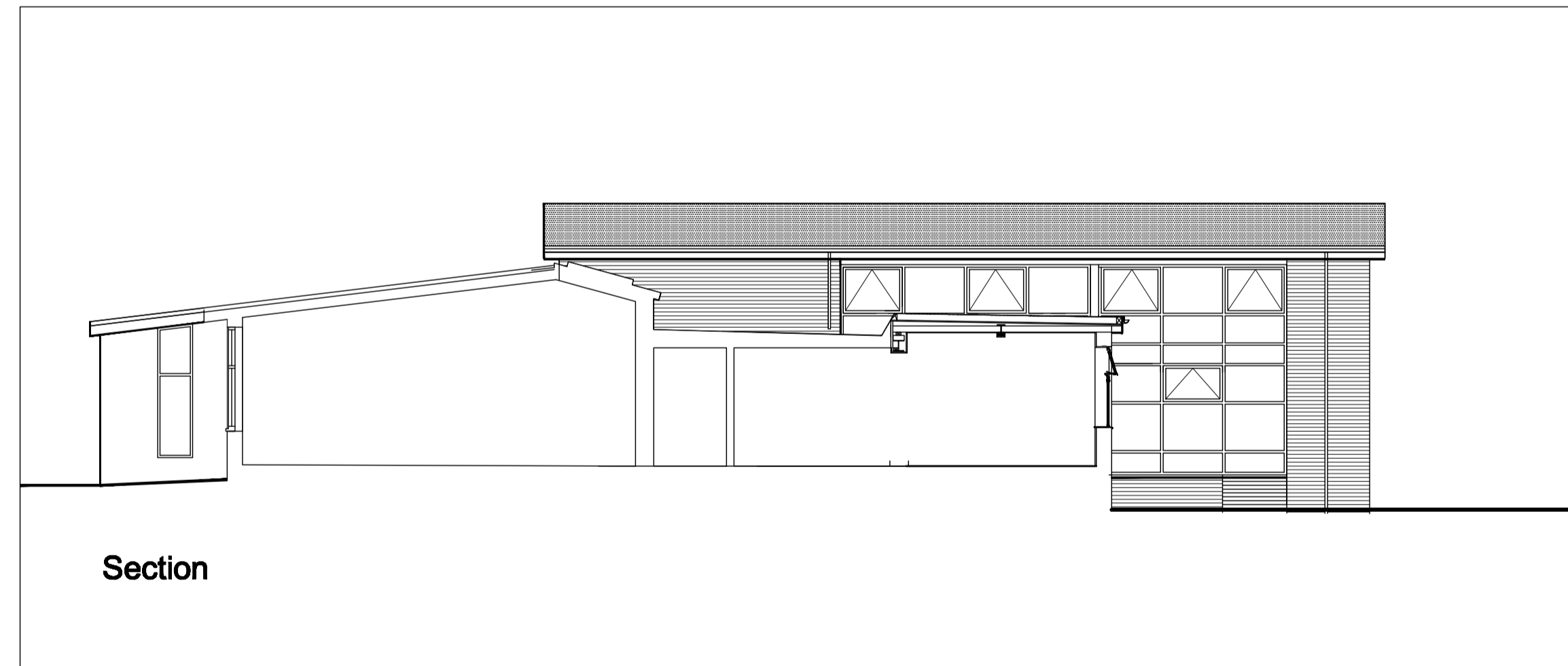
Front Elevation



Rear Elevation



Side Elevation



Section




REV	DATE	DESCRIPTION	BY

Dudley Corporate Property
 3, St. James's Road, Dudley, West Midlands DY1 1HZ

Directorate of Law, Property & Human Resources.
 Dudley Metropolitan Borough Council

Interim Director
 Philip Tart, L.L.B.
 Assistant Director
 S. Gordon, B.Comm., M.B.A., M.Sc.



PROJECT
Proposed Nursery at Maidensbridge Primary School
 DRAWING
Elevations as Existing

Scale	1:100	Date	18.02.2010	Drawn	aj
Job Number	AMPH441	Drawing Number	A003	Revision	-
					Plot Sheet size A1

CAD ref: P:\Projects\AMPH441 - Maidensbridge Primary - Nursery\Project Administrator\Drawings\planning drawings\AMPH441 -A003 -elevations as existing