

# PLANNING APPLICATION NUMBER: P14/1807

Type of approval sought	Full Planning Permission
Ward	St. James's
Applicant	Mrs Liz Dickinson, Dudley Metropolitan Borough Council
Location:	<b>CORONATION GARDENS, PRIORY ROAD, DUDLEY, DY1</b>
Proposal	<b>DEMOLITION OF EXISTING WALL AND REPLACEMENT WITH NEW BRICK BOUNDARY WALL</b>
Recommendation Summary:	<b>APPROVE SUBJECT TO CONDITIONS</b>

## SITE AND SURROUNDINGS

1. The application site comprises the section of concrete boundary fence which divides the north eastern boundary of the former bowling green at 2 Priory Road from Coronation Gardens. Coronation Gardens is a locally listed open area of landscaped amenity space containing the Apollo Fountain and a war memorial. 2 Priory Road is an early 19<sup>th</sup> Century Grade II Listed, mixed use building which is also recorded on Dudley's Historic Buildings, Sites and Monuments Record (HBSMR 1000). The building has been identified in the Townscape Heritage Initiative (THI) Action Plan as a 'Priority Project'. The site falls within Dudley Town Centre Conservation Area. The existing boundary fence comprises stacked prefabricated concrete panels up to 2.3m in height due to the ground falling in a north westerly direction.
2. The nearest residential properties are those on The Broadway and Ednam Road to the north of the site. Dudley College Evolve Campus is adjacent the site to the south east.

## PROPOSAL

3. Planning consent is sought to demolish the existing concrete panel wall and erect a replacement brick boundary wall. The wall would be 24.8m in length and 2.8m in height (at its highest point). The materials would comprise red brickwork with York Stone coping to top.
4. Certificate B of the ownership certificate has been signed indicating that notice has been served on the owners of 2 Priory Road.

## HISTORY

5. Planning History 2 Priory Road

APPLICATION No.	PROPOSAL	DECISION	DATE
DY/61/241	Lease Of Basement Rooms For Storage.	Granted	26/04/1961
DY/63/506	Internal Alterations To Ground Floor.	Granted	05/11/1963
DB/72/10539	Erection Of Kitchen On First Floor	Granted	26/10/1972
83/51934	Aquaseal And Paint Principal Slate Roof	Refused	08/12/1983
92/50041	Installation Of Floodlights	Granted	27/02/1992
P06/2070	Down size Dudley Conservation Club to the rear of the building and convert the White House at the front of premises to Dudley West Conservative Associates	Granted	28/02/2007
P06/2071	Listed building consent for alterations to downsize Dudley Conservative Club to the rear of the building and convert the Dudley West Conservative Associates	Granted	14/03/2007

P08/0278	Installation of new retaining wall and ramped walkway between car park (part retrospective and part proposed).	Granted	11/08/2008
P10/0142	Listed Building Consent for demolition and rebuild (like for like) of boundary wall fronting coronation gardens, enlargement of existing entrance to a double entrance at ground floor and internal alterations in order to provide disabled wc at ground floor level.	Approved with Conditions	30/10/12
P10/0143	Change of use of part of building from private members club to conference and function room (OSG) with new entrance door	Granted	31/03/2010
P10/1378	Demolition of existing club house and store removal of existing fire escape and erection of new rear fire escape and fire escape doors, replace existing wall with new brick wall, elevational changes and landscaping scheme	Approved with Conditions	03/12/2010
P10/1380	Listed building consent for demolition of existing club house and store removal of existing fire escape and erection of....	Approved with Conditions	15/01/2011
P13/1794	Demolition of existing timber club house and store, extend the existing car park by converting former bowling green area	Approved with Conditions	21/01/14

6. Planning permission was granted under P10/1378 for replacement of the concrete panel fence with a brick wall subject to a condition requiring a sample panel of brickwork to be erected on site and agreed in writing by the Local Planning Authority.

## **PUBLIC CONSULTATION**

7. Direct notification was carried out to ten neighbouring premises, a site notice was displayed and a notice also placed in the local press. The final date for receipt of representations is 7<sup>th</sup> February 2014 and no representations have been received. Any representations received prior to the committee meeting will be reported as a pre-committee note.

## **OTHER CONSULTATION**

8. Group Engineer (Highways); No objection

## **RELEVANT PLANNING POLICY**

### National Planning Policy

- National Planning Policy Framework (2012) (NPPF) - Specifically Chapter 12, Conserving and enhancing the historic environment.
- PPS5 – Planning for Historic Environment Practice Guide
- Planning (Listed Buildings and Conservation Areas) Act 1990

### Black Country Core Strategy (2011) (BCCS)

- CSP1 The Growth Network
- CSP4 Place Making
- CEN4 Regeneration of Town Centres
- ENV2 Historic Character and Local Distinctiveness
- ENV3 Design Quality

### Saved Unitary Development Plan Policies (2005) (UDP)

- DD1 Urban Design
- DD4 Development in Residential Areas

- DTC1 Thoroughfares and Public Spaces
- DTC2 Street Blocks
- HE4 Conservation Areas
- HE5 Buildings of Local Historic Importance
- HE6 Listed Buildings
- HE11 Archaeology and Preservation

#### Supplementary Planning Guidance/Documents

- Historic Environment Supplementary Planning Document (2006)
- Dudley Town Centre ADF
- Open Space, Sport and Recreation SPD (2007)
- Parks and Green Space Strategy (2009)

## ASSESSMENT

9. Key issues;
- Design & Historic Environment
  - Neighbouring Amenity
  - Highway Safety

#### Design & Historic Environment

10. The existing boundary fence is of modern prefabricated materials and detracts from the character and appearance of the Conservation Area and the adjacent designated and non designated heritage assets. Removal of the existing panel fence is welcomed and planning permission has previously been granted for its replacement. The proposed wall would match the north western boundary wall which is due to be re-built. The development would therefore make a positive contribution to the character and appearance of the Conservation Area and would not impact upon the fabric or setting of the adjacent Grade II Listed Building. The proposal therefore complies with the NPPF, saved Policy DD1, HE4 and HE6 of the Dudley UDP, Policy ENV2, CEN4 and CSP4 of the Black Country Core Strategy and The Dudley ADF (2005).

### Neighbour Amenity

11. The proposed wall would replace the existing fence in the same position and there would be no demonstrable harm to neighbour amenity given the proximity of the nearest residential properties within Ednam Road and The Broadway. In this respect the proposal therefore complies with saved UDP policy DD4 and EP7 of the UDP (2005).

### Highway Safety

12. There are no highway safety issues arising as a consequence of the development and no objections are raised by the Group Engineer (Development).

## **CONCLUSION**

13. The existing boundary fence is of a modern prefabricated design and detracts from the character and appearance of the Conservation Area and the nearby heritage assets. Removal of the existing wall is welcomed and the replacement would match the north western boundary wall which is due to be re-built. The development would therefore make a positive contribution to the character and appearance of the Conservation Area and would not impact upon the fabric or setting of the adjacent Grade II Listed Building. There would be no harm to neighbouring amenity and there are no consequential highway safety issues arising. The proposal therefore complies with the NPPF, saved Policy DD1, HE4 and HE6 of the Dudley UDP, Policy ENV2, CEN4 and CSP4 of the Black Country Core Strategy and The Dudley ADF (2005).

## **RECOMMENDATION**

14. It is recommended that the application is APPROVED subject to no objections being received and subject to the following conditions;

## APPROVAL STATEMENT INFORMATIVE

In dealing with this application the Local Planning Authority have worked with the applicant in a positive and proactive manner, seeking solutions to problems arising in relation to dealing with the application, by seeking to help the applicant resolve technical detail issues where required and maintaining the delivery of sustainable development. The development would sustain and enhance the significance of the heritage asset and puts it into a viable use consistent with its conservation and is thereby in accordance with paragraph 131 of the National Planning Policy Framework.

### **Note to Applicant**

The proposed development lies within an area which may contain unrecorded mining related hazards. If any coal mining feature is encountered during development, this should be reported to The Coal Authority.

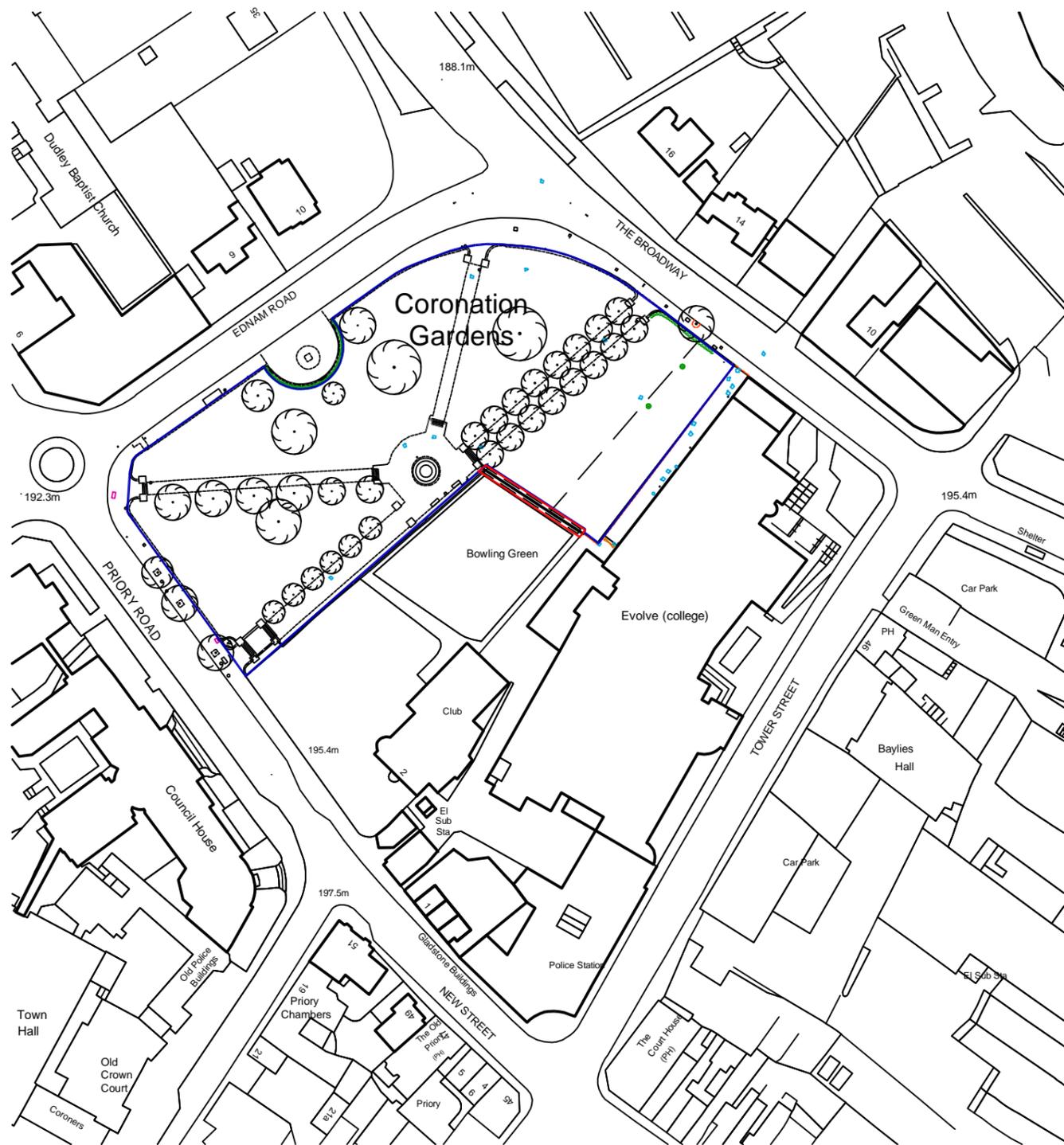
Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires the prior written permission of The Coal Authority.

Property specific summary information on coal mining can be obtained from The Coal Authority's Property Search Service on 0845 762 6848 or at [www.groundstability.com](http://www.groundstability.com)

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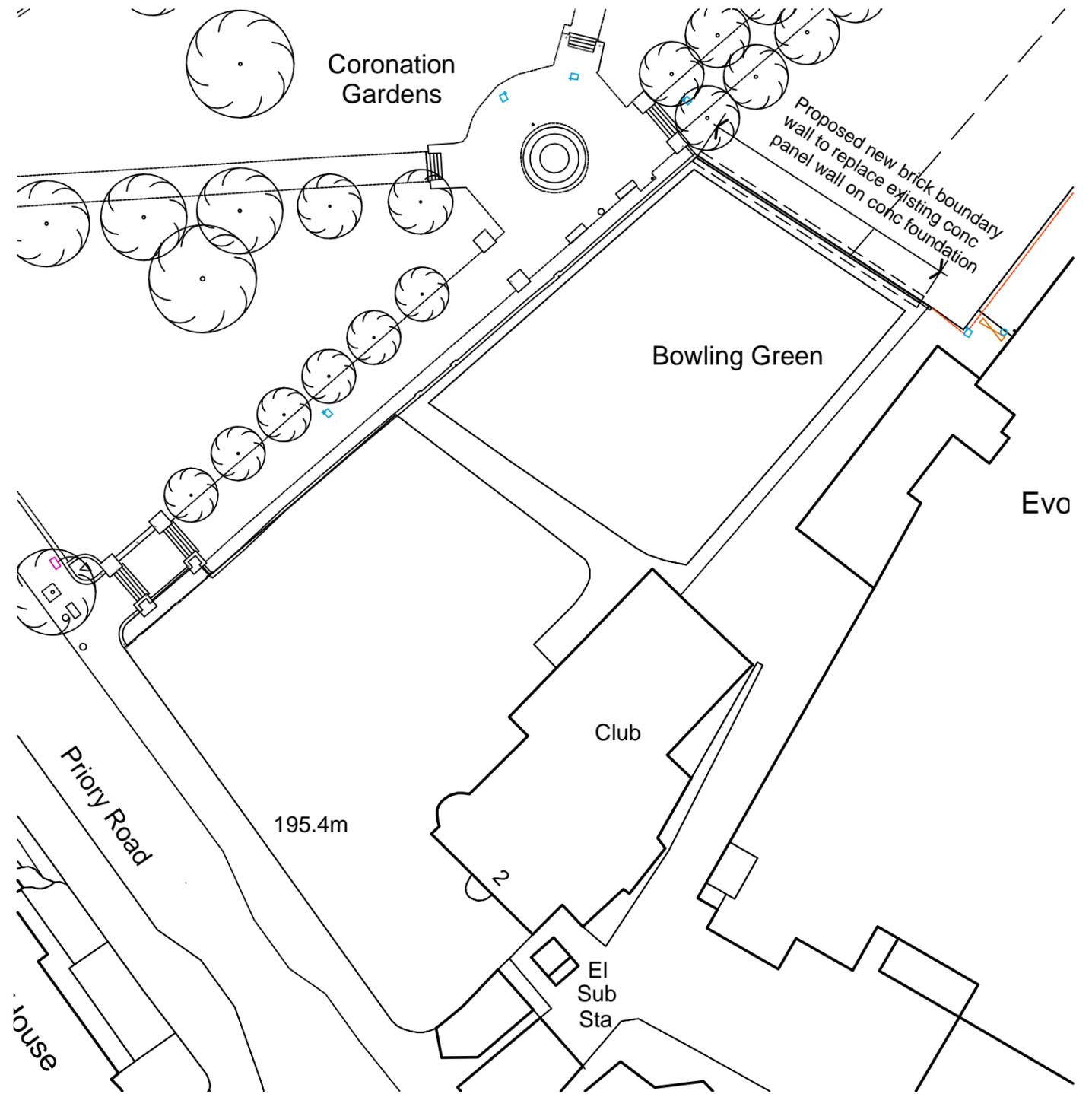
Conditions and/or reasons:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans: M14.109.D.013 Revision A, M014.109.D.012, 216 Issue T1 and 215 Issue T1.
3. No materials other than those indicated on the approved plans shall be used without the approval in writing of the Local Planning Authority.



**location plan** scale 1:1250

- Planning Application boundary
- Adjoining land in Applicant's ownership



**Block plan** scale 1:500

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**Planning application**

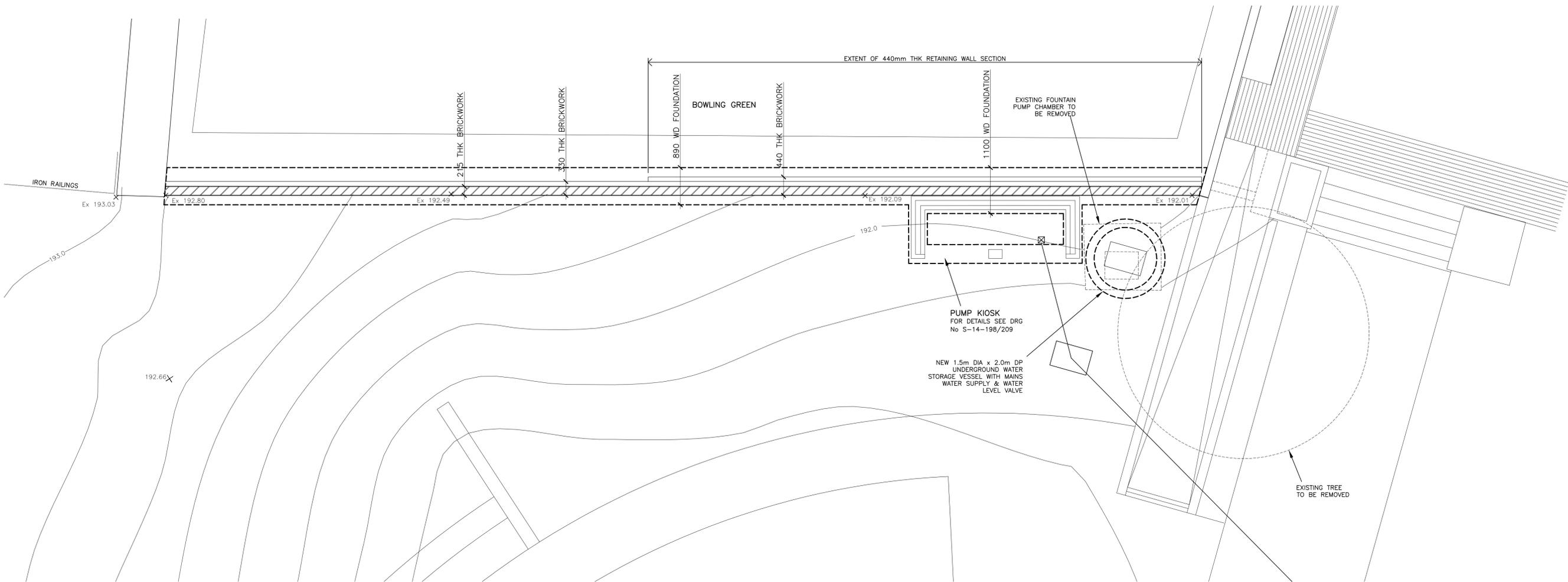
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**M014.109.D.012**  
revision -



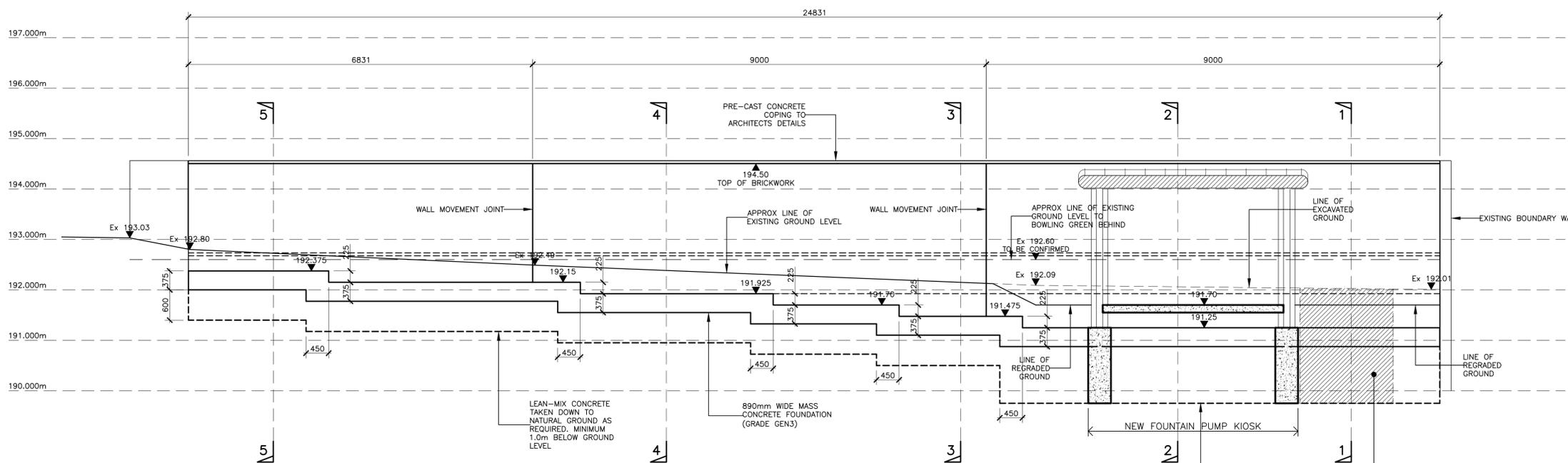
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project **Coronation Gardens Dudley**  
drawing **Location plan and Block plan**

scale  
**1:1250 & 1:500**  
date  
**Dec 2014**



PLAN ON NEW RETAINING WALL  
(SCALE 1:50)



WALL ELEVATION - FACING CORONATION GARDENS  
(SCALE 1:50)

FOR SECTIONS RELATING TO THIS DRAWING REFER TO SHIRE DRG No S-14-198/216

T1	(ISSUED FOR TENDER MEASUREMENT)	05-12-14	G.S.N.	
Issue	Details	Date	By	Clk

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Project  
**CORONATION GARDENS, DUDLEY**

Title  
**DETAILS OF REPLACEMENT WALL TO EXISTING PLANK WALL (SHEET 1)**

Date  
DEC 14

Scale  
1:50

Drawn  
G.S.N.

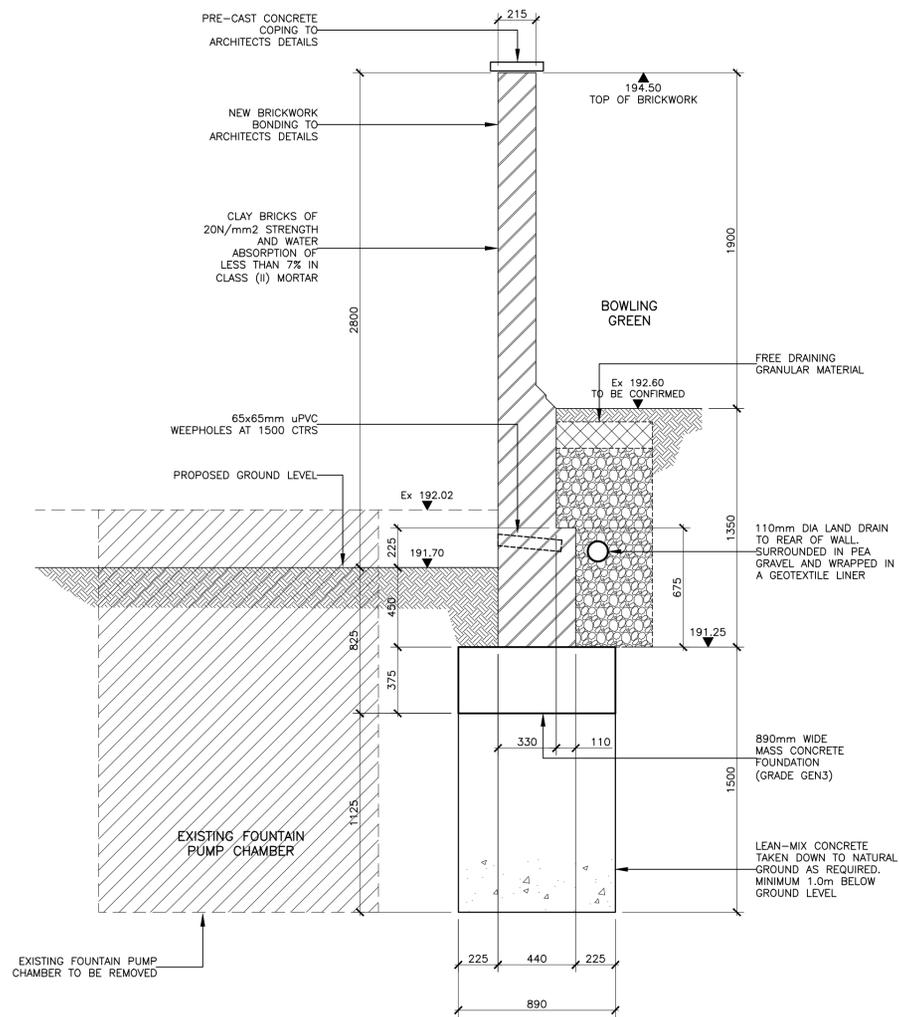
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Job No  
**S-14-198**

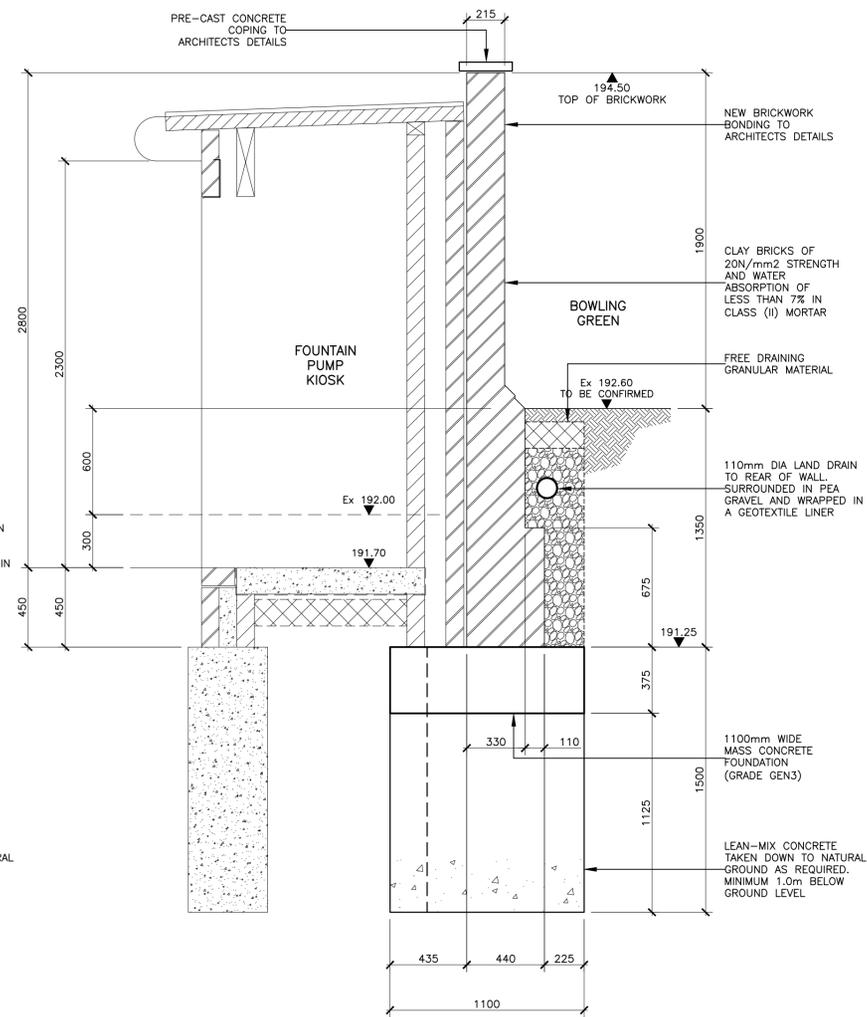
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Issue  
**T1**

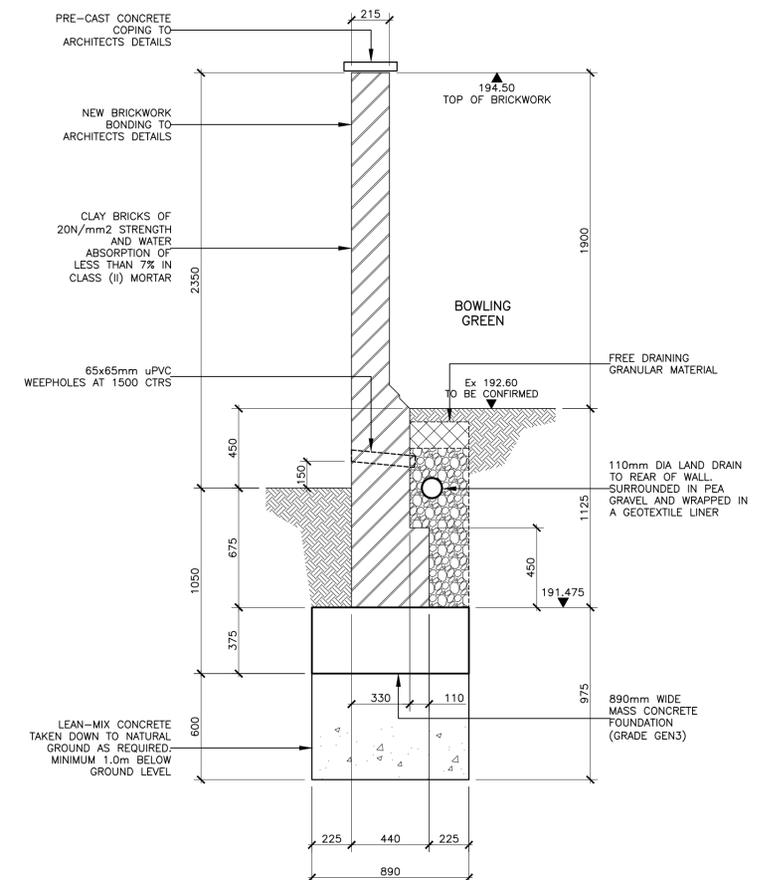
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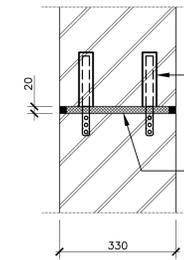
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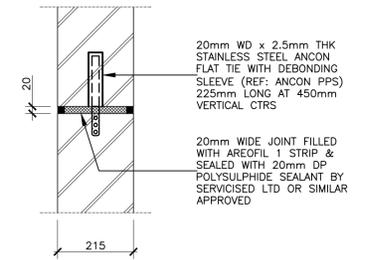
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(SCALE 1:20)



SECTION 3-3  
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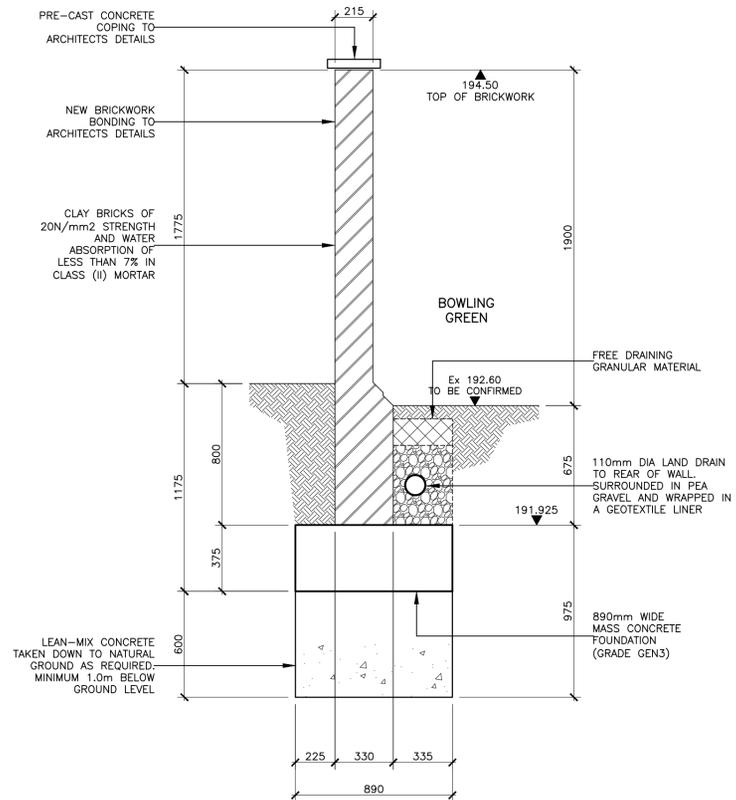


330 THK WALL

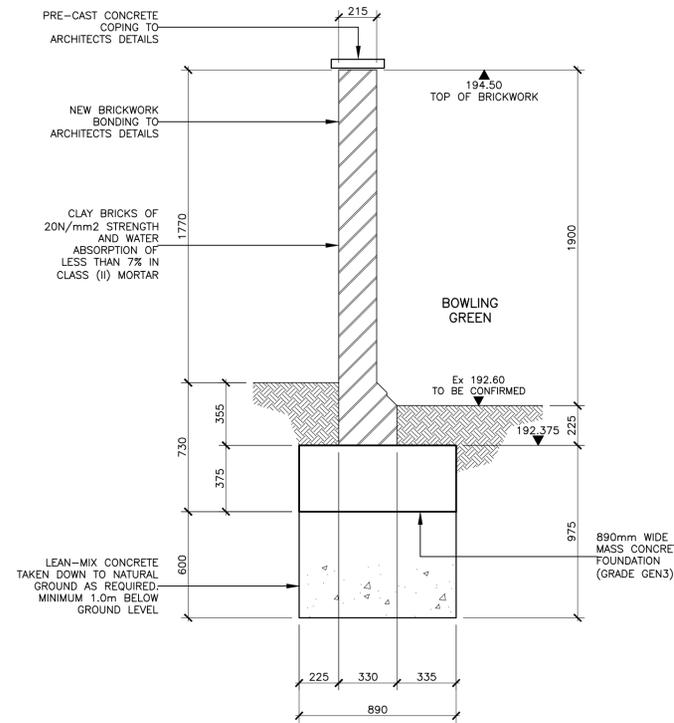


215 THK WALL

MOVEMENT JOINT DETAILS  
(SCALE 1:10)



SECTION 4-4  
(SCALE 1:20)



SECTION 5-5  
(SCALE 1:20)

T1	(ISSUED FOR TENDER MEASUREMENT)	05-12-14	G.S.N.	
Issue	Details	Date	By	Chk

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**CORONATION GARDENS,  
DUDLEY**

Title  
**DETAILS OF REPLACEMENT WALL  
TO EXISTING PLANK WALL  
(SHEET 2)**

Date  
DEC 14

Drawn  
G.S.N.

Checked  
G.S.N.

Job No  
**S-14-198**

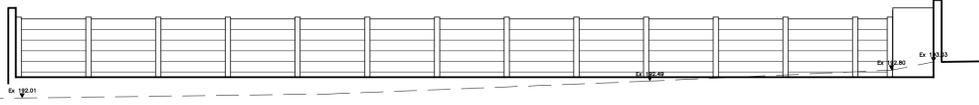
Drawing No  
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Issue  
**T1**

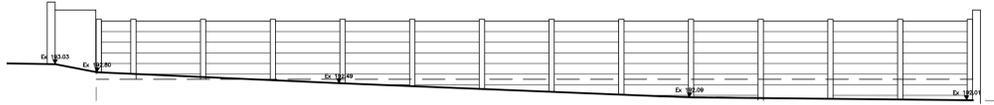
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# Coronation Gardens

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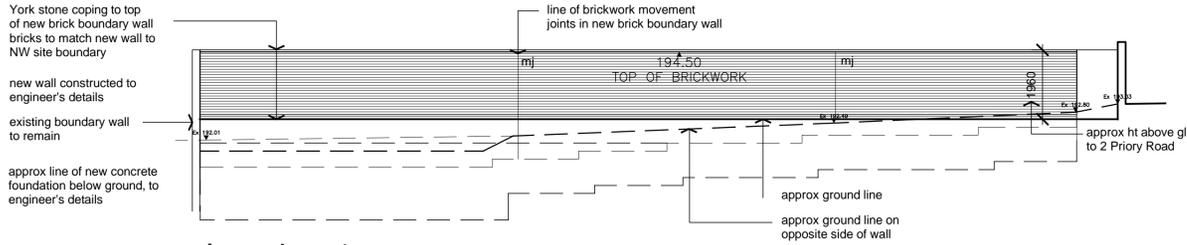


elevation 1 (from 2 Priory Road)

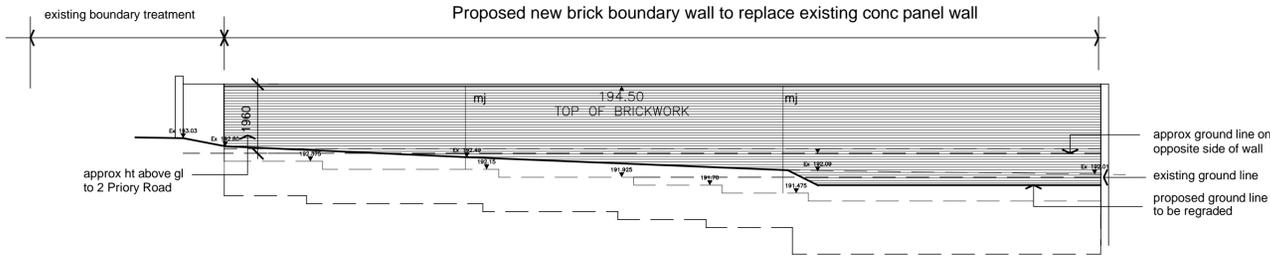


elevation 2 (from Coronation Gardens)

elevations of existing conc panel boundary wall to be removed

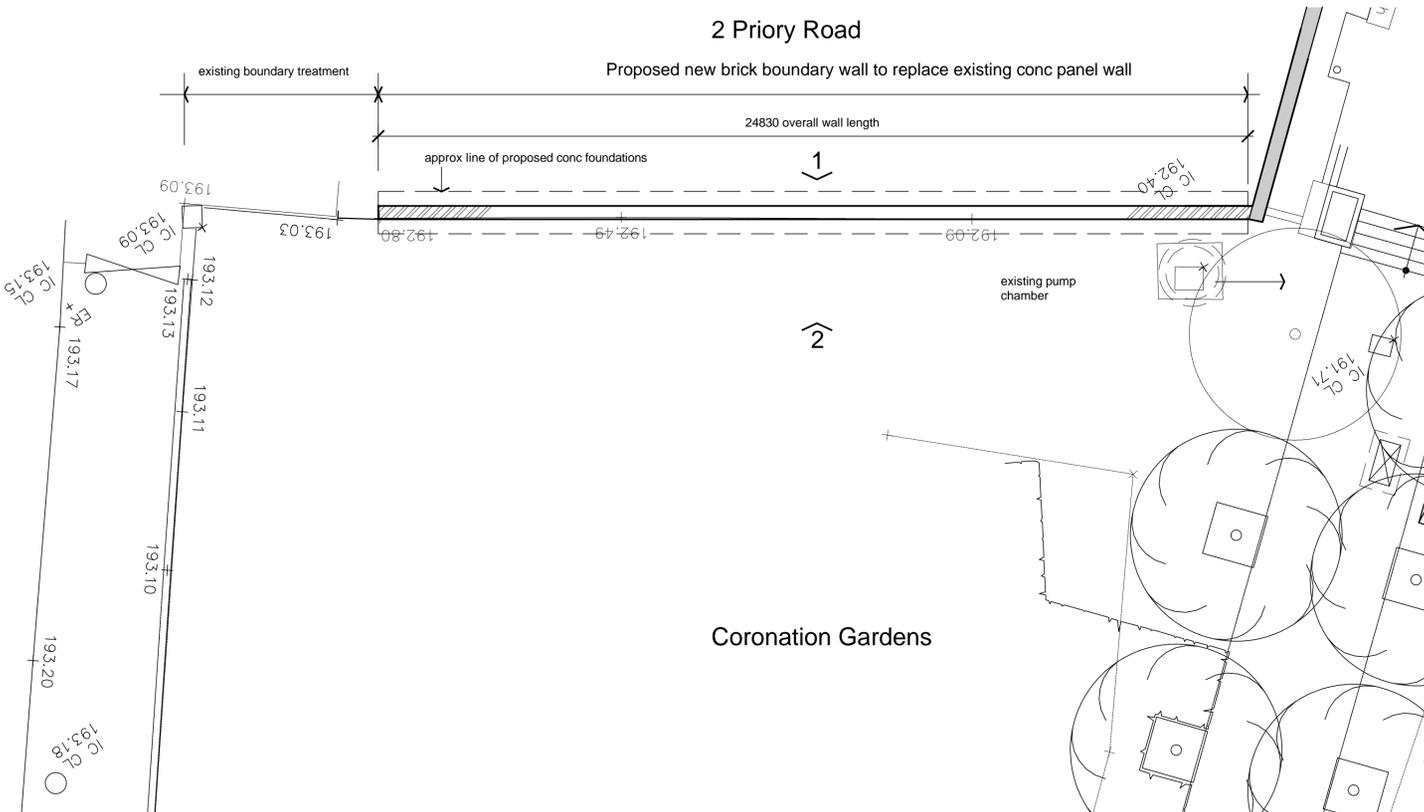


elevation 1 (from 2 Priory Road)



elevation 2 (from Coronation Gardens)

elevations of proposed brick boundary wall



boundary wall - proposed plan

Proposed boundary wall plan & elevation

110 CLAY FACING BRICKWORK TO NEW BOUNDARY WALLS

- Bricks: To BS EN 771-1.
- Manufacturer: Furness Brick and Tile Co. Ltd. (Tel. No. 01229 462411).
- Product reference: Old Chapel Blend
- Special shapes:
- Mortar: As section Z21.
- Standard: Not applicable
- Mix: 1 : 1 : 6 - cement : lime : sand
- Bond: To match existing on site, which appears to be a hybrid; Flemish/Garden Wall
- Joints: Flush

A	RH	Brick specification added for Planning	14/1/15
Rev. A	md	Notes	Date

DRAWING STATUS: <b>Planning</b>	
PROJECT: Coronation Gardens Dudley	
CLIENT: DMBC	
TITLE: proposed boundary wall plan and elevations	
DATE: Dec 2014	SCALE: 1:100 @ A1
DRAWN: RH	CHECKED:
DRAWING N°: M14.109.D.013	REVISION: A



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